

City of Flagler Beach

Planning and Architectural Review Board

Tuesday, April 2, 2013 at 5:30 p.m.

City Hall Commission Chambers

Agenda

1. Call the meeting to order.
2. Call the roll.
3. Pledge of Allegiance.
4. Approve the minutes of the Regular Meeting of February 5, 2013.
5. Election of Officers.
6. Old Business:
 - A. Application #VAR 13-02-01
Variance to allow a single-family dwelling setback 21' from the west property line.
Applicant: Carey and Dorothy Klee Strickland
1708 North Central Avenue
Property Owner: Carey and Dorothy Klee Strickland
 - B. Application #AP 13-03-01
Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations.
Applicant: James S. Poldoian, Superintendent, Charles Rinek Custom Homes
342 11th Street North
Property Owner: Matthew D. Deal
7. New Business:
 - A. Application #OE 13-04-01
Outdoor Entertainment to allow amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment on the subject property in the TC, Tourist Commercial zoning district.
Applicant: John R. Davis for Johnny D's Beach Bar & Grill
1005 North Ocean Shore Boulevard
Property Owner: Rossis Development Group, LLC
 - B. Application #AP 13-04-01
Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations.
Applicant: Richard F. and Amy J. Uras
324 Lambert Avenue
Property Owner: Richard F. and Amy J. Uras
 - C. Application #AP 13-04-02
Appeal of a Decision of the City Planner in the Enforcement and Interpretation of Section 2.04.02.9., Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements, *Land Development Regulations*.
Applicant: Susan J. Wildman
3632 South Central Avenue
Property Owner: Roy E. and Susan J. Wildman



RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript, or you may buy a CD of the meeting for \$3.00 at the City Clerk's office. Copies of CDs are only made upon request. The City is not responsible for any mechanical failure of the recording equipment.

In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext. 235 at least 72 hours prior to the meeting.

Please take notice that individual Elected Officials of the City of Flagler Beach may attend this meeting. Those Elected Officials who attend will not take any action or take any vote at this committee meeting. This is not an official meeting of the Flagler Beach City Commission. This notice is being provided to meet the spirit of the Sunshine Law to inform the public that Elected Officials may be present at this committee meeting.

Posted March 27, 2013

Planning and Building Department

P.O. Box 70 • 116 3rd Street South, Flagler Beach, Florida 32136 • Phone (386) 517-2000 • Fax (386) 517-2016

D. Application #SE 13-04-01

Special Exception to allow a single-family dwelling.

Applicant: James H. Jenkins Jr. and Roxane B. Jenkins
1336 South Ocean Shore Boulevard

Property Owner: James H. Jenkins Jr. and Roxane B. Jenkins

8. PARB Member Comments.

9. Adjournment.

FLAGLER BEACH PLANNING AND ARCHITECTURAL REVIEW BOARD
TUESDAY, FEBRUARY 5, 2013 AT 5:30 P.M
MINUTES

PRESENT: Dan Bayerl, Cathy Feind, Joseph Pozzuoli, Roseanne Stocker, City Attorney Drew Smith, City Planner Chad Lingenfelter, Board Secretary Kate Settle.

ABSENT: Lea Stokes, Don Deal, Ted Johnson.

1. CALL THE MEETING TO ORDER: Roseanne Stocker called the meeting to order at 5:33 p.m.
2. CALL THE ROLL: Ms. Settle called the roll.
3. PLEDGE OF ALLEGIANCE: Mr. Bayerl led the pledge.
4. APPROVE THE MINUTES OF THE SPECIAL MEETING OF JANUARY 8, 2013: **Motion** by Cathy Feind, seconded by Dan Bayerl, we approve the minutes of January 8, 2013. The **motion** carried unanimously.
5. ELECTION OF OFFICERS: **Motion** by Cathy Feind, seconded by Joseph Pozzuoli, to table the election of officers until the next meeting. The **motion** carried unanimously. The agenda move to Item 7.
6. OLD BUSINESS:
 - A. Discussion and recommendation of an ordinance of the City of Flagler Beach, Florida, amending Chapter 7 Buildings and Building Regulations, Article III, "House Numbering," of the *City of Flagler Beach Code of Ordinances* to revise the display, size of numbers; repealing Article IV, "Procedure for Condemnation, Demolition and Removal of Unsafe Buildings and Structures," of the *City of Flagler Beach Code of Ordinances*; amending Section 5.00.01 of the *Land Development Regulations* to revise the list of codes adopted by reference, to revise the wind speed, and to establish the minimum regulations governing the conditions and maintenance of all property, buildings and structures in the city; provide the standards and conditions essential to ensure that structures are safe, sanitary and fit for occupation and use; provide for the condemnation of buildings and structures unfit for human occupancy; providing for codification, conflicts, and an effective date: The PAR Board reviewed the ordinance page by page. It was suggested to add feral cats in the section regarding pest elimination. Attorney Smith indicated he could broaden the wording to include wild and feral animals. **Motion** by Cathy Feind, seconded Joseph Pozzuoli, to recommend approval of Item 6A. The **motion** carried unanimously. The agenda moved to Item 8.
7. New Business:
 - A. Application #SP 13-02-01
Site Plan Review of Coquina Commercial Building Wall Addition
Applicant: Barbara S. Revels
316 South Ocean Shore Boulevard
Property Owner: Barbara S. Revels, Trustee

Ms. Revels spoke of the nature of her request. Mr. Lingenfelter spoke reviewed his recommendations to the Board. Parking was discussed at length and Ms. Revels current parking situation after the Streetscaping took place on the City's right of way. Discussion

FLAGLER BEACH PLANNING AND ARCHITECTURAL REVIEW BOARD
TUESDAY, FEBRUARY 5, 2013 AT 5:30 P.M
MINUTES

consisted of past agreement with a former City Manager; the City Engineer indicating Ms. Revels did not have parking requirements because of the location of the building; the current number of spaces; the siding and the current fee structure. The public hearing was opened. Victor Rugg gave shared his concerns and opinions. The public hearing was closed. **Motion** by Cathy Feind, seconded by Joseph Pozzuoli, that we approve application SP 13-02-01 and the proposed siding materials match the existing siding. The **motion** carried unanimously.

B. Application #SE 13-02-01

Special Exception to allow a single-family dwelling.
Applicants: John Lynch and Michael L. Flank
1732 South Ocean Shore Boulevard
Property Owner: Thomas and Judith Vaccaro

Ms. Stocker read the title into the record. Mr. Lingenfelter reviewed the application. Mr. Lynch explained the nature of the request. Mr. Flank introduced himself as the proposed owner, dependent on the approval of the Board and the Commission. Ms. Stocker made it clear that the zoning where the proposed home will be built is in Tourist Commercial. She outlined the approved uses for Tourist Commercial in order to ensure that Mr. Flank was aware of what could possibly be built next door. Mr. Flank's understanding after speaking to Chad was that he could be build on 90% of the lot. Discussion included the coastal construction control line; the residential approval process and whether the home would be built on pilings. The public hearing was opened. Cindy Ser expressed her concerns regarding the construction process. Roseanne Stocker read a statement from Charles Morris into the record. The public hearing was closed. Attorney Smith reminded the Board they are addressing a Special Exception and the Board was to focus on the use, not the structures. Mr. Flank hoped to be a good neighbor and spoke to the limitations of the lot and the need to use the alley. **Motion** by Dan Bayerl, seconded by Joseph Pozzuoli, that we approve application SE-13-02-01. The **motion** Carried unanimously.

C. Application #VAR 13-02-01

Variance to allow a single-family dwelling setback 21' from the west property line.

Applicant: Carey and Dorothy Klee Strickland

1708 North Central Avenue

Property Owner: Carey and Dorothy Klee Strickland

This item could not be addressed. Mr. Pozzuoli recused himself from item. Once he recused himself, there was not a quorum. The agenda moved to Item 6.

8. PARB MEMBER COMMENTS: The March meeting has been changed to March 6. Mr. Lingenfelter reminded the board that there is a Jt. Workshop with the Commission on February 21.

9. ADJOURNMENT: **Motion** by Kathy Feind, seconded by Dan Bayerl, to adjourn the meeting at 7:28 p.m. The **motion** carried unanimously.



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #VAR 13-02-01 – 1708 North Central Avenue Variance

DATE: January 30, 2013

Applicant and Property Owner: Carey and Dorothy Klee Strickland, 1708 North Central Avenue, Flagler Beach, Florida 32136

Property: 1708 North Central Avenue – 01-12-31-2900-00010-0080

Future Land Use: Commercial

Zoning District: TC, Tourist Commercial

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Section 8.04.16., Variances*, the applicant is requesting a variance from the *City of Flagler Beach Land Development Regulations Section 2.04.02.9. Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements* to permit a four (4) foot front yard variance to allow a single-family dwelling setback 21' from the west property line. The subject property contains approximately 0.12 acre and is generally located north of the intersection of 17th Street North and North Central Avenue. The subject property is occupied with a single-family dwelling and a home business, D-Hair.

Analysis

The Planning and Architectural Review Board shall recommend such variances as will not be contrary to the public interest and where, owing to special conditions a literal enforcement of the provisions of this ordinance will result in unnecessary and undue hardships. In order to recommend any variance from the terms of this ordinance the Planning and Architectural Review Board must and shall find each of the following criteria is met by the applicant, and the Board's written findings shall be sent to the City Commission. The applicant's architect prepared responses to each of the prescribed criteria and are as follows:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;

"The existing home is peculiar in that it is a non-conforming structure, encroaching 2'-6" into the north side setback. This lot is also unique in that it extends between streets, requiring a front setback to be met on both street frontages. The existing structure respects a 25' front setback on the A1A side of

the property. In a Tourist Commercial zoning district, a 25' setback is required only on the front of the property, whereas a back setback would be 10'."

2. That the special conditions and circumstances do not result from the action of the applicant;

"The applicant purchased the home which was built as a non-conforming structure."

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district;

"This area is zoned Tourist Commercial (TC). The TC zoning allows for in-law suite additions to be constructed on a property. The properties on this block extend from A1A to Central Avenue. Two homes on this block have in-law suites that are constructed well into the 25' setback on the Central Avenue side of the lots. (Corner of N. 17th St. and Central Ave.)"

4. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant;

"The literal interpretation of the ordinance would not allow enough room to meet the standards for a handicap-accessible in-law suite addition that would respect the existing building and be sensitive to the existing site conditions. The proposed plan is of the necessary size to accommodate the ADA standards for circulation and livable space by the occupant. Changing the dimensions of the proposed plan or locating it closer to the existing home would not be in the interest of good architecture as cited in the City of Flagler Beach Design Guidelines which should be maintained throughout the city. This ordinance deprives the applicant of the ability to build such an addition as others in the same block have done beyond the same Central Avenue setback boundary."

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

"Granting this variance would allow for an ADA-compliant, handicap accessible in-law suite to be constructed on the Central Avenue side of the lot. This variance would be minimal in that it is for the minimum space required for accessibility and is for a 4' cantilevered living space, while the foundation would remain within the setback lines."

6. That the grant of the variance will be in harmony with the general intent and purpose of this ordinance, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

"This variance would have no impact on the neighbors of the site since the lot extends between streets. The building would be located more than 36' from Central Avenue, which is a greater distance than other buildings on the same block."

The applicant's application states, "In order to get the square footage needed for a handicapped unit, I would need to obtain a four foot wide by twenty and a half foot long variance that would be cantilevered over a foundation that would be within the

city's setback requirements on the West side Facing N. Central Avenue." Although this statement states that the foundation would be "within the city's setback requirements," the exhibits in the application packet depict that the foundation is outside of the setback requirements and the proposed four (4) foot encroachment into the west front yard setback would be cantilevered over the said yard.

The subject property is a typical 50 foot wide rectangular lot with a 104.5 foot depth, exceeding the minimum lot depth requirements for the TC zoning district by 24.5 feet. Also, the wood deck on the east side of the existing structure encroaches nearly five (5) feet into the east front yard setback. Therefore, criterion 1 is not satisfied.

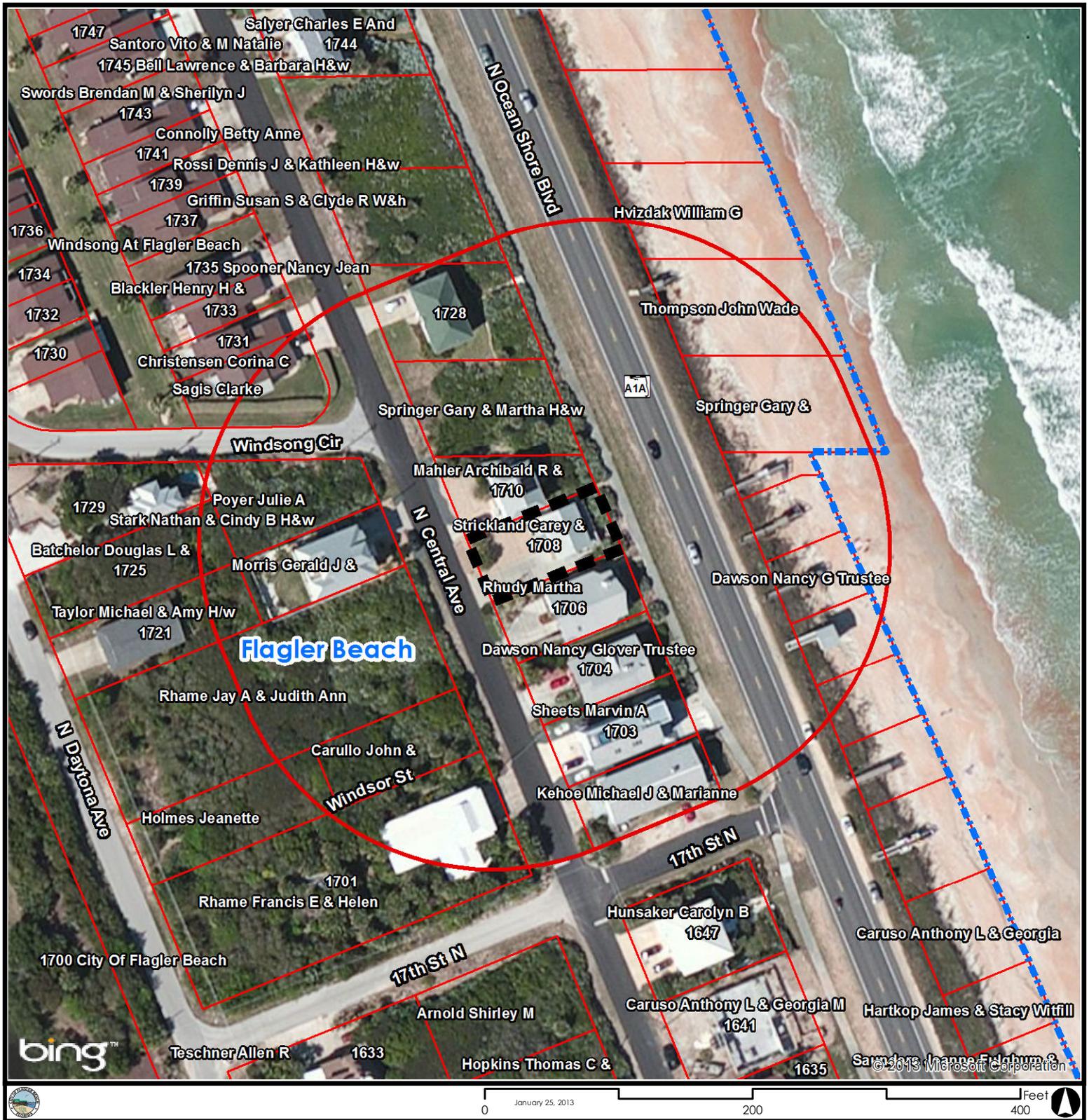
After reviewing the site plan, elevations, boundary and location survey, and addition floor plan, there is adequate room on the west side of the existing structure for the "handicapped unit" outside of the required setbacks by reducing the "salon reception area" width four (4) feet. The "salon reception area" could remain at the proposed dimensions by shifting the proposed "handicapped unit" to the south, creating a "C" shaped structure. Therefore, criterion 5 is not satisfied.

Recommendation

Staff recommends that the Planning and Architectural Review Board recommend that the City Commission not approve the requested variance for the subject property to allow a single-family dwelling setback 21' from the west property line. However, if the Planning and Architectural Review Board finds that each of the criteria is met by the applicant, then staff recommends that the requested variance for the subject property be approved with the following conditions:

1. All encroachments into the west front yard setback is only by a cantilevered structure up to four (4) feet maximum;
2. If the structure is renovated into a two (2) or more family dwelling units or is to be converted into commercial building, then a site plan and architectural approval is required before a building permit is issued; and
3. A single-family residential building permit is issued within 12 months of the City Commission's approval of the variance.

Enclosure: Variance Application Packet



Legend

-  Subject Property
-  200 Foot Radius of 1708 North Central Avenue
-  Incorporated Areas
-  Parcels



Sources: Flagler County Property Appraiser's Office, Florida Department of Transportation, and Microsoft Corporation
 The data contained in this map is provided "as is" without warranty or any representation of accuracy, timeliness, or completeness. The burden for determining accuracy, timeliness, completeness, merchantability, and fitness for, or the appropriateness for, the use rests solely with the requester. The City of Flagler Beach makes no warranties, expressed or implied, as to the appropriate use of the data contained in this map. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and is in a constant state of maintenance, correction, and update.



City of Flagler Beach
P.O. Box 70 105 S. 2nd Street
Flagler Beach, Florida 32136
Phone (386) 517-2000 Fax (386) 517-2016

Zoning Variance – (ZV)

DATE: 1-4-2012

PETITION NO.:

Pursuant to Section 8.05.13 of the Land Development Regulations, I hereby request a variance of the Zoning Code as described below:

PETITIONER: CAREY & DOROTHY STRICKLAND

ADDRESS: 1708 N. CENTRAL AVE PHONE NO.: 305 299-9955

OWNER OF SUBJECT PROPERTY: CAREY & DOROTHY STRICKLAND

ADDRESS: 1708 N. CENTRAL AVE PHONE NO.: 305 299-9955

PETITIONER'S RELATION TO SUBJECT PROPERTY: OWNERS

ADDRESS/LEGAL DESCRIPTION:

LOT: 8 BLOCK: 1 SUBDIVISION: Good Const Subdivision ZONING DISTRICT: TC

SECTION(S) OF THE CODE TO BE APPLIED FOR VARIANCE REQUEST:

ATTACH A JUSTIFICATION STATEMENT ADDRESSING ALL SIX CRITERIA FOR THIS VARIANCE REQUEST AS FOLLOWS: (See Attachment "A" Variance Standards.)

- | | |
|-------------------------------------|------------------------------|
| 1. Special conditions/circumstances | 4. Hardship |
| 2. Actions of Applicant | 5. Minimum variance |
| 3. Special privilege | 6. General intention purpose |

THIS IS TO CERTIFY THAT I AM THE OWNER OF THE SUBJECT PROPERTY DESCRIBED IN THIS VARIANCE PETITION. I HAVE READ THIS PETITION AND THE STATEMENTS CONTAINED HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNATURE OF PETITIONER: Carey & Dorothy Strickland DATE: 1-4-2012

1708 N. Central Avenue
Flagler Beach, FL. 32136

January 7, 2013

City of Flagler Beach, FL.
Planning & Zoning Appeals Board
Flagler Beach, FL. 32136

Re: Variance Application for addition
to existing residence at 1708 N. Central Ave.

Gentlemen:

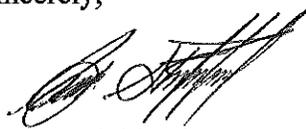
This letter is to request your consideration to the circumstances under which we are applying for a variance for an addition to our home at 1708 N. Central Avenue.

My mother has asked for help with her living condition as she is handicapped with Parkinson's Disease and uses a walker and/or her mobility chair to get around.. She has trouble walking and turning corners in her home as is not handicap equipped ..

I would like to build her a smaller structure behind my existing house. In order to get the square footage needed for a handicapped unit , I would need to obtain a four foot wide by twenty and a half foot long variance that would be cantilevered over a foundation that would be within the city's setback requirements on the West side facing N. Central Avenue.

Your favorable consideration to this request will be greatly appreciated.

Sincerely,

A handwritten signature in black ink, appearing to read 'Carey Strickland', written in a cursive style.

Carey Strickland



JOSEPH POZZUOLI ARCHITECT

memo

Job #212202

DATE | January 11, 2012
TO | City of Flagler Beach
COPY | File
FROM | Joseph Pozzuoli, AIA, I.D., ICAA
RE | **Strickland Residence**
1708 North Central Ave.
Flagler Beach, FL 32136

To whom it may concern,

We ask that a variance be granted for the Strickland Residence to allow for a 4' cantilever of a new handicap accessible in-law suite beyond the established 25' setback boundary from Central Avenue. This request meets the six standards set forth in Appendix A, Land Development Regulations, Section 8.05.13 as follows.

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other structures or buildings in the same zoning district;

The existing home is peculiar in that it is a non-conforming structure, encroaching 2'-6" into the north side setback. This lot is also unique in that it extends between streets, requiring a front setback to be met on both street frontages. The existing structure respects a 25' front setback on the A1A side of the property. In a Tourist Commercial zoning district, a 25' setback is required only on the front of the property, whereas a back setback would be 10'.

2. That the special conditions and circumstances do not result from the actions of the applicant;

The applicant purchased the home which was built as a non-conforming structure.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district;

This area is zoned Tourist Commercial (TC). The TC zoning allows for in-law suite additions to be constructed on a property. The properties on this block extend from A1A to Central Avenue. Two homes on this block have in-law suites that are constructed well into the 25' setback on the Central Avenue side of the lots. (Corner of N. 17th St. and Central Ave.)

4. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant;

The literal interpretation of the ordinance would not allow enough room to meet the standards for a handicap-accessible in-law suite addition that would respect the existing building and be

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sensitive to the existing site conditions. The proposed plan is of the necessary size to accommodate the ADA standards for circulation and livable space by the occupant. Changing the dimensions of the proposed plan or locating it closer to the existing home would not be in the interest of good architecture as cited in the City of Flagler Beach Design Guidelines which should be maintained throughout the city. This ordinance deprives the applicant of the ability to build such an addition as others in the same block have done beyond the same Central Avenue setback boundary.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

Granting this variance would allow for an ADA-compliant, handicap accessible in-law suite to be constructed on the Central Avenue side of the lot. This variance would be minimal in that it is for the minimum space required for accessibility and is for a 4' cantilevered living space, while the foundation would remain within the setback lines.

6. That the grant of the variance will be in harmony with the general intent and purpose of this ordinance, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

This variance would have no impact on the neighbors of the site since the lot extends between streets. The building would be located more than 36' from Central Avenue, which is a greater distance than other buildings on the same block.

If you have any further questions please call JPA.

Signed: _____
Joseph D. Pozzuoli, AIA, I.D., ICAA
AR 13178 ID 4843

ARCHITECTURE • PLANNING • INTERIORS

Prepared by and Return to: Grantee

Inst No:00001214 Date:01/20/2000
Doc Stamp-Deed : 1015.00
SYD CROSBY, FLAGLER County
By: [Signature], D.C. Time:08:48:42

MICHELLE J. HEISER
Coast Title Insurance Agency, Inc.
31 Old Kings Road North, Suite 5
Palm Coast, FL 32137
SS# - GRANTEE 1: 265-17-9634
SS# - GRANTEE 2: 158-38-5856

OFF REC 0680 PAGE 1712

[Space Above This Line for Recording Data]

WARRANTY DEED

File No.
99624

THIS INDENTURE, made this 14th day of January, A.D. 2000 between

JOSEPH J. KOVALICK, a single man

as Grantor*, whose address is: 309 ELBERTA ST., NASHVILLE, TN 37210
and

CAREY STRICKLAND and DOROTHY KLEE STRICKLAND, Husband and Wife

as Grantee*, whose address is: 8107 SW 72 AVE 305 E, MIAMI, FL 33143

WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of Flagler, State of Florida, to-wit:

SEE ATTACHED FOR CONTINUATION OF LEGAL DESCRIPTION

GRANTOR WARRANTS THIS PROPERTY IS NON-HOMESTEAD.

Property Tax ID Number: 011231-2900-00010-0080

SUBJECT TO easements, covenants and restrictions and reservations of record, if any, and taxes for 1999 and subsequent years.

Said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Witnesses

(WITNESS 1) [Signature]
PRINT NAME: Teresa Clanton

(WITNESS 2) [Signature]
PRINT NAME: Nancy Caffey

[Signature]
JOSEPH J. KOVALICK

State of Tennessee
County of Bedford

JOSEPH J. KOVALICK, a single man

as Grantor*, whose address is: 309 ELBERTA ST., NASHVILLE, TN 37210
and

CAREY STRICKLAND and DOROTHY KLEE STRICKLAND, Husband and Wife

as Grantee*, whose address is: 8107 SW 72 AVE 305 E, MIAMI, FL 33143

WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of Flagler, State of Florida, to-wit:

SEE ATTACHED FOR CONTINUATION OF LEGAL DESCRIPTION

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Said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Witnesses

(WITNESS 1) Teresa Clanton
PRINT NAME: Teresa Clanton

(WITNESS 2) Nancy Capley
PRINT NAME: Nancy Capley

Joseph J. Kovalick
JOSEPH J. KOVALICK

State of Tennessee
County of Bedford

The foregoing instrument was acknowledged before me on this 14th day of January, 2000 by JOSEPH J. KOVALICK, a single man, who is known to me or who has produced drivers license as identification and did _____ take an oath.

My Commission Expires: 3/15/2000
(SEAL)

Shirley Capley
NOTARY PUBLIC
PRINT OR TYPE NAME:
Shirley Capley

LEGAL DESCRIPTION

Lot 8, Block 1, GOLD COAST SUBDIVISION, a subdivision according to the plat thereof as recorded in Plat Book 1, at page (s) 23, of the Public Records of Flagler County, Florida. Seller to grant buyers shared littoral rights in deed together with and in common with grantor, his heirs, successors and or assigns, in and to the following described land:

ALSO: All that portion of U.S. Lot 1 of Section 1 of Township 12 South, Range 31 East of the Tallahassee meridian, which is more particularly described and bounded as follows: Bounded on the West by the East side of Block 1 of Gold Coast Subdivision of Flagler Beach, Flagler County, Florida, according to the plan thereof on file in the office of the Clerk of the Circuit Court for Flagler County, Florida, in Plat Book 1, page 23, bounded on the North by the North Boundary line of said U.S. Lot 1 of Section 1, Township 12 South, Range 31 East and by the latter line projected East to the Atlantic Ocean, bounded on the South by the Southerly side of Lot 8 of Block 1 of said plan of Gold Coast Subdivision of Flagler Beach projected Easterly to the Atlantic Ocean, and bounded on the East by the Atlantic Ocean, together with all the riparian rights and accretions; hereto pertaining to all the above described parcel of land excepting all that portion of the above described parcel of land located within the platted portion of Ocean Boulevard as shown on said plan of Gold Coast Subdivision of Flagler Beach, so long as the same shall be used for highway purposes. (Now known as highway A-1-A as now laid out and used.)

Owner Authorization

Property Address: 1708 N. CENTRAL AVE
FLAGLER BEACH, FL 32136

Parcel Id: 014231-2900-00010-0080

AS OWNER, I AUTHORIZE JOSEPH POZZUOLI TO ACT AS MY AGENT IN THIS MATTER.
PRINT NAME, ADDRESS AND PHONE NUMBER OF REPRESENTATIVE, IF APPLICABLE.

NAME: Joseph Pozzuoli ADDRESS: 314 Moody Blvd Flagler Beach, FL
PHONE: (386) 439-5650
STATE OF FLORIDA,
County of Flagler

Subscribed and Sworn to (or affirmed) before me by
Carey + Dorothy Strickland

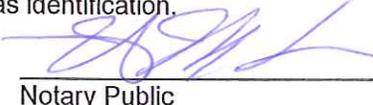
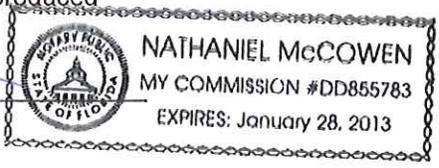


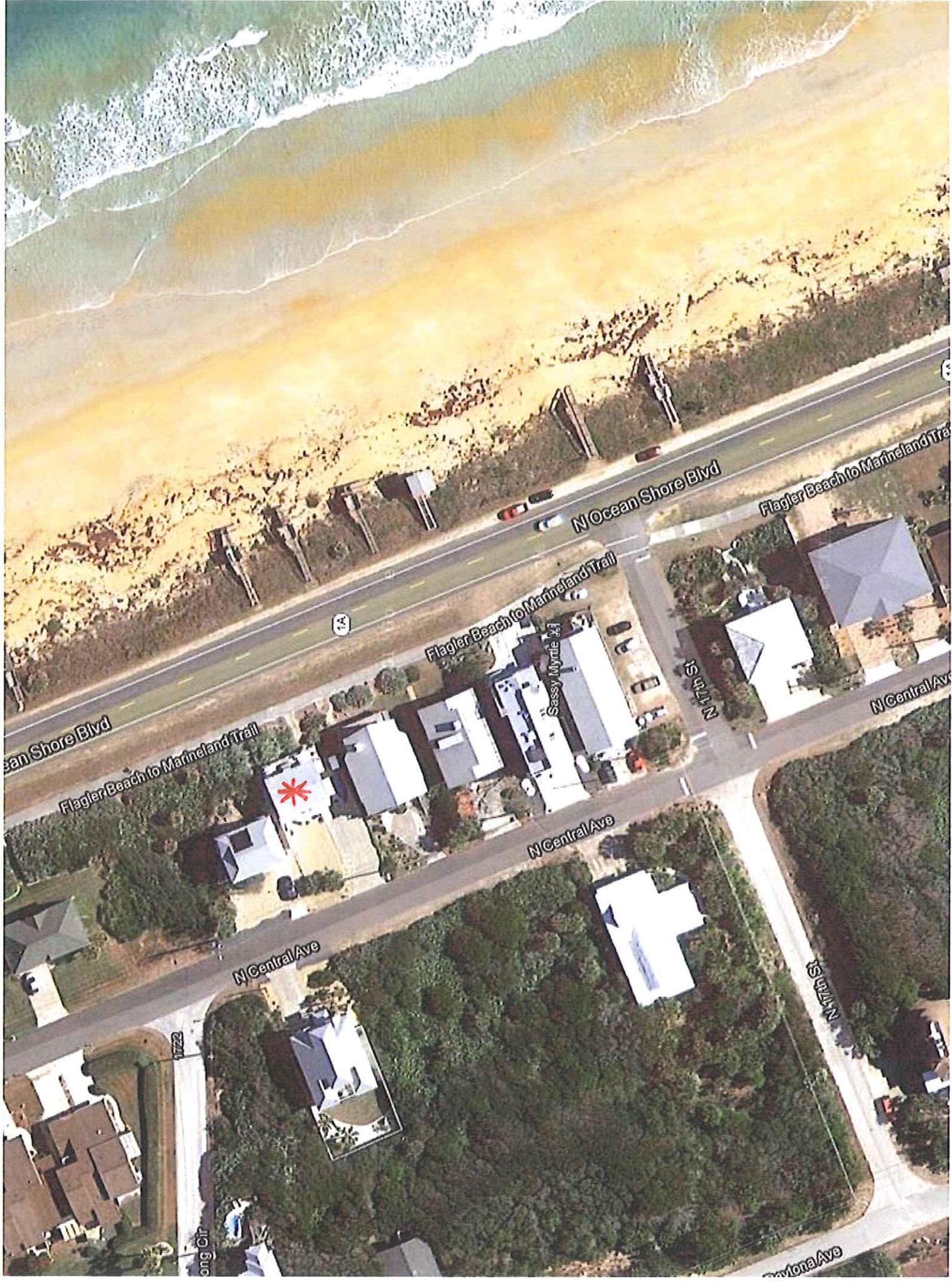
SIGNATURE OF OWNER
CAREY + DOROTHY STRICKLAND
OWNER'S NAME (Print/Type)

1708 N. CENTRAL FLAGLER BEACH FL.
ADDRESS (Street, City) & Phone Number 32136
305 299 9955

This 7 day of JANUARY, 20 13. Who is personally known to me or has produced
Driver license as identification.

Commission Number & Expiration


Notary Public



Ocean Shore Blvd

N Ocean Shore Blvd

Flagler Beach to Marineland Trail

Flagler Beach to Marineland Trail

Flagler Beach to Marineland Trail

N Central Ave

N Central Ave

Sassy Myrtle St

N 17th St

N Central Ave

1722

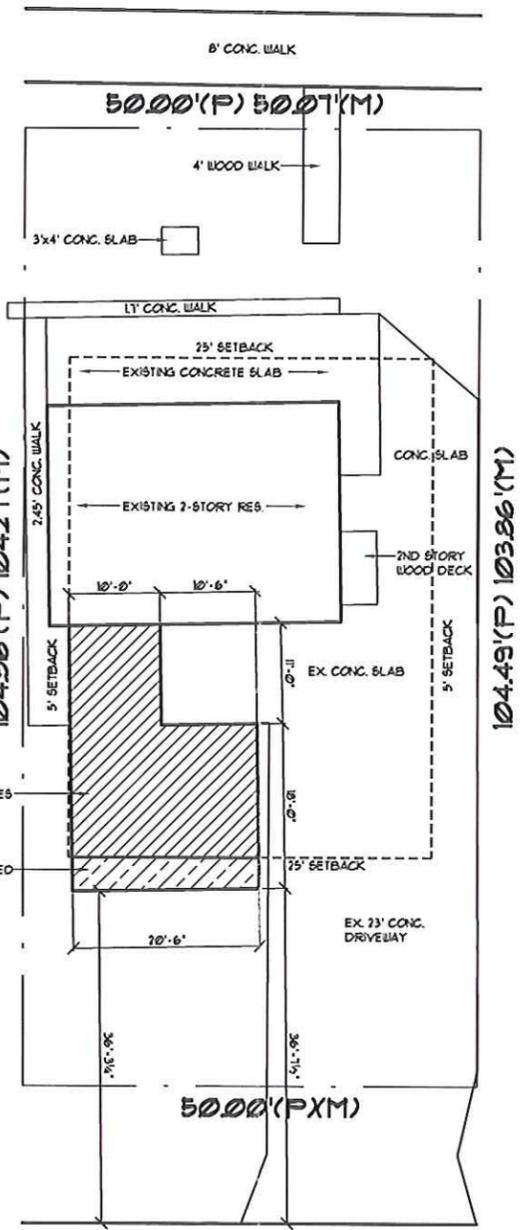
ong Cir

N 17th St

Cayana Ave



STATE ROAD A-1-A



HATCHED AREA INDICATES
FOUNDATION FOR NEW
STRUCTURE

4' CANTILEVER REQUESTED
FOR VARIANCE

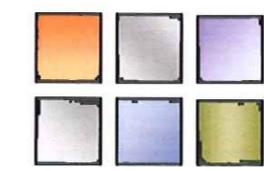
NOTE:
EXISTING EASEL SHALL
REMAIN ON SITE ADJACENT TO
CITY'S 5' EASEMENT EASEL

SITE PLAN
SCALE: 1" = 20'-0"

LEGAL DESCRIPTION:
LOT 8, BLOCK 1, GOLD COAST SUBDIVISION, A
SUBDIVISION ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 1, AT PAGE 23, OF
THE PUBLIC RECORDS OF FLAGLER COUNTY,
FLORIDA.

CENTRAL AVENUE

THE
STRICKLAND RESIDENCE
IN-LAW SUITE ADDITION



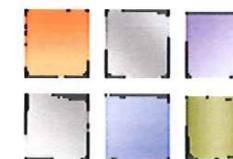
JPA
JOSEPH POZZUOLI ARCHITECT
314 MOODY BOULEVARD
FLAGLER BEACH, FL 32136
T: (352) 437-5553 F: (352) 437-5551
AR 13117 ID 4443



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

THE
STRICKLAND RESIDENCE
 IN-LAW SUITE ADDITION



JPA

JOSEPH POZZUOLI ARCHITECT
 314 MOODY BOULEVARD
 FLAGLER BEACH, FL 32136
 T: (386) 432-5552 F: (386) 432-5551
 AIA 1917
 ID 4610

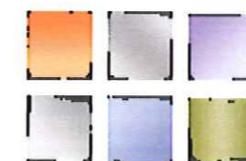
COPYRIGHT 2013



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

THE
STRICKLAND RESIDENCE
 IN-LAW SUITE ADDITION

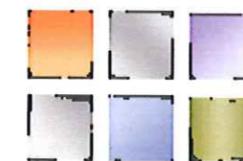


JPA
 JOSEPH POZZUOLI ARCHITECT
 314 MOODY BOULEVARD
 FORT LAUDERDALE, FL 33309
 T: (954) 439-5550 F: (954) 439-5551
 ARCHITECT
 © 2013



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

THE
STRICKLAND RESIDENCE
 IN-LAW SUITE ADDITION



JPA

JOSEPH POZZUOLI ARCHITECT
 314 MOODY BOULEVARD
 FLAGLER BEACH, FL 32136
 T. (386) 433-5552 F. (386) 433-5551
 AIA 13179
 © 2014



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #AP 13-03-01 – Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations

DATE: February 27, 2013

Applicant: James S. Poldoian, Superintendent, Charles Rinek Custom Homes, 50 Cypress Point Parkway, Palm Coast, Florida 32137

Property Owner: Matthew D. Deal, 725 Shady Oaks Drive, Apt. 200, Palm Coast, Florida 32164

Property: 342 11th Street North – 01-12-31-5050-00020-0260

Future Land Use: Low Density Residential

Zoning District: R-1, Single-Family Residential

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article II., Zoning*, the applicant is appealing the decision of the City Planner in the enforcement and interpretation of the tree replacement regulations to mitigate 124 inches of Palm trees that were removed for the construction of a single-family dwelling.

Analysis

The applicant has been issued a building permit for a single-family dwelling unit on an 80 foot wide property. A driveway permit and tree removal permit were also granted in conjunction with the structures. The building permit was issued with a condition that 102 inches of Palm trees be relocated, replaced, or a payment of \$6,100 be paid in lieu of relocation or replacement must be made prior to a certificate of occupancy. The payment in lieu of relocation or replacement was calculated based upon the schedule in Section 2.06.09(11)B.(i), *Land Development Regulations*. On November 21, 2012, staff observed that 124 inches had been removed from the property. If the removed trees are not replaced, then a payment of \$7,750 is required. Any iteration of the tree replacement may be made with six (6) inch diameter trees, measured two (2) feet above grade, to reduce the due payment.

Pursuant to Section 2.06.09.(12), Tree and Vegetation Removal; Tree Protection, "Any person required to obtain a permit and who is adversely affected by a decision of any city official or employee in the enforcement or interpretation of this article, may appeal such decision to the Planning and Architectural Review Board, which, by a majority

vote, may affirm, reverse, or modify the adverse decision, (the Planning and Architectural Review Board shall have the authority to grant minor variances of no more than twenty (20) percent of any building setback line where such variance will preserve a tree which otherwise may be required to be removed in the absence of such variance) and any decision of the Planning and Architectural Review Board may be appealed to the City Commission, who may consider the entire matter de novo, and by a majority vote, may fix anew the condition for removal of trees or vegetation, or may affirm, reverse or modify any decision made by any city official or city board prior thereto. Notice of appeal shall be made in writing to the City Clerk within thirty (30) days of the decision being appealed from. Any decision of the City Commission is subject to review as provided by law."

The applicant is appealing the requirement issued by the City Planner to mitigate the 124 inches of Palm trees removed from the subject property. The applicant removed only the trees necessary for the single-family dwelling and the associated improvements. Additionally, the applicant eradicated the Brazilian Peppers that had been allowed to grow on the subject property.

Enclosures: Letter from Applicant, February 20, 2013
Section 2.06.09.(12), Tree and Vegetation Removal; Tree Protection Boundary/Topographic/Tree Location Survey, November 5, 2012

CITY
PLANNER
COPY

February 20, 2013

Charles Rinek Custom Homes
50 Cypress Point Parkway
Palm Coast, FL 32137

To: Planning Director, PARB Board Members, and To Whom It May Concern

Currently Charles Rinek Custom Homes is building a single family residence at 342 Eleventh St. North. As part of the construction process, it has been necessary to remove 7 sable palms that were in the footprint of the new home.

Per the new city tree ordinance, the homeowners are currently mandated to either 1.) move these trees which was not possible due to Brazilian pepper removal; 2.) replace those trees with trees that will equal the overall size (caliper) of trees removed—that would be approximately 11-13 new trees; or 3.) provide to the city, payment for deciding not to replant—approx. cost \$6,000.00.

Rinek Custom Homes, acting as the agent for the homeowners, is asking for forgiveness of the current ordinance. The property currently has 13 large palms on it and the adjacent right of way has 4 or 5 more. The addition of 11-13 new palms onto a lot of this size in addition to the existing trees seems to be beyond what is reasonable. The payment of \$6,000.00 or more to not comply is a burden of responsibility certainly adversely affecting this young couple looking to build a home where they can raise a family.

The current amount of palm trees that have been left on the lot meet or exceeds the amount of trees existing on almost any developed lot on the street. To ask this young couple to incur this expense to facilitate a well-intended ordinance that appears not to be intended to apply to a circumstance such as this one, I believe is not the intension of the City of Flagler Beach.

Sincerely,



James S. Poldoian
Superintendent
Charles Rinek Custom Homes

Attachment: Appendix A – Land Development Regulations 2.06.09 #12

treeordinance_flaglerbeach_342_N11thSt.



sum in inches of each inch of the diameter at breast height the of tree removed and no tree may be used as a replacement tree that has less than six-inch caliper measured two (2) feet above grade when feasible.

(iv) Replacement trees may be no less than twelve (12) feet high.

B. A fee in lieu of tree replacement shall be placed in a fund for a tree bank and shall be assessed in accordance with the following schedule:

(i) Individual single-family residential lots:

- a. Six-inch to less than ten-inch DBH, twenty-five dollars (\$25.00) per inch removed.
- b. Ten-inch to less than 20-inch DBH, fifty dollars (\$50.00) per inch removed.
- c. Twenty-inch to less than 30-inch DBH, seventy-five dollars (\$75.00) per inch removed.
- d. Thirty-inch and greater DBH, one hundred dollars (\$100.00) per inch removed.

(ii) All other developments:

- a. Six-inch to less than eight-inch DBH, fifty dollars (\$50.00) per inch removed.
- b. Eight-inch to less than 15-inch DBH, one hundred dollars (\$100.00) per inch removed.
- c. Sixteen-inch to less than 24-inch DBH, one hundred twenty-five dollars (\$125.00) per inch removed.
- d. Twenty-five-inch and greater DBH, one hundred fifty dollars (\$150.00) per inch removed.

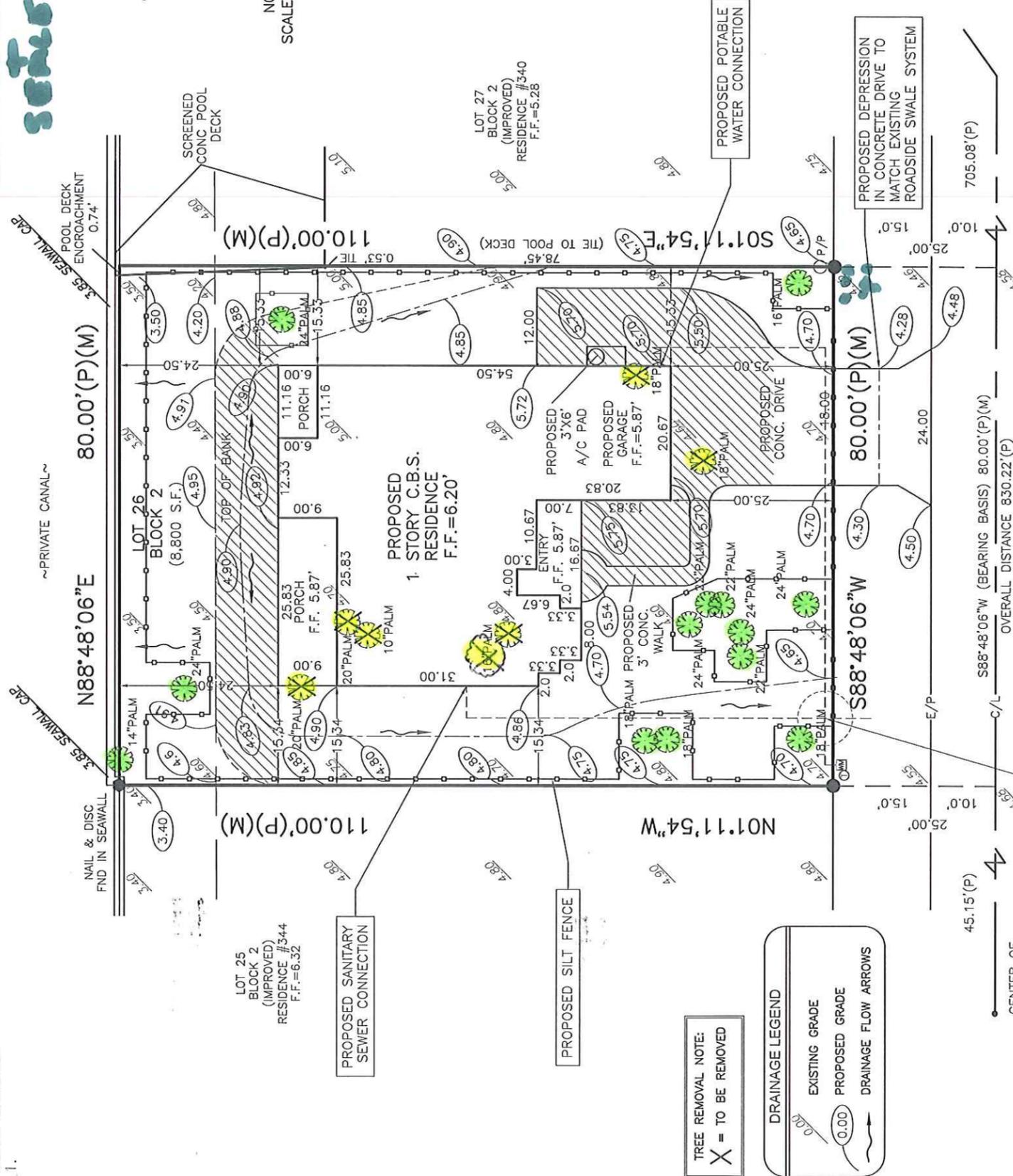
(12) Any person required to obtain a permit and who is adversely affected by a decision of any city official or employee in the enforcement or interpretation of this article, may appeal such decision to the planning and architectural review board, which, by a majority vote, may affirm, reverse, or modify the adverse decision, (the planning and architectural review board shall have the authority to grant minor variances of no more than twenty (20) percent of any building setback line where such variance will preserve a tree which otherwise may be required to be removed in the absence of such variance) and any decision of the planning and architectural review board may be appealed to the city commission, who may consider the entire matter de novo, and by a majority vote, may fix anew the condition for removal of trees or vegetation, or may affirm, reverse or modify any decision made by any city official or city board prior thereto. Notice of appeal shall be made in writing to the city clerk within thirty (30) days of the decision being appealed from. Any decision of the city commission is subject to review as provided by law.

ADDRESS: 342 NORTH 11TH STREET
CERTIFICATIONS:

JOB # 12-1114

SWA
STAMPED
SEALED

NORTH
SCALE: 1"=20'



PROPOSED SANITARY
SEWER AND POTABLE
WATER CONFLICTING 1'-
SEPARATION MIN.

NOTE:
BENCHMARK FOUND IN P/P
ON NAIL ELEV.: =5.91'
(N.G.V.D. 1929 DATUM)

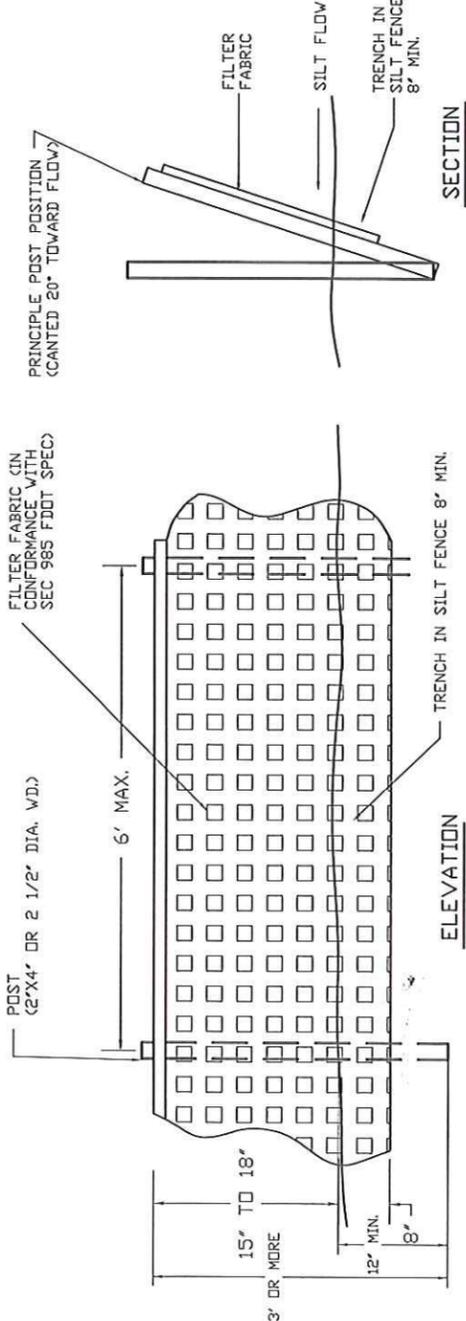
PROPOSED FILL CALCULATIONS:
DRIVE WAY AREA
TOP AREA= 973 S.F.
BOTTOM AREA= 1,273 S.F.
AVERAGE FILL= 0.87'

V= [(973+1,273)/2]*0.87
V= 977 C.F.
V= 977/27= 36 CY

HOUSE REAR AREA
TOP AREA= 660 S.F.
BOTTOM AREA= 1,079 S.F.
AVERAGE FILL= 0.40'

V= [(660+1,079)/2]*0.50
V= 348 C.F.
V= 448/27 = 13 CY

TOTAL PROPOSED FILL= 49 CY



EROSION CONTROL CONSTRUCTION NOTES
CONTRACTOR SHALL PERFORM DAILY INSPECTIONS FOR ANY EXISTING OR POTENTIAL EROSION PROBLEMS AT ANY LOW POINTS DURING CONSTRUCTION. IF ANY EXISTING OR POTENTIAL EROSION PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL INSTALL (SILT FENCES, HAY BALES ETC.) EROSION CONTROL IMMEDIATELY.

TYPICAL SILT FENCE DETAIL

NOT TO SCALE

TYPE OF SURVEY: BOUNDARY/TOPOGRAPHIC/TREE LOCATION

DESCRIPTION: LOT 26, BLOCK 2, PALMA VISTA, A SUBDIVISION AS RECORDED IN MAP BOOK 5, PAGE 48, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

LEGEND:

IR&C	5/8" Iron Rod & Cap set	Delta	Radius
IP	1/2" Iron Pipe	LB	Length
N/D	Nail and Disk set	CB	Chord Bearing
N/D	Nail and Disk found	CH	Chord Distance
PCP	Permanent Control Point	PI	Point of Intersection
CM	4"x4" Concrete Monument set	MSL	Mean Sea Level
CM	4"x4" Concrete Monument found	C.M.P.	Corrugated Metal Pipe
FND	Found	C.I.S.	Concrete Block & Stucco
C/L	Center Line	O.R.	Official Records Book & Page
E/P	Edge of Pavement	N.G.V.D.	National Geodetic Vertical Datum
R/W	Right of Way	N.A.V.D.	North American Vertical Datum

B.M.	Bench Mark	Conc. Concrete	Concrete Slab
T.B.M.	Temporary Bench Mark	C/S	C/S Concrete Slab
TOP	Top of Bank	A/C	A/C Air Conditioner Pad
TOE	Top of Slope	LB	Licensed Business
O/E	Overhead Electric	LS	Licensed Surveyor
P/P	Power Pole	E.T.	Finish Elevation
PEP	PEP Tank	N.R.	Non-Radial to Curve
Manhole	Manhole	(P)	Plat Bearing & Distance
Television Riser	Television Riser	(M)	Measured Bearing & Distance
Cable Television Riser	Cable Television Riser		
Water Meter	Water Meter		
Electric Meter	Electric Meter		
Fire Hydrant	Fire Hydrant		

NOTES
1. The entire map encompassing this survey is recorded in Map Book 5, Pages 47-48.
2. Elevations shown on survey refer to N.G.V.D. 1929 datum.
3. Underground improvements and utilities not located.
4. Bearings refer to plat datum and to the centerline of 11TH STREET as being S88°48'06"W.
5. Property lies in Flood Zone "AE", (base flood elevation = 5.0') with reference to Map No. 12035C00232D, Effective Date: July 17, 2006. This location is based on maps prepared by the Federal Emergency Management Agency. Final location and flood zone determination rest with said agency.
6. Description provided by client.
7. No search for encumbering instruments was made by surveyor.
8. Error of closure meets or exceeds 1:7500 feet.

PREPARED FOR:
CHARLES RINEK CONSTRUCTION, INC
50 CYPRESS POINT PARKWAY SUITE A1
PALM COAST, FL 32164

SWA
STEPHENSON, WILCOX & ASSOCIATES, INC.
CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS

204 N. Railroad Street PO Box 186 Bunnell FL 32110
Phone: 386.437.2363 Fax: 386.437.0030
Email: info.swa@gmail.com

TYPE SURVEY: FIELD DATE OFFICE DATE JOB NO. BY:

Boundary	09/04/12	09/05/12	12-1114	DK
Form Board				
Foundation				
Final				

I hereby certify that the survey represented hereon meets or exceeds the minimum standards established pursuant to Section 472.027, Florida Statutes, and adopted in Chapter 5J-17 Florida Administrative Code.
DAN A. WILCOX, PSM No. 5749, PE No. 57633
Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.

SHEET
1 of 1



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #OE 13-04-01 – 1005 North Ocean Shore Boulevard Outdoor Entertainment Permit

DATE: March 27, 2013

Applicant: John R. Davis, 1005 North Ocean Shore Boulevard, Flagler Beach 32136

Property Owner: Rossis Development Group, LLC, 55 Longview Way, Palm Coast, Florida 32137

Property: 1005 North Ocean Shore Boulevard – 01-12-31-1100-00040-0040

Future Land Use: Commercial

Zoning District: Tourist Commercial

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances* Chapter 4, Amusements and Entertainment, the applicant is requesting an outdoor entertainment permit to allow amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment. The subject property is zoned as TC, Tourist Commercial, contains approximately 0.27 acre, and is generally located northwest of the intersection of 10th Street North and North Ocean Shore Boulevard. The subject property is occupied by Johnny D's Beach Bar & Grill.

Analysis

Section 4-167, Review of Permit Application, states that the City Commission, after receiving recommendation from the Planning and Architectural Review (PAR) Board, shall approve, approve with conditions, or deny a permit for outdoor entertainment activity based on any of the following grounds:

- (1) The activity would present an adverse impact to the health, safety or welfare of the applicant, participants, public employees or members of the public and/or fails to protect the city's environment.
- (2) The activity would unreasonably inconvenience the general public.
- (3) The proposed activity is prohibited by or inconsistent with the Flagler Beach Code of Ordinances or the Flagler Beach Comprehensive Plan.
- (4) The applicant cannot meet, or is unwilling to meet, all of the requirements of this article.
- (5) The activity is proposed for a site that does not have adequate parking to

accommodate the activity.

- (6) The activity is proposed for a site that is inherently hazardous to the participants or the public.
- (7) The event would have an adverse effect, and would unreasonably infringe upon, the rights of property owners within two hundred (200) feet of the property line of the subject property.
- (8) The event would conflict with another proximate event or interfere with construction or maintenance work.
- (9) The information furnished in the application is not materially complete and accurate.
- (10) The applicant has violated a provision, restriction or condition of this article or an outdoor entertainment activity permit issued to the applicant within the past.
- (11) The requirements identified by the city staff to ensure public health, safety and welfare have not been met.
- (12) The comments and/or recommendations of the planning and architectural review board have not been addressed.
- (13) The proposed event or activity is prohibited by federal, state, or local regulations.
- (14) Other issues in the public interest as identified by the city commission.

In making a determination to approve a permit the City Commission may limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted to minimize any adverse impact caused by the activity. Permits may be granted on an annual basis renewable yearly if the outdoor entertainment activity occurs twelve (12) or more times a year. Permits may be granted on a per event basis for outdoor entertainment activities that occur fewer than twelve (12) times a year. In no case shall the city's noise ordinance be violated.

Enclosure: Outdoor Entertainment Permit Application Packet



City of Flagler Beach Item Summary

SUBJECT: Consider a request for an Annual Outdoor Entertainment Permit for "Johnny D's Beach Bar & Grill at 1005 North Oceanshore Boulevard – Applicant John R. Davis.

BACKGROUND: The applicant's annual permit expired March 9, 2013. The applicant has paid the fee with submission of the application. Notices have been mailed to the surrounding properties, per Article IV, Section 4-167 (b) of the Code of Ordinance.

ATTACHMENTS: Application, letters sent to surround properties, letter sent to applicant, mailing list, location map, Article IV Outdoor Entertainment, and Incident Reports from the Police Department related to noise complaints for the property.

SUBMITTED BY: Summary submitted by City Clerk.

OFFICE USE ONLY: DATE REC'D <u>3-4-2013</u> FEE REC'D \$ <u>150.00</u> INITIALS: <u>P.O.</u> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> SENT PARB <input checked="" type="checkbox"/> PERMIT ISSUED _____	INSTRUCTIONS: <i>Please print or type all information.</i> The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (not applicable). Incomplete applications may delay your request. All statements made on the application are subject to verification.	City of Flagler Beach APPLICATION FOR OUTDOOR ENTERTAINMENT  105 South 2nd Street, Post Office Box 70 Flagler Beach, Florida 32136 Phone (386) 517-2000 Fax (386) 517-2008
---	--	--

**Please type or print legibly
Required Information**

Business Name: JOHNNY D'S BEACH BAR & GRILL
 Contact Person: JOHN R DAVIS
 Address: 1005 N. A1A
 City: FLAGLER BEACH State: FL Zip: 32136
 Work Phone: 386-693-4814 Home Phone: 904-504-8777
 Fax: NONE Mobile Phone: SAME AS ABOVE
 E-Mail Address: JDAVISSUN1@Yahoo.com

What type of permit are you applying for? (check one)

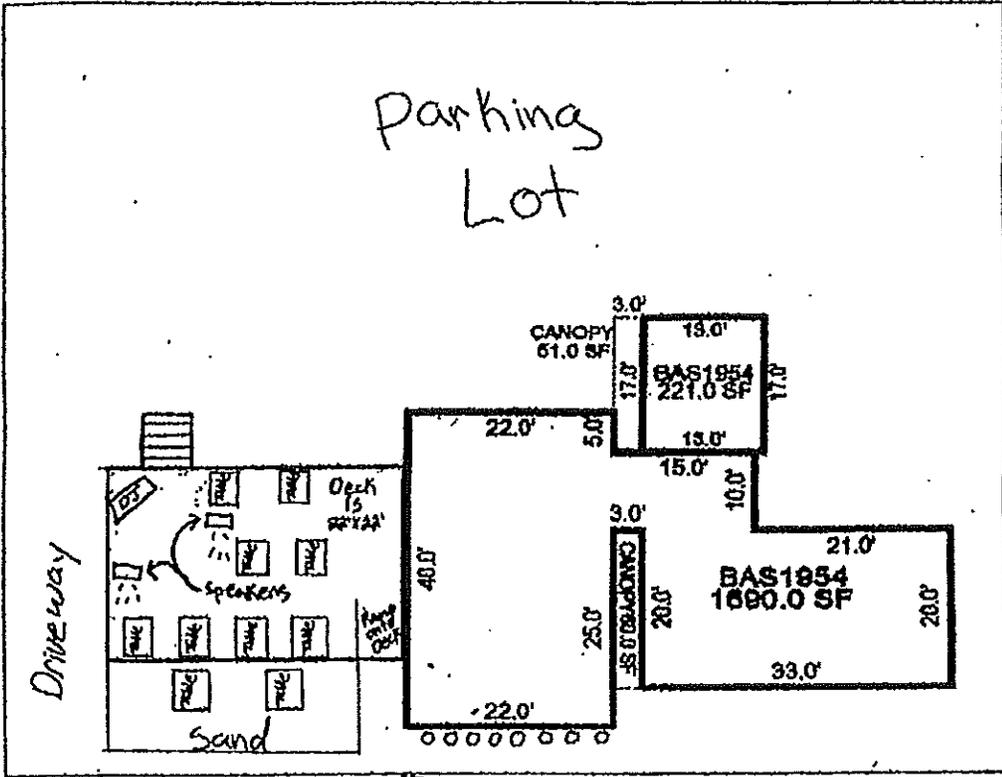
- Annual Permit (permit fee = ~~\$125.00~~ \$150.00)
 Per event that occurs fewer than 12 times a year (permit fee = \$75.00)
 (Please list dates and times for the events on the bottom of page 2)
 One day event on Date _____ (permit fee = \$50.00)
 Start time _____ am\pm End time _____ am\pm

Will you utilize temporary structures at your event? No Yes
 (If yes, attach a sketch of the site showing the location of these structure and see note below)

(Indicate number of each)
 _____ Stages _____ Scaffolding _____ Fences _____ Other

_____ Tents Do any of the tents exceed 200 square feet? _____ No _____ Yes

Note: Special Permits are required for tents exceeding 200 square feet. Special Building permits are required for temporary structures 700 or more square feet in area and those that are four feet above grade.



1005 NO. A1A Ft. Lauderdale Beach, FL.

Johnny D's Beach Bar & Grill

2-14-12

Received



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

March 4, 2013

RE: Outdoor Entertainment Permit Application Review

Dear Sir or Madam:

The purpose of this letter is to advise you, the City is in receipt of a request from "Johnny D's Beach Bar & Grill" located at 1005 N. Oceanshore Blvd. requesting an Annual Outdoor Entertainment Permit. Per Ordinance 2010-02 the office of the City Clerk is required to notify property owners in a two-hundred foot radius of the subject property of the meeting dates and times the request will be reviewed by the Planning & Architectural Review Board and the date the City Commission will have final review. The request will be reviewed by the Planning & Architectural Review Board on April 2, 2013; meeting begins at 5:30 p.m. The request will be before the City Commission for consideration on April 11, 2012 meeting begins at 5:30 p.m. The intent of this notice is to provide to you the opportunity to appear at the meeting(s) to voice your concerns or approval of the requested activity. Should you have any questions please contact the Planning & Zoning Office at 386-517-2000 ext. 232 or the City Clerk's Office at 386-517-2000 ext. 235 or 236 if you wish to view the application.

Sincerely,

Penny Overstreet
City Clerk

CC: Bruce Campbell, City Manager
Chad Lingenfelter, Planner
John R. Davis, Applicant



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

March 4, 2013

Mr. John R. Davis
1005 N. Oceanshore Blvd.
Flagler Beach, Florida 32136

RE: Outdoor Entertainment application

Dear Mr. Davis:

This letter is to advise you your request for an Outdoor Entertainment Permit will be heard by the Planning and Architectural review Board on April 2, 2013 at 5:30 p.m. The Planning Boards recommendation will be heard by the City Commission and the final decision will be made at their April 11, 2013 meeting which begins at 5:30 p.m. I have enclosed a copy of the letter that has been mailed to the businesses and residents within 200 feet of your location. Should you have concerns or questions please contact me at povestreet@cityofflaglerbeach.com or 386-517-2000 ext. 235. You may also contact the Planner, Chad Lingenfelter at clingefelter@cityofflaglereach.com or 386-517-2000 ext. 230.

Sincerely,

Penny Overstreet
City Clerk

Cc: Chad Lingenfelter, Planner
Planning & Architectural Review Board
Elected Officials
Bruce Campbell, City Manager

Mr. & Mrs. Coffin
628 Gulf Stream Drive
Ocean City, MD 21872

Jody Greene
2660 Peachtree RD. NW, Unit 33B
Atlanta, Georgia 30305

Mr. & Mrs. Baylor
860 CR 2006
Sunell, FL 32110

Janiel Waldren
1000 N. Central Avenue
Flagler Beach, FL 32136

Boimboeuf Family
89 Thornwood Lane
Orange Park, FL 32073

Volcott Inc.
P.O. Box 1407
Flagler Beach, FL 32136

Marvin Sheets
P.O. Box 1487
Sunell, FL 32110

Deanne Ulmer
106 Old Orangburg Rd
Cameron, SC 29030

Resident
1019 N. Central Avenue
Flagler Beach, FL 32136

Resident
101 N. Central Avenue
Flagler Beach, FL 32136

Resident
1101 N. Oceanshore Blvd.
Flagler Beach, FL 32136

Tara DiSalvo
1941 S. Alt Myrtle Lane
Fleming Island, FL 32003

Linda Huck
1008 N. Central Avenue
Flagler Beach, FL 32136

Resident
1016 N. Central Avenue
Flagler Beach, FL 32136

Uma Kastury
5 Catherine Court
Boonton, NJ 07005

Resident
914 N. Central Avenue
Flagler Beach, FL 32136

Resident
1001 N. Central Avenue
Flagler Beach, FL 32136

Susan Corson
1011 N. Central Ave
Flagler Beach, FL 32136

Resident
1101 N. Oceanshore Blvd.
Flagler Beach, FL 32136

Tara DiSalvo
1941 S. Alt Myrtle Lane
Fleming Island, FL 32003

Mr. Abbas
1100 N. Central Avenue
Flagler Beach, FL 32136

Alison Mauro
1001 N. Oceanshore Blvd.
Flagler Beach, FL 32136

Mr. & Mrs. Ocoy
1012 N. Central Avenue
Flagler Beach, FL 32136

Mr. & Mrs. Deluca
5 39TH Street
Newbury, MA 01951-1402

Resident
913 N. Oceanshore Blvd.
Flagler Beach, FL 32136

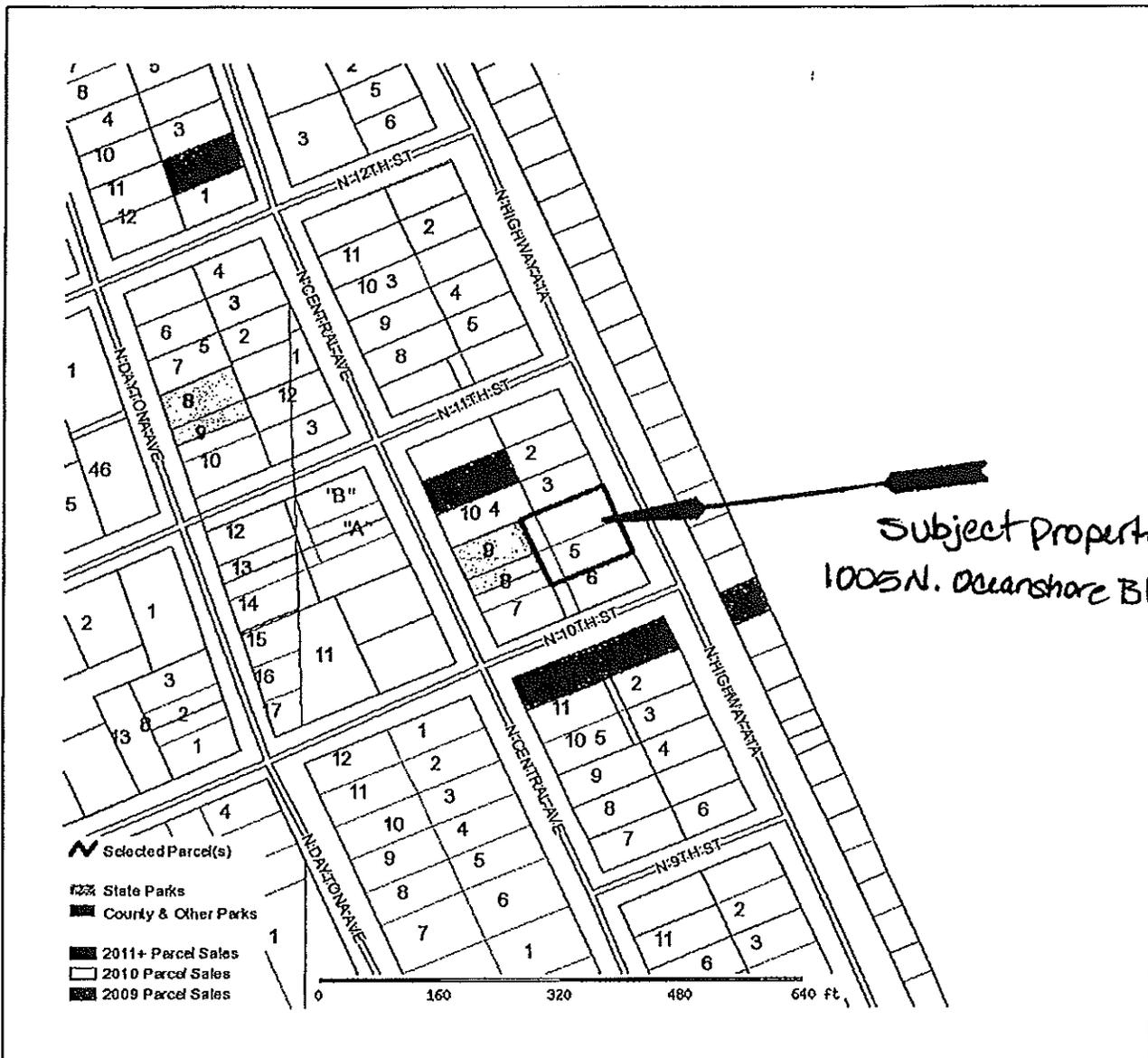
Mr. & Mrs. List
1005 N. Central Avenue
Flagler Beach, FL 32136

Mr. & Mrs. Middleton
455 Harbor Oaks Pointe Dr.
Orlando, FL 32809

Joan Veasey
3142 Edeburgh Dr.
Augusta, GA 30909

Mr. Abbas
1100 N. Central Avenue
Flagler Beach, FL 32136

Alison Mauro
1001 N. Oceanshore Blvd.
Flagler Beach, FL 32136



Subject Property
1005 N. Oceanshore Blvd.

Flagler County Property Appraiser			
Parcel: 01-12-31-1100-0040-0040 Sqft: 11884			
Name:	ROSSIS DEVELOPMENT GROUP LLC	Land Value:	237,680
Site:	1005 OCEANSHORE BLVD N	Building Value:	102,160
Site:	\$0 on 03-2008 Vacant=N Qual=U	Misc Value:	4,033
	55 LONGVIEW WAY	Just Value:	343,873
Mail:	PALM COAST, FL 32137	Assessed Value:	343,873
		Exempt Value:	0
		Taxable Value:	343,873



The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—

Date printed: 02/14/12 : 12:19:40

ARTICLE IV.

OUTDOOR ENTERTAINMENT

Sec. 4-161. Title.

This article shall be known as the Outdoor Entertainment Ordinance of the City of Flagler Beach, Florida.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07)

Sec. 4-162. Purpose.

It is recognized that outdoor entertainment in the City of Flagler Beach, whatever the duration, may create a hazard to public health, safety and welfare. Accordingly, the purpose of this article is to control outdoor entertainment in order to protect the public health, safety and welfare of the citizens of Flagler Beach and to protect the city's environment through the issuance of permits for outdoor entertainment activities conducted within the City of Flagler Beach.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07)

Sec. 4-163. Applicability.

This article shall apply to all property within the City of Flagler Beach that is located in the GC-General Commercial, TC-Tourist Commercial and HC-Highway Commercial zoning districts.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07)

Sec. 4-164. Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Applicant. Any person, business or organization that seeks an outdoor entertainment permit to conduct or sponsor an outdoor entertainment activity within any of the city's commercial zoning districts. The applicant is responsible for compliance with the requirements set forth herein and any terms and conditions as part of the outdoor entertainment permit. The owner or business owners of any property on which outdoor entertainment occurs may also be deemed the applicant in terms of responsibility or liability for violation of this article or other federal, state or local regulations occurring on any such property.

Amplified event. Any outdoor entertainment activity that includes electronically amplified music and/or voices.

City manager. The city manager of the City of Flagler Beach or the manager's designee.

Non-amplified event. Any outdoor entertainment activity that does not include electronically amplified music and/or voices.

Outdoor entertainment. A specific event or activity that is not regulated by the city's special events and

vendor ordinances, is held in the open, and not within an enclosed structure. Enclosed structures do not include tents, canopies, sound stages, pavilions, amphitheaters or the like. Outdoor entertainment includes, but is not limited to, amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment.

Temporary structures. Includes, but is not limited to booths, bleachers, canopies, tents, sound stages, and fences approved by the city manager for temporary purposes during an outdoor entertainment event. Such structures shall be removed upon the expiration of the time limit stated in the permit.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07)

Sec. 4-165. Permit required.

Any person, business or organization desiring to conduct or sponsor outdoor entertainment in any of the city's commercial zoning districts shall obtain a permit that is approved by the city commission.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2010-02, § 2, 2-25-10)

Sec. 4-166. Permit application requirements.

An outdoor entertainment application form provided by the city clerk's office shall be completed by the applicant. The completed application shall be returned to the clerk's office together with a check for the permit fee. Permit fees shall be based on the type of permit sought and are non-refundable and shall be in amounts as determined by resolution of the city commission.
(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2010-02, § 2, 2-25-10)

Sec. 4-167. Review of permit application.

(a) The city commission, after receiving recommendation from the planning and architectural review (PAR) board, shall approve, approve with conditions, or deny a permit for outdoor entertainment activity based on any of the following grounds:

- (1) The activity would present an adverse impact to the health, safety or welfare of the applicant, participants, public employees or members of the public and/or fails to protect the city's environment.
- (2) The activity would unreasonably inconvenience the general public.
- (3) The proposed activity is prohibited by or inconsistent with the Flagler Beach Code of Ordinances or the Flagler Beach Comprehensive Plan.
- (4) The applicant cannot meet, or is unwilling to meet, all of the requirements of this article.
- (5) The activity is proposed for a site that does not have adequate parking to accommodate the activity.
- (6) The activity is proposed for a site that is inherently hazardous to the participants or the public.

- (7) The event would have an adverse effect, and would unreasonably infringe upon, the rights of property owners within two hundred (200) feet of the property line of the subject property.
- (8) The event would conflict with another proximate event or interfere with construction or maintenance work.
- (9) The information furnished in the application is not materially complete and accurate.
- (10) The applicant has violated a provision, restriction or condition of this article or an outdoor entertainment activity permit issued to the applicant within the past.
- (11) The requirements identified by the city staff to ensure public health, safety and welfare have not been met.
- (12) The comments and/or recommendations of the planning and architectural review board have not been addressed.
- (13) The proposed event or activity is prohibited by federal, state, or local regulations.
- (14) Other issues in the public interest as identified by the city commission.

(b) In making a determination to approve a permit the city commission may limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted to minimize any adverse impact caused by the activity. Permits may be granted on an annual basis renewable yearly if the outdoor entertainment activity occurs twelve (12) or more times a year. Permits may be granted on a per event basis for outdoor entertainment activities that occur fewer than twelve (12) times a year. In no case shall the city's noise ordinance be violated.

(c) Upon receipt of an application for outdoor entertainment activity, the city clerk's office shall review the application within five (5) working days of receiving it to determine if it is complete, fees have been paid and if the proposed activity qualifies as an outdoor entertainment activity. If so determined, the city clerk's office shall mail via regular mail a notice to all real property owners located within two hundred (200) feet from the property line of the subject property which notice shall include: the address of the subject property, the nature of outdoor entertainment activity sought, and the date, time and location of the PAR board meeting at which the application will be heard for recommendation. In deciding its recommendation on the application, the PAR board shall consider those same grounds listed above for consideration by the city commission. The recommendation will be brought to the city commission for final decision at its next available commission meeting.

(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2010-02, § 2, 2-25-10)

Sec. 4-168. Exemptions.

The city and its agencies shall be exempt from the permit requirements of this article.

(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2010-02, § 2, 2-25-10)

Sec. 4-169. Existing businesses conducting outdoor entertainment prior to the effective date of this

ordinance.

All businesses with current outdoor entertainment permits at the time of adoption of this ordinance [Ordinance No. 2010-02] shall not be required to apply for a new permit approved by the city commission until expiration of their current outdoor entertainment permits. If there is a change of ownership of an existing business permitted pursuant to this section, a new application shall be submitted for a permit that meets the requirements of this article.

(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2010-02, § 2, 2-25-10)

Sec. 4-170. Reserved.

Editors Note: Ord. No. 2010-02, § 2, adopted Feb. 25, 2010, deleted the former § 4-168, which pertained to appeals, and renumbered the former § 4-169 as § 4-168 and renumbered the former § 4-170 as § 4-169.

Sec. 4-171. Penalties.

In the event it is determined by the Flagler Beach Police or a designated representative of the city that the permittee has violated the terms of this article, the following penalties shall be imposed.

Each violation of this article shall commence on the date of the first violation and continue for a period of ninety (90) days and shall carry the following civil penalties:

- (1) First violation, a verbal warning.
- (2) Second violation, a citation in the amount of one hundred dollars (\$100.00).
- (3) Third violation, a citation in the amount of two hundred fifty dollars (\$250.00).
- (4) Fourth violation, an order at the discretion of the on-duty officer or police chief to shut down the outdoor entertainment, or if not ordered to shut down a citation shall be issued in the amount of two hundred fifty dollars (\$250.00). In either case, the outdoor entertainment permit shall be suspended for five (5) business days.
- (5) Thereafter, each repeat violation shall be cause at the discretion of the on-duty officer or police chief to shut down the outdoor entertainment, or if not ordered to shut down, a citation shall be issued in the amount of two hundred fifty dollars (\$250.00). In either case, the outdoor entertainment permit shall be suspended for the remainder of the permit period.

Additionally, an emergency code enforcement meeting shall be called to address the violation. The special magistrate or code enforcement board may impose additional fines. In the event that a person contests the citation issued him or her, or if he or she is convicted of the above charge, the court will set the fine in an amount not exceeding the statutory limits plus any costs the court may impose. The city may also seek payment of outstanding expenses as restitution.

(Ord. No. 2007-24, § 1(Exh. A), 7-26-07; Ord. No. 2009-13, § 4, 8-6-09)

Secs. 4-172--4-195. Reserved.



Incident Report

Print Date/Time: 03/06/2013 12:42
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00011462

Incident Date/Time: 12/1/2012 9:19:34 PM
Location: 1005 N SR HIGHWAY A1A
FLAGLER BEACH FL 32136

Incident Type: Noise Complaint
Venue: Flagler Beach

Phone Number:
Report Required: No
Prior Hazards: No
LE Case Number:

Source: Phone
Priority: Low
Status: Investigate
Nature of Call:

Unit/Personnel

Unit	Personnel
L318	7063-Santiago

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	WALDRON, DAN	<UNKNOWN>	439-3206			

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	1

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

12/01/2012 21:19:59 Doggett, Cherie Narrative: 1000 N CENTRAL / RP WANTS CONT HERE
12/01/2012 21:22:09 Santiago, Edgar Narrative: Dispatch received by unit L318
12/01/2012 22:07:37 Santiago, Edgar Narrative: db of 61.8, acceptable level is 60db. written warning was issued on 09/24/12 which began the 90 day period per city ord.
12/01/2012 22:09:31 Santiago, Edgar Narrative: FEMALE ONSITE SAVANNAH BIKOFF ADVISED SHE IS A RELATIVE OF THE OWNER AND ADVISED SHE WAS IN CHARGE DURING THE TIME VIOLATION
12/01/2012 22:15:43 Santiago, Edgar Narrative: CITY ORD. CITATION ISSUED FOR 2ND VIOLATION IN THE AMOUNT OF \$100. CITATION #1347



Incident Report

Print Date/Time: 03/06/2013 12:42
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00009274

Incident Date/Time:	9/24/2012 8:37:00 PM	Incident Type:	Noise Complaint
Location:	1005 N SR HIGHWAY A1A FLAGLER BEACH FL 32136	Venue:	Flagler Beach
Phone Number:		Source:	Phone
Report Required:	No	Priority:	Low
Prior Hazards:	No	Status:	Investigate
LE Case Number:		Nature of Call:	

Unit/Personnel

Unit	Personnel
L218	7031-Pineda

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	FEMALE, ANON	<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

09/24/2012 20:37:13 Ziegler, Ashlie Narrative: LOUD MUSIC
 09/24/2012 21:00:42 Kevin Pineda Narrative: Dispatch received by unit L218
 09/24/2012 21:00:48 Ziegler, Ashlie Narrative: WILL BE ENR TO PD TO GET METER
 09/24/2012 21:50:50 Kevin Pineda Narrative: Johnny D's was in violation. Total Noise dB level was 69.0dB. Ordinance for residential level is 60.0dB. Written warning was issued. Johnny Davis advised he challenges the meter reading and does not believe he was that loud. I advised I have been called here numerous times over the last couple weeks and this time its louder than normal, which the noise meter confirmed.
 09/24/2012 21:51:41 Kevin Pineda Narrative: 90 Day countdown for future violation has begun per city ordinance.



Incident Report

Print Date/Time: 03/06/2013 12:43
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00009217

Incident Date/Time: 9/22/2012 9:02:10 PM
Location: 1005 N SR HIGHWAY A1A
FLAGLER BEACH FL 32136

Incident Type: Noise Complaint
Venue: Flagler Beach

Phone Number:
Report Required: No
Prior Hazards: No
LE Case Number:

Source: Phone
Priority: Low
Status: Investigate
Nature of Call:

Unit/Personnel

Unit	Personnel
L141	7056-Bustos

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	FEMALE, ANON	<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

09/22/2012 21:02:33 Ziegler, Ashlie Narrative: LOUD MUSIC

09/22/2012 21:17:22 Rosanna Bustos Narrative: Dispatch received by unit L141

09/22/2012 21:26:18 Rosanna Bustos Narrative: DUE TO ANON. COMPLAINT WAS UNABLE TO USE METE
READER RECORD FROM COMPLAIN LOCATION. I WAS ABLE TO HEAR MUSIC COMMING FROM CENTRAL AVE.
I MADE CONTACT WITH JEN(WORKER) DUE TO NO MANAGERS OR OWNER ON SCENE AND ADVISED OF THE
COMPLAINT. JEN HAD THE DJ TURN THE MUSIC DOWN.



Incident Report

Print Date/Time: 03/06/2013 12:43
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00008894

Incident Date/Time: 9/13/2012 9:36:14 PM
Location: 1005 N SR HIGHWAY A1A
FLAGLER BEACH FL 32136
Phone Number:
Report Required: No
Prior Hazards: No
LE Case Number:

Incident Type: Noise Complaint
Venue: Flagler Beach
Source: Phone
Priority: Low
Status: Investigate
Nature of Call:

Unit/Personnel

Unit	Personnel
L210	7043-Blank

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	ANONYMOUS	<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

09/13/2012 21:36:35 Gernert, Wendy Narrative: LOUD MUSIC
09/13/2012 21:36:42 Gernert, Wendy Narrative: NO CONTACT W/ RP
09/13/2012 21:36:54 Gernert, Wendy Narrative: RP ADVISED SHE CALLED AND ASKED THAT THEY TURN IT DOWN AND THEY REFUSED
09/13/2012 21:37:58 David Blank Narrative: Dispatch received by unit L210
09/13/2012 21:55:25 David Blank Narrative: Made contact with owner of Johnny D's advised he would have the music turned down and that they will be done playing at 2200 hours. Johnny also advised that no one has called and requested the music be turned down.



Incident Report

Print Date/Time: 03/06/2013 12:44
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00008824

Incident Date/Time: 9/11/2012 8:50:12 PM
Location: 1005 N SR HIGHWAY A1A
FLAGLER BEACH FL 32136

Incident Type: Noise Complaint
Venue: Flagler Beach

Phone Number:
Report Required: No
Prior Hazards: No
LE Case Number:

Source: Phone
Priority: Low
Status: Investigate
Nature of Call:

Unit/Personnel

Unit	Personnel
L131	7059-McCraney
L218	7031-Pineda

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	MALE, ANON	<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State

Disposition(s)

Disposition	Count
AC	3

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.

CAD Narrative

09/11/2012 20:50:38 Ziegler, Ashlie Narrative: LOUD MUSIC
 09/11/2012 20:50:40 Ziegler, Ashlie Narrative: NO CONTACT WITH CALLER
 09/11/2012 20:52:11 Kevin Pineda Narrative: Dispatch received by unit L218
 09/11/2012 21:05:53 McCraney, Joseph Narrative: Dispatch received by unit L131
 09/11/2012 21:23:39 Kevin Pineda Narrative: Highest noise reading 68.7, highest ambient reading 67.6. Not enough separation in decibel to perform a conclusive reading. No violation. Rain started as well and DJ is packing up, music has stopped.



Incident Report

Print Date/Time: 03/06/2013 12:44
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00008524

Incident Date/Time: 9/2/2012 9:17:33 PM
Location: 1005 N SR HIGHWAY A1A
FLAGLER BEACH FL 32136

Incident Type: Noise Complaint
Venue: Flagler Beach

Phone Number:
Report Required: No
Prior Hazards: No
LE Case Number:

Source: Phone
Priority: Low
Status: investigate
Nature of Call:

Unit/Personnel

Unit	Personnel
L218	7031-Pineda

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller		<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

09/02/2012 21:17:49 Doggett, Cherie Narrative: LOUD MUSIC

09/02/2012 21:18:38 Kevin Pineda Narrative: Dispatch received by unit L218

09/02/2012 22:09:14 Kevin Pineda Narrative: Highest reading was 63.7, highest ambient 63.2. Inconclusive readings, ambient and full readings are not far enough apart to calculate ending decibel results. No violation. Music has been shut down in accordance to the 10pm ordinance.



Incident Report

Print Date/Time: 03/06/2013 12:45
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00006389

Incident Date/Time:	6/30/2012 6:12:53 PM	Incident Type:	Noise Complaint
Location:	1005 N SR HIGHWAY A1A FLAGLER BEACH FL 32136	Venue:	Flagler Beach
Phone Number:	439-3206	Source:	Phone
Report Required:	No	Priority:	Low
Prior Hazards:	No	Status:	Investigate
LE Case Number:		Nature of Call:	

Unit/Personnel

Unit	Personnel
L210	7043-Blank

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
	Caller	WALDRON, DAN	<UNKNOWN>	439-3206			

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

06/30/2012 18:13:04 Weibling, Lainie Narrative: RP AT 1000 N CENTRAL AVE
06/30/2012 18:13:29 Weibling, Lainie Narrative: REF NOISE AT JOHNNY D'S
06/30/2012 18:13:33 Weibling, Lainie Narrative: LOUD MUSIC
06/30/2012 18:13:51 Weibling, Lainie Narrative: RP WANTS CONTACT
06/30/2012 18:45:43 David Blank Narrative: Dispatch received by unit L210
06/30/2012 19:36:42 Weibling, Lainie Narrative: clear from rp's resd, out at Johnny Ds
06/30/2012 19:46:44 David Blank Narrative: Made contact with Rp. I checked the noise with our sound meter the loudest the noise was for a period of 15min was 65.5 decibels. per the Rp's request I made contact at Johnny D's and spoke to the manager who advised that they will turn down the music altho they were not in violation.



Incident Report

Print Date/Time: 03/06/2013 12:45
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00003582

Incident Date/Time:	4/16/2012 8:43:09 PM	Incident Type:	Noise Complaint
Location:	1005 N SR HIGHWAY A1A FLAGLER BEACH FL 32136	Venue:	Flagler Beach
Phone Number:	(386)439-3206	Source:	Phone
Report Required:	No	Priority:	Low
Prior Hazards:	No	Status:	Investigate
LE Case Number:		Nature of Call:	

Unit/Personnel

Unit	Personnel
L210	7043-Blank

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	WALDRON, DAN	1000 N CENTRAL AVE FL	(386)439-3206			

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

04/16/2012 20:43:22 Gernert, Wendy Narrative: LOUD MUSIC FROM JOHNNY D'S
04/16/2012 20:44:21 Gernert, Wendy Narrative: RP ADVISED IT IS VERY LOUD
04/16/2012 20:44:37 David Blank Narrative: Dispatch received by unit L210
04/16/2012 20:59:38 David Blank Narrative: Spoke with owner Johnny the music was turned down.



Incident Report

Print Date/Time: 03/06/2013 12:45
Login ID: mdasilva

Flagler Beach Police Department
ORI Number: FL0180200

Incident: 2012-00002670

Incident Date/Time:	3/23/2012 8:00:12 PM	Incident Type:	Noise Complaint
Location:	1005 N SR HIGHWAY A1A FLAGLER BEACH FL 32136	Venue:	Flagler Beach
Phone Number:		Source:	Phone
Report Required:	No	Priority:	Low
Prior Hazards:	No	Status:	investigate
LE Case Number:		Nature of Call:	

Unit/Personnel

Unit	Personnel
L118	7013-Lashbrook
L141	7056-Bustos

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	WALDRON, DAN	<UNKNOWN>	(386)439-3206			

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	3

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

03/23/2012 20:00:29 Caccavale, Genice Narrative: LOUD MUSIC
03/23/2012 20:00:39 Caccavale, Genice Narrative: JOHNNY D BAR AND GRILL
03/23/2012 20:00:59 Rosanna Bustos Narrative: Dispatch received by unit L141
03/23/2012 20:01:17 Caccavale, Genice Narrative: REQ THAT THE MUSIC BE TURNED DOWN
03/23/2012 20:01:29 Dennis Lashbrook Narrative: Dispatch received by unit L118
03/23/2012 20:09:37 Caccavale, Genice Narrative: RP DOES NOT WISH CONTACT



Incident Report

Print Date/Time: 03/06/2013 12:46

Flagler Beach Police Department

Login ID: mdasilva

ORI Number: FL0180200

Incident: 2012-00001828

Incident Date/Time:	3/2/2012 6:50:29 PM	Incident Type:	Noise Complaint
Location:	1005 N SR HIGHWAY A1A FLAGLER BEACH FL 32136	Venue:	Flagler Beach
Phone Number:	(386)431-5721	Source:	Phone
Report Required:	No	Priority:	Low
Prior Hazards:	No	Status:	Investigate
LE Case Number:		Nature of Call:	

Unit/Personnel

Unit	Personnel
L131	7059-McCraney

Person(s)

No.	Role	Name	Address	Phone	Race	Sex	DOB
1	Caller	FORESTER, JIM	<UNKNOWN>				

Vehicle(s)

Role	Type	Year	Make	Model	Color	License	State
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Disposition(s)

Disposition	Count
AC	2

Property

Date	Code	Type	Make	Model	Description	Tag No.	Item No.
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CAD Narrative

03/02/2012 18:50:49 Mortimer, Christina Narrative: N 10TH AND N 11TH
03/02/2012 18:50:54 Mortimer, Christina Narrative: BELIEVES ITS COMING FROM JOHNNY B'S
03/02/2012 18:51:03 Mortimer, Christina Narrative: LOUD MUSIC - RP CANT HEAR HIS TV BC OF IT
03/02/2012 18:58:04 McCraney, Joseph Narrative: Dispatch received by unit L131
03/02/2012 19:03:02 McCraney, Joseph Narrative: NO VIOLATION HEARD



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #AP 13-04-01 – Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations

DATE: March 27, 2013

Applicant and Property Owner: Richard F. and Amy J. Uras, 37 Oakland Drive, Spencer, Massachusetts 01562

Property: 324 Lambert Avenue – 12-12-31-4650-000B0-0120

Future Land Use: Low Density Residential

Zoning District: R-1, Single-Family Residential

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article II., Zoning*, the applicant is appealing the decision of the City Planner in the enforcement and interpretation of the tree replacement regulations to mitigate 26.75 inches of Oak tree that was removed without a permit.

Analysis

On January 18, 2013, the Code Enforcement Officer observed an Oak tree being removed from the subject property. No permit application for tree removal from the subject property had been received by the Planning and Building Department before that date. The contractor working for the property owners allowed the Code Enforcement Officer to measure the circumference at breast height of the Oak tree after the canopy had been removed.

Pursuant to Section 2.06.09.(4), Eligibility for Tree Removal, the subject tree would have had to meet one (1) of the following criteria to be eligible for a tree removal permit:

- A. The tree is located in a buildable area, street or parking area where a structure or improvement is to be placed, or within the area necessary to provide utility service to the lot and there is no reasonable alternative placement for the structure or improvement;
- B. The tree is within five (5) feet of a proposed structure or improvement such that it restricts actual construction or proposed use of the structure or improvement, except if such tree sought to be removed is within the building setback line and the intended structure or improvement can be built as designed in a location that does not require removal of such tree, then the city manager or designee

shall have the power to require relocation of the proposed structure in order to preserve such trees within the setback line;

- C. The tree is severely diseased, injured, and in danger of falling or is severely diseased, injured and too close to existing or proposed structures so as to endanger such structures or interfere with utility services;
- D. Where removal is necessary to permit better growth and balance for those trees remaining; or
- E. It is in the welfare of the general public that the tree be removed for a reason other than set forth above.

The subject tree would not have satisfied any of these prescribed criteria and a tree removal permit would not have been issued.

Section 2.06.09.(13)(A), After-the-Fact Permits and Penalties for Unauthorized Removal, states, "Any person who shall remove any tree or vegetation from a lot without first having applied for and received a permit therefor as required by this section, shall within thirty (30) days after notice by the City Manager or designee, apply for and obtain an after-the-fact permit. The fee for each permit shall be five hundred dollars (\$500.00) to off-set the cost to the City of investigation and enforcement of the City's ordinances relating to tree and vegetation removal plus the appropriate fee in lieu of replacement provided in Section 2.06.09.11. ... The determination by the City Manager or designee that a tree or vegetation has been removed without a permit may be appealed to the planning and architectural review board within thirty (30) days after service of the notice." The property owner applied for an after-the-fact tree removal permit on January 18, 2013. Section 2.06.09.(13)(D), states, "The issuance of an after-the-fact permit, as herein required, shall not relieve the owner of the property upon which a removed tree shall have been located from the requirement of replacement required under this section." Therefore, the property owner was charged \$500 plus \$75 per inch, as required in Section 2.06.09.11.B.(i)c. The permit amount was \$2,531.37 and this was paid on February 1, 2013.

Pursuant to Section 2.06.09.(12), Tree and Vegetation Removal; Tree Protection, "Any person required to obtain a permit and who is adversely affected by a decision of any city official or employee in the enforcement or interpretation of this article, may appeal such decision to the Planning and Architectural Review Board, which, by a majority vote, may affirm, reverse, or modify the adverse decision, (the Planning and Architectural Review Board shall have the authority to grant minor variances of no more than twenty (20) percent of any building setback line where such variance will preserve a tree which otherwise may be required to be removed in the absence of such variance) and any decision of the Planning and Architectural Review Board may be appealed to the City Commission, who may consider the entire matter de novo, and by a majority vote, may fix anew the condition for removal of trees or vegetation, or may affirm, reverse or modify any decision made by any city official or city board prior thereto. Notice of appeal shall be made in writing to the City Clerk within thirty (30) days of the decision being appealed from. Any decision of the City Commission is subject to review as provided by law."

The applicant is appealing the decision of the City Planner to collect a \$500 after-the-fact permit fee and the fee in lieu of replacement for the 26.75 inches of Oak tree that was removed from the subject property.

Enclosures:

Letter from Applicant, February 26, 2013

Tree Removal After-the-Fact Permit, February 1, 2013

Photographs, January 18, 2013



February 26, 2013

Planning & Architectural Review Board
116 3rd Street South
Flagler Beach, FL 32136

To Whom It May Concern,

I am writing this letter to appeal the tree fine and tree removal fee that we were charged in the amount of \$2,531.37 on February 4, 2013. \$500.00 of this charge was tree removal without permit, \$2,006.37 tree removal, and \$25.00 tree removal review. A copy of the permit is attached.

Let me begin by saying, we are new to the area and we were unaware of the need for a permit to remove the tree. As soon as it was brought to our attention, we immediately went to the town hall and applied as needed.

We feel that the \$500.00 removal without permit fine is quite excessive as we only trimmed the limbs on the tree and did not remove the entire tree. The tree was in very poor shape and branches were falling all over our yard. My roof has mold from the tree being so close to the roof and not allowing any sun on the roof. We have grandchildren and we were concerned for their safety with all the branches falling.

We are law abiding persons and would not intentionally try to do something wrong.

As for the \$2,006.37 charge to allow us to remove the tree, we feel that is extremely excessive. We hope to build a new home on the property. If you drive by the property, you will see that we have spent a lot of time and money to clean up the yard and to groom all of the palm trees on our lot which we have over fifty of.

No one has taken care of the landscaping in a very long time and our intentions are good. We are trying to improve the property and it would be greatly appreciated if the fine and the tree fee could be reviewed.

We thank you in advance for your consideration on this matter.

Respectfully Submitted,

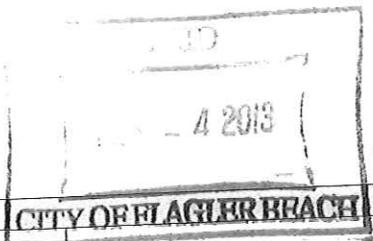
Richard & Amy Uras
324 Lambert Avenue
Flagler Beach, FL 32176
Amy's Phone: (774) 696-3233
Rick's Phone: (774) 696-5548



PERMIT

<p>PERMIT INFORMATION</p> <p>Permit #: 20130207 Issued: 2/01/2013</p> <p>Permit Type: TREE REMOVAL</p> <p>Class of Work: TREE REMOVAL</p> <p>Proposed Use: SINGLE-FAMILY RESIDENCE</p> <p>Sq. Feet: Est. Value:</p> <p>Cost: Total Fees: 2,531.37</p> <p>Amount Paid: Date Paid:</p>		<p>LOCATION INFORMATION</p> <p>Address: 324 LAMBERT AVE FLAGLER BEACH, FL</p> <p>Township: 12 Range: 31</p> <p>Lot(s): 12 Block: 8 Section: 12</p> <p>Book: Page:</p> <p>Subdivision: OCEAN CITY</p> <p>Parcel Number: 12-12-31-4650-000B0-0120</p>	
<p>CONTRACTOR INFORMATION</p> <p>Name: OWNER/BUILDER</p> <p>Addr:</p> <p>Phone: Lic:</p>		<p>OWNER INFORMATION</p> <p>Name: URAS, RICHARD & AMY</p> <p>Address: 37 OAKLAND DRIVE SPENCER, MA 01562</p> <p>Phone: (774)696-5548</p>	
<p>Work Desc: TREE REMOVAL W/O PERMIT - 26.75" OAK TREE</p>			

APPLICATION FEES			
200 - TREE REMOVAL W/O PERM	500.00	0016 - TREE BANK	2,006.37
			098 - TREE REMOVAL REVIEW
			25.00



INSPECTIONS REQUIRED			
FINAL			

FOR INSPECTIONS ON THIS PERMIT PLEASE CALL (386) 517-2000 EXT. 311

THIS PERMIT EXPIRES IF WORK HAS NOT COMMENCED WITHIN SIX (6) MONTHS OF BEING ISSUED OR IF THERE IS NOT AN APPROVED INSPECTION FOR A PERIOD OF SIX (6) MONTHS
 IN ADDITION TO THE REQUIREMENTS IN THIS PERMIT THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE RECORDS OF THIS JURISDICTION AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES AND FEDERAL AGENCIES, FS: 553.79 (10).

Chad Lingenfelter
 CITY PLANNER



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #AP 13-04-02 – Appeal of a Decision of the City Planner in the Enforcement and Interpretation of Section 2.04.02.9., Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements, *Land Development Regulations*

DATE: March 27, 2013

Applicant and Property Owner: Roy E. and Susan J. Wildman, 68 Habersham Drive, Flagler Beach, Florida 32136

Property: 3632 South Central Avenue – 29-12-32-4981-00000-0070

Future Land Use: Medium Density Residential

Zoning District: MDR, Medium Density Residential

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article II., Zoning*, the applicant is appealing the decision of the City Planner in the enforcement and interpretation of Section 2.04.02.9., Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements that a proposed “Florida Room” may not be closer than 25 feet to the rear property line in the subject zoning district.

Analysis

On January 31, 2013, a contractor, on behalf of the property owner, applied for a building permit to construct a “Florida Room” on the west end of an interior townhouse and the subject property. According to the survey submitted with the permit application, the west property line of subject property is four (4) feet from the west wall of the townhouse. According to the construction drawings, the proposed “Florida room” is to be ten (10) feet deep, or six (6) feet past the west line of the subject property. According to the Palm Haven Subdivision plat, the Palm Haven Townhouse Association, Inc. owns 14.67 feet west of the individual properties. Therefore, the proposed “Florida Room” would be 8.67 (4+14.67-10) feet from the west line of the common area property. The property owner provided a letter from the Palm Haven Townhouse Association, Inc. President to allow the “Florida Room” to be constructed on the common area property.

Pursuant to Section 2.04.02.9., Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements, the rear yard setback in the MDR, Medium Density

#AP 13-04-02 – Appeal of a Decision of the City Planner in the Enforcement and Interpretation of Section 2.04.02.9., Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements, *Land Development Regulations* Page 2 of 2
Residential zoning district is 25 feet. Therefore, the permit application was “disapproved” on February 8, 2013. The applicant has been advised on numerous occasions that a variance may be sought to allow an encroachment into a required rear yard.

The property owner is appealing the decision of the City Planner to not allow a “Florida Room” setback 8.67 feet from the west property line. The property owner requested to appear before the City Commission and the City Manager determined that this appeal of the interpretation by the City Planner of Section 2.04.02.9. be presented to the Planning and Architectural Review Board.

Enclosures: Agenda Application from Applicant, March 4, 2013
Flagler County Property Appraiser Property Card Maps, February 26, 2013
Letter from the Palm Haven Townhouse Association, Inc. President, February 12, 2013
Permit Application Routing Slip
Boundary and Location Survey of 3624 South Central Avenue, December 3, 2007
Photographs

City of Flagler Beach

Agenda Application

CITY OF FLAGLER BEACH

MAR 04 2013

RECEIVED

4:20 pm
LMutnis

INDIVIDUAL'S NAME: Susan Wildman

BUSINESS NAME: _____

(If Applicable)

STREET ADDRESS: 3632 South Central Ave.

(If within City of Flagler Beach)

MAILING ADDRESS: 3632 South Central Ave., Flagler Beach, Florida 32136

(Please provide City & Zip Code)

PHONE NUMBER: 386-793-8584

SUBJECT MATTER TO BE DISCUSSED WITH THE COMMISSION:

(This is the wording you would like on the agenda)

Seeking relief of the decision by the City Planner regarding the addition of a Florida Room at 3632 South

Central Ave., Flagler Beach, Lot 7 of the Palm Haven Townhouse Association.

BACKGROUND INFORMATION REGARDING THE SUBJECT:

* The Palm Haven Townhouses (PHT) consist of 10 units all located in one building.

* Four of these Townhouses have improvements, Florida Rooms, which extend into the common area of the Palm Haven Townhouse Association, and were all built by Lewis Ames, our contractor, in 2006 and 2007.

* My husband and I bought our Townhouse as our primary residence with the intention of adding the Florida Room, knowing that 4 other Florida Rooms had been allowed on 4 Townhouses of the PHT as a matter of right and with the approval of the Building Inspector.

* The additional space provided by these previously approved, approx. 16' by 10' improvements to the Townhouses, was a determining factor by us in the purchase of 3632 South Central Ave.

(OVER)

City of Flagler Beach

Agenda Application Continued

REQUESTED ACTION SOUGHT FROM THE COMMISSION:

A decision by your Commission which would allow the construction of a Florida Room, at 3632 South Central Ave., Lot 7 of the PHT, which will be identical in size, construction, and color as those previously permitted by the City of Flagler Beach at 3620 S. Central Ave., Lot 1; 3624 S. Central Ave., Lot 3; 3636 S. Central Ave., Lot 9; and 3638 S. Central Ave., Lot 10 of the Palm Haven Townhouse Association of Flagler Beach, Florida.

ATTACHMENTS: (1) Aerial View Map 1, (2) Aerial View Map 2, (3) Letter (4) Permit Application Routing Slip, (5) 3624 S. Central Ave. Survey Map, (6) 3632 S. Central Survey Map, (7) Pictures

Please note the City Commission's Rules of Procedures require all supporting documents to be provided at the time the agenda application is submitted. Please refrain from handing out material at the Commission Meetings.

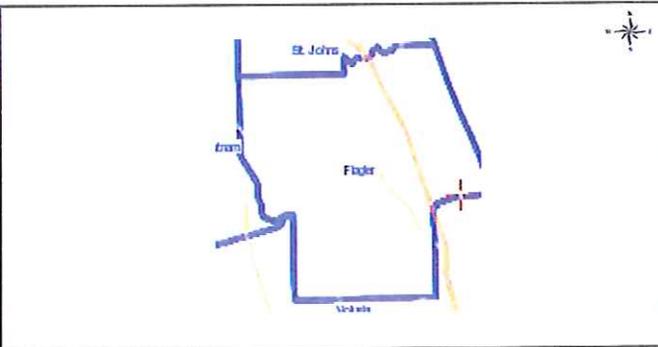
The maximum time allowed for each request is 10 minutes.

Susan J. Wildman
SIGNATURE OF APPLICANT

3/3/13
DATE



Flagler County Property Appraiser			
Parcel: 29-12-32-4981-00000-0070 Acres: 0.03			
Name:	FITZPATRICK RICHARD J	Land Value	18,000
Site:	3632 CENTRAL AVE S	Building Value	56,497
Sale:	\$0 on 01-2008 Vacant=N Qual=U	Misc Value	288
Mail:	3632 S CENTRAL AVE	Just Value	74,785
	FLAGLER BEACH, FL 32136	Assessed Value	74,785
		Exempt Value	49,785
		Taxable Value	25,000

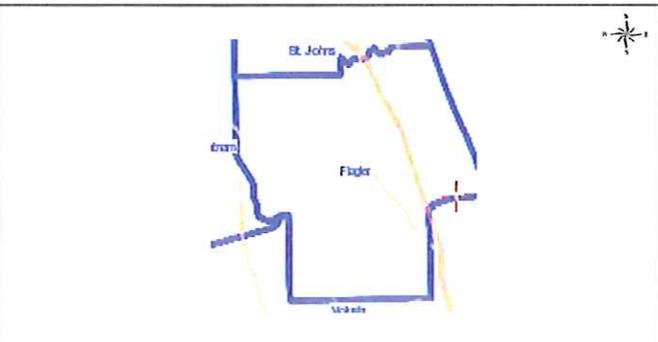


The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS ---THIS IS NOT A SURVEY---

Date printed: 02/26/13 : 09:55:44



Flagler County Property Appraiser			
Parcel: 29-12-32-4981-00000-0070 Acres: 0.03			
Name:	FITZPATRICK RICHARD J	Land Value	18,000
Site:	3632 CENTRAL AVE S	Building Value	56,497
Sale:	\$0 on 01-2008 Vacant=N Qual=U	Misc Value	288
Mail:	3632 S CENTRAL AVE FLAGLER BEACH, FL 32136	Just Value	74,785
		Assessed Value	74,785
		Exempt Value	49,785
		Taxable Value	25,000



The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS ---THIS IS NOT A SURVEY---

February 12th 2013

*To Whom It May Concern:
At residents 3632 So Central Ave
Flagler Beach, Florida 32136*

*I Carmen DeCrosta as president of the Palm Haven
Townhomes, give permission to build a screen room
That will be 16X10 in dimension. In accordance with
The accordance of the existing screen rooms.*

Thank You



Carmen DeCrosta

City of Flagler Beach

Permit Application Routing Slip

Address: 3632 S. Central Ave
Job Type: Florida Room Addition
Contractor: Lewis Ames

Date Received:

Zoning Review Paid

Planning & Zoning

Approved Date: _____

Disapproved Date: 8 Feb 2013

Approval Signature: _____

MDR, Med. Dir. & Resident

- 1. Improvement extends onto common area property owned by Palm Haven Homeowner Association. Need provisions for this allowance.
- 2. Improvement is within 25 foot rear setback yard. Review Required.

Public Works/Development

Approved Date: _____

Disapproved Date: _____

Approval Signature: _____

Building Official

Approved Date: 2-12-13

Disapproved Date: 2-5-13

Approval Signature: _____

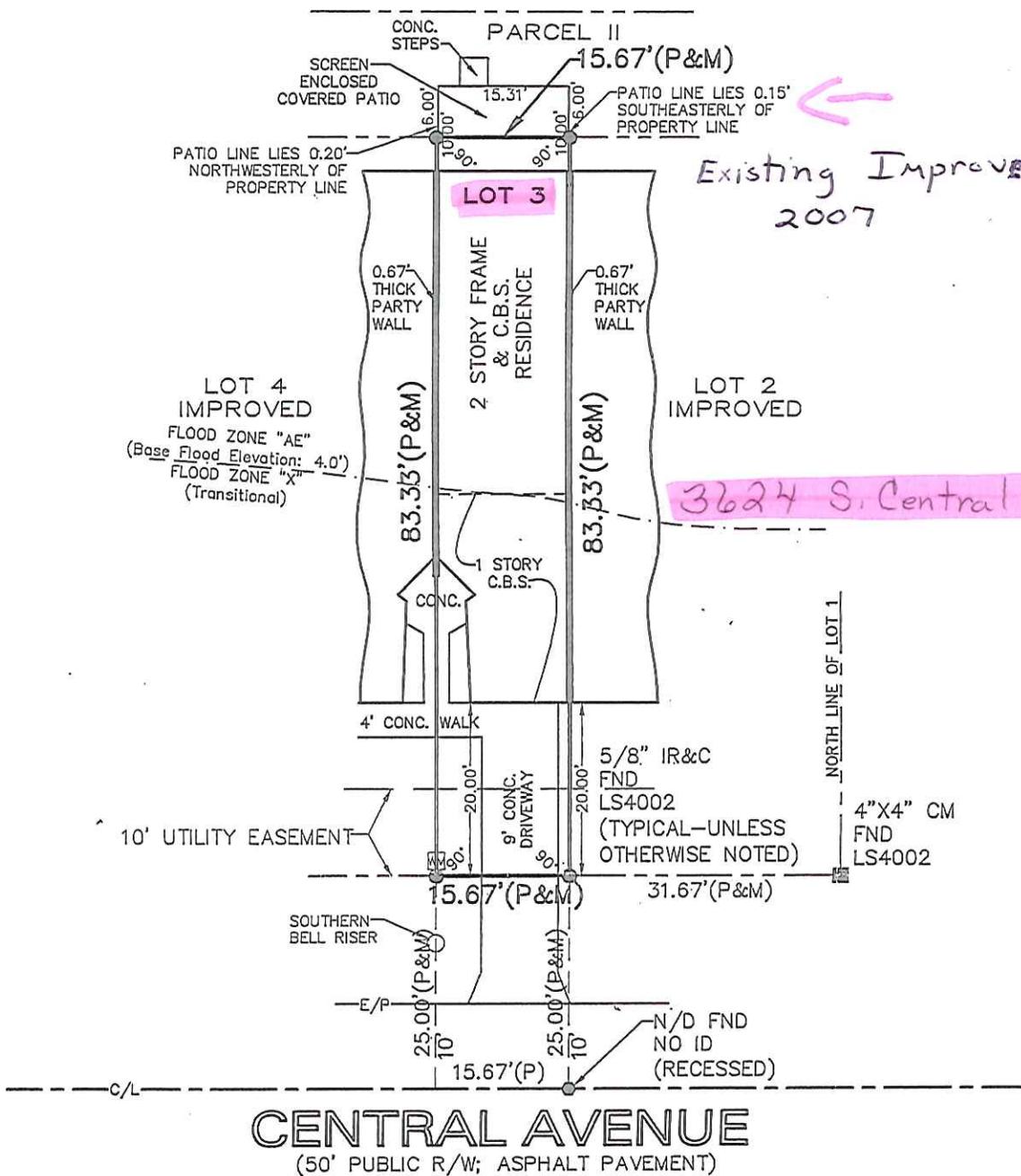
R403.1.4 Foundation Minimum Depth

Permit Issued

Date:

SCALE: 1"=20'

GOLF COURSE



Existing Improvement
2007

3624 S. Central Ave

CENTRAL AVENUE
(50' PUBLIC R/W; ASPHALT PAVEMENT)

TYPE OF SURVEY: BOUNDARY AND LOCATION

DESCRIPTION: LOT 3, PALM HAVEN SUBDIVISION, ACCORDING TO PLAT THEREOF, MAP BOOK 27, PAGE 20, AS RECORDED IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

LEGEND:

- IR&C 5/8" Iron Rod & Cap set
- IR&C 5/8" Iron Rod & Cap found
- IP 1/2" Iron Pipe
- N/D Nail and Disk set
- N/D Nail and Disk found
- PCP Permanent Control Point
- CM 4"x4" Concrete Monument set
- CM 4"x4" Concrete Monument found
- FND Found
- C/L Center Line
- R/W Right of Way
- (P) Plat Bearing & Distance
- (M) Measured Bearing & Distance
- CONC. Concrete

- B.M. Bench Mark
- T.B.M. Temporary Bench Mark
- Δ Delta
- R Radius
- L Length
- CB Chord Bearing
- CH Chord Distance
- PC Point of Curvature
- PI Point of Intersection
- MSL Mean Sea Level
- C.M.P. Corrugated Metal Pipe
- LB Licensed Business
- LS Licensed Surveyor
- F.F. Finish Floor Elevation
- N.R. Non-Radial to Curve
- CATV Cable Tv Riser

- C.B.S. Concrete Block & Stucco
- O.R. Official Records Book & Page
- N.G.V.D. National Geodetic Vertical Datum
- N.A.V.D. North American Vertical Datum
- E/P Edge of Pavement
- TOP Top of Bank
- TOE Toe of Slope
- O/E Overhead Electric
- P/P Power Pole
- C/S Concrete Slab
- Manhole
- Cable Television Riser
- Water Meter
- Electric Meter
- Fire Hydrant

NOTES:

1. The entire map encompassing this survey is recorded in Map Book 27, Page 20.
2. No elevations shown on survey.
3. Underground improvements and utilities not located.
4. No bearings shown on survey.
5. Property lies in Flood Zone "X" (Transitional) & "AE", (Base Flood Elevation: 4.0'), with reference to Map No. 12035C0261D, Effective Date: July 17, 2006. This location is based on maps prepared by the Federal Emergency Management Agency. Final location and flood zone determination rest with said agency.
6. Description provided by client.
7. No search for encumbering instruments was made by surveyor.
8. Error of closure meets or exceeds 1:7500 feet.

Prepared for:

LOU AIMES
73 ZAUN TRAIL
PALM COAST, FL 32164



STEPHENSON SURVEYING, INC. (LB#6422)

4721 E. Moody Blvd. Ste. 308 • P.O. Box 1836, Bunnell, FL 32110
Bunnell (386) 437-2363 • Daytona Beach (386) 252-4725 • Fax (386) 437-0030

I hereby certify that the survey represented hereon meets or exceeds the minimum standards established pursuant to Section 472.027, Florida Statutes, and adopted in Chapter 61G17 Florida Administrative Code.

Robert DeGaetano 12-3-07

DAVID T. WILCOX, No.5871 ROBERT DeGAETANO, No.6183 DAN A. WILCOX Jr., No.5749
Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.

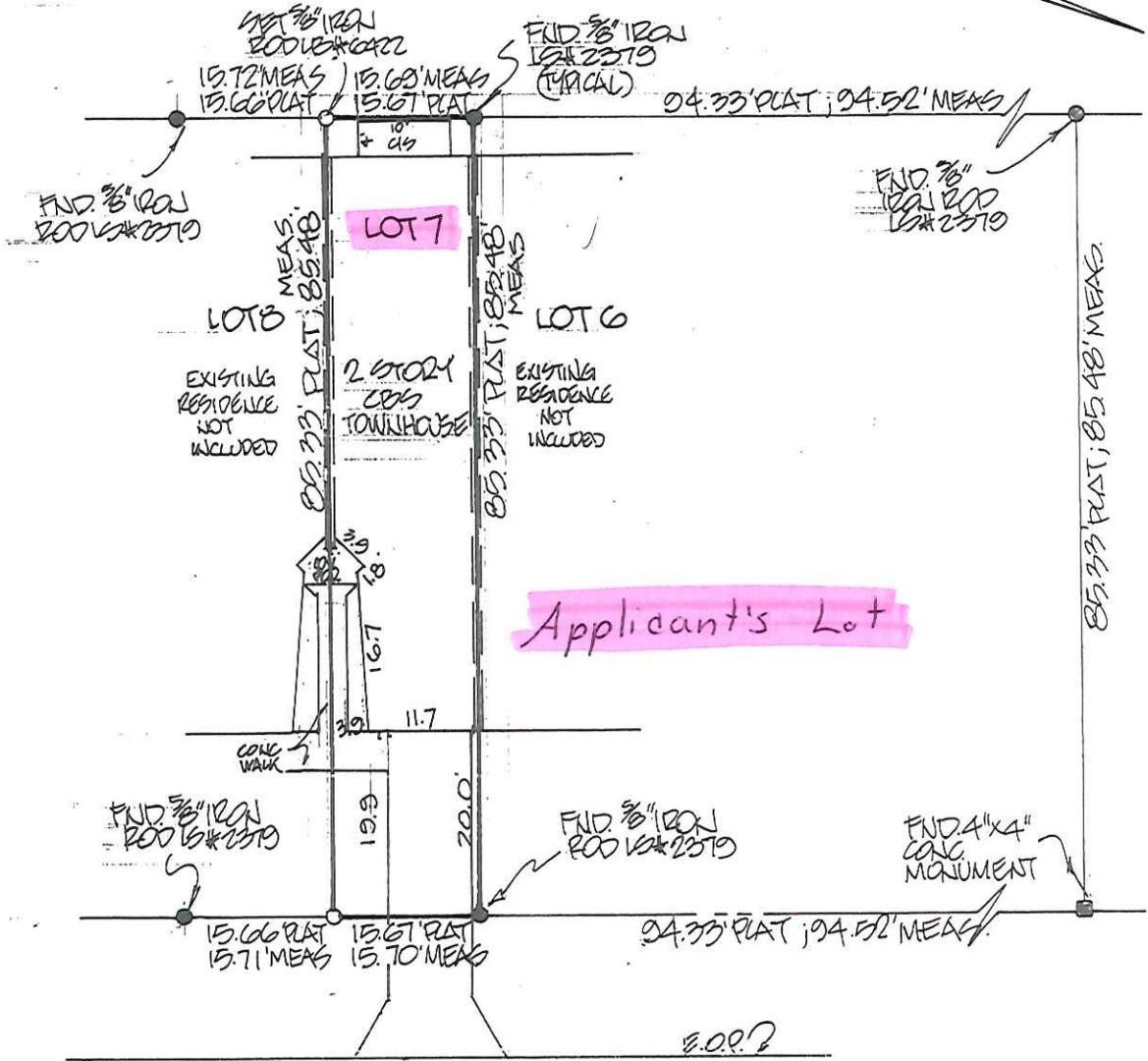
TYPE SURVEY:	FIELD DATE	OFFICE DATE	JOB NO.	BY:
Boundary	11/28/07	12/03/07	07-3032	NC
Form Board				
Foundation				
Final				
File Location: FLAGLER/PLATS/PALM HAVEN/LOT 3				

SHEET

1
OF
1

- CERTIFIED TO:
1. STEWART TITLE GUARANTY, COMPANY
 2. RICHARD FITZPATRICK & ALAYNE FITZPATRICK
 3. SUNTRUST BANK, EAST CENTRAL FLORIDA
 4. FLAGLER COUNTY ABSTRACT COMPANY

SCALE: 1"=20'



SOUTH CENTRAL AVENUE

(50' PUBLIC R/W, ASPHALT PAVT)

LEGAL DESCRIPTION

Lot 7, PALM HAVEN SUBDIVISION; as recorded in Map Book 27, Page 20; Public Records of Flagler County, Florida.

- NOTES:
1. Description provided by client.
 2. No bearings shown on plat.
 3. Property lies in Flood Zone "C", as shown on Flood Insurance Rate Map (FIRM), Community Panel Number 120087 0002 B, Effective Date: May 15, 1985.

LEGEND:	P.C.P. - Permanent Control Point	△ - Delta	P - Plat
● Iron Rod Found	P.R.M. - Permanent Reference Monument	R - Radius	D - Deed
○ Iron Rod Set	N/D - Nail and Disk	L - Length	O/E - Overhead Electric
■ Concrete Monument Found	B.M. - Bench Mark	CH - Chord	O.R. - Official Records Book & Page
□ Concrete Monument Set	T.B.M. - Temporary Bench Mark	C.B. - Chord Bearing	P.O.R. - Point of Reference
C/L - Center Line	P.C. - Point of Curvature	TAN - Tangent	P.O.B. - Point of Beginning
R/W - Right of Way	P/P - Power Pole	N.G.V.D. - National Geodetic Vertical Datum	P.T. - Point of Tangency
E.O.P. - Edge of Pavement	M.H. - Man Hole	C.C.C.L. - Coastal Construction Control Line	P.R.C. - Point of Reverse Curve
I.P. - Iron Pipe	WM - Water Meter	M.S.L. - Mean Sea Level	P.C.C. - Point of Compound Curve
L.S. - Licensed Surveyor	CONC. - Concrete	M.H.W. - Mean High Water	P.S.I. - Point of Street Intersection
L.B. - Licensed Business	C.B.S. Concrete Block & Stucco	MEAS. - Measure	

BOUNDARY SURVEY FOR	
FLAGLER COUNTY ABSTRACT COMPANY	
P.O. BOX 398	
BUNNELL, FL 32110	
Job No. 99-2221	Date of last field work 5-10-99
REVISED:	

STEPHENSON SURVEYING, INC. (LB #6422)
 204 N. Railroad St. • P.O. Box 1836 • Bunnell, FL 32110
 Bunnell 904/437-2363 • Daytona Beach 904/252-4725

I hereby certify that the survey represented hereon meets or exceeds the minimum standards established pursuant to Section 472.027, Florida Statutes and adopted in Chapter 61G17 Florida Administrative Code.

[Signature]
 DAN A. WILCOX, Reg. Fla. Land Surveyor No. 2238

"Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper."



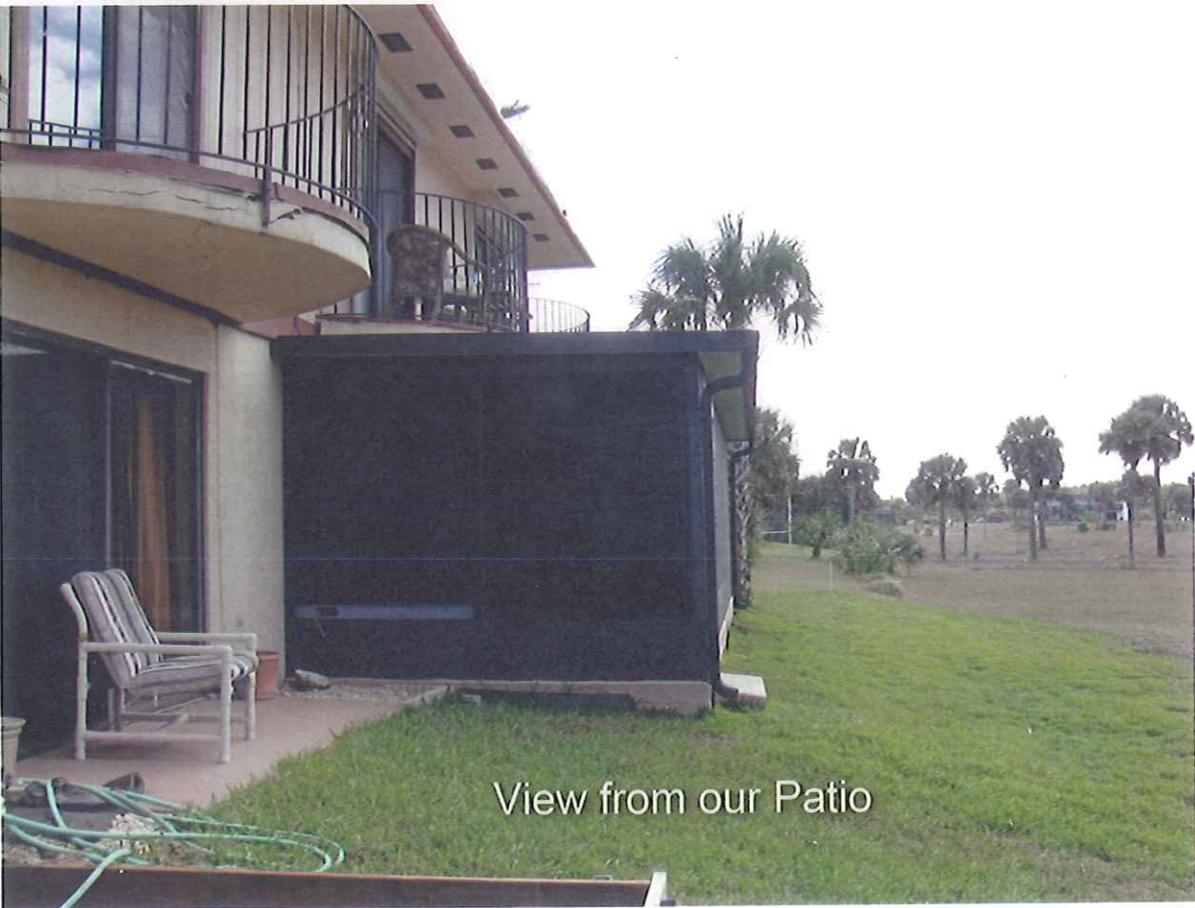
Florida Rooms Lots 1 + 3



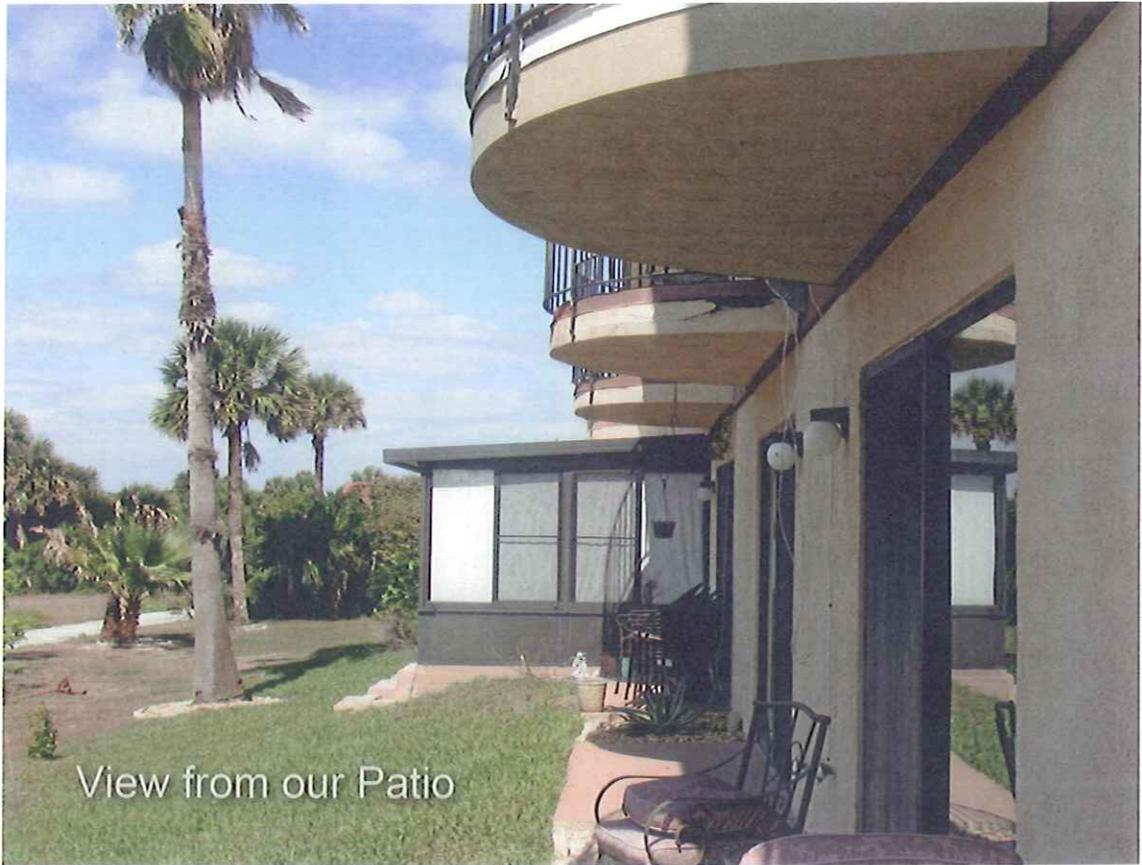
Florida Rooms Lots 9 + 10



View from our Townhouse



View from our Patio



View from our Patio



View from our Patio



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #SE 13-04-01 – 1336 South Ocean Shore Boulevard Special Exception

DATE: March 27, 2013

Applicant and Property Owner: James H. Jenkins Jr. and Roxane B. Jenkins, 606 Pea Ridge Road Eatonton, Georgia 31024

Property: 1336 South Ocean Shore Boulevard – 18-12-32-2750-00001-0100

Future Land Use: Commercial

Zoning District: Tourist Commercial

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Section 2.06.01.*, Special Exception Uses, the applicant is requesting a special exception to allow a single-family dwelling. The subject property is zoned as TC, Tourist Commercial, contains approximately 0.15 acre, and is generally located northwest of the intersection of 14th Street South and South Ocean Shore Boulevard. The subject property is vacant.

Analysis

Special exception uses, as enumerated in Schedule One, Zoning Schedule of Use Controls, shall be permitted only upon authorization of the City Commission after review by the Planning and Architectural Review Board. In recommending approval or denial of the use, the reviewing boards shall provide findings and recommendations on whether the requirements of Section 2.06.01 (1. through 7.) are met as well as other comments such board feel will assist the City Commission in the determination of whether to grant the use. The applicant's responses to each of the prescribed criteria are as follows:

1. That the use is a permitted special use as set forth in Schedule One hereof.
"Single-family dwellings are a permitted principal use in the MDR, Medium Density Residential zoning district and all principal uses permitted in the MDR zoning district are permitted special uses as set forth in Schedule One for the TC, Tourist Commercial zoning district."
2. That the use is so designed, located and proposed to be operated that the public health, safety, welfare and convenience will be protected.
"The proposed structure will be built and occupied consistent with the requirements of a single-family dwelling."

3. That the use will not cause substantial injury to the value of other property in the neighborhood where it is to be located.

“The proposed structure is a 4,384 square foot, single family, dwelling.”

4. That the use will be compatible with adjoining development and the proposed character of the district where it is to be located.

“The adjacent properties to the South and North are used as residential properties.”

5. That the adequate landscaping and screening is provided as required herein, or otherwise required.

“The proposed development will comply with the tree removal, lot clearing and landscape requirements for a single family dwelling. The property does contain a few Palm trees and Saw Palmettos.”

6. That adequate off-street parking and loading is provided and ingress and egress is so designed as to cause minimum interference with traffic on abutting streets.

“The proposed dwelling will have a paved driveway adequate for parking two vehicles as well as a two car garage on the lower level with one garage door on the rear or West side. Driveway access will be from the alley along the West property line.”

7. That the use conforms with all applicable regulations governing the district where located.

“The proposed structure is a single family dwelling.”

Recommendation

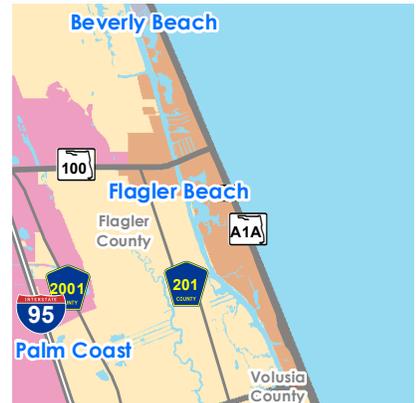
Staff recommends that the Planning and Architectural Review Board recommend that the City Commission approve the special exception to allow a single-family dwelling at the subject property.

Enclosure: Special Exception Application Packet



Legend

-  Subject Property
-  200 Foot Radius of 1336 South Ocean Shore Boulevard
-  Incorporated Areas
-  Parcels



Sources: Flagler County Property Appraiser's Office, Florida Department of Transportation, and Microsoft Corporation
 The data contained in this map is provided "as is" without warranty or any representation of accuracy, timeliness, completeness, merchantability, and fitness for, or the appropriateness for, the use rests solely with the requester. The City of Flagler Beach makes no warranties, expressed or implied, as to the appropriate use of the data contained in this map. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and is in a constant state of maintenance, correction, and update.



City of Flagler Beach
PO Box 70 105 South 2nd Street
Flagler Beach, Florida 32136
Phone (386) 517-2000 Fax (386) 517-2016

Special Exception – (SPEX)

Application # SE-13-04-01
 Rcvd. 3-18-2013
 PARB Meeting Date: 04-02-13
 CC Meeting Date: 04-11-13

Pursuant to Appendix A, Land Development Regulation _____, I hereby request a Special Exception as described below:

PURPOSE FOR THE SPECIAL EXCEPTION PETITION: To build single family home on property with tourism and commercial zoning.

PETITIONER: James H. Jenkins, Jr. and Roxane B. Jenkins

PROJECT ADDRESS: 1336 South Oceanshore Blvd., Flagler Beach **PHONE NO.:** (706) 473-1367

OWNER OF SUBJECT PROPERTY: James and Roxane Jenkins

ADDRESS: 606 Pea Ridge Rd., Eatonton, GA 31024 **PHONE NO.:** (706) 473-1367

PETITIONER'S RELATION TO SUBJECT PROPERTY: Owner

ADDRESS/LEGAL DESCRIPTION: See attached.

LOT: 10 **BLOCK:** 1 **SUBDIVISION:** Fuquay **ZONING DISTRICT:** _____

ATTACH JUSTIFICATION STATEMENTS ADDRESSING ALL SEVEN (7) REQUIREMENTS FOR THIS SPECIAL EXCEPTION REQUEST AS REQUIRED: (See Attachment "A" Special Exception Requirements.)

THIS IS TO CERTIFY THAT I AM THE OWNER AND/OR PETITIONER OF THE SUBJECT PROPERTY DESCRIBED IN THIS SPECIAL EXCEPTION PETITION. I HAVE READ THIS PETITION AND THE STATEMENTS CONTAINED HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNATURE OF PETITIONER: James H. Jenkins Jr. Roxane B. Jenkins

SIGNATURE OF OWNER: James H. Jenkins Jr. Roxane B. Jenkins

DATE: March 11, 2013

RECEIVED
 MAR 18 2013
 BY: _____

Applicants: James H. Jenkins, Jr. and Roxane B. Jenkins
Mailing Address: 606 Pea Ridge Road, Eatonton, GA 31024

Property: 1336 South Oceanshore Blvd. Flagler Beach, FL 32136

Zoning: Tourist Commercial

Future Land Use: Single Family Residential

SPECIAL EXCEPTION STANDARDS - ATTACHEMENT A

1. The use is a Special Exception use as set forth in Schedule One hereof.

Single-family dwellings are a permitted principal use in the MDR, Medium Density Residential zoning district and all principal uses permitted in the MDR zoning district are permitted special uses as set forth in Schedule One for the TC, Tourist Commercial zoning district.

2. That the use is so designed, located and proposed to be operated that the public health, safety welfare and convenience will be protected.

The proposed structure will be built and occupied consistent with the requirements of a single family dwelling.

3. That the use will not cause substantial injury to the value of other property in the neighborhood where it is to be located.

The proposed structure is a 4384 square foot, single family, dwelling.

4. That the use will be compatible with adjoining development and the proposed character of the district where it is to be located.

The adjacent properties to the South and North are used as residential properties.

5. That the adequate landscaping and screening is provided as required herein, or otherwise required.

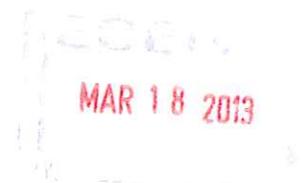
The proposed development will comply with the tree removal, lot clearing and landscape requirements for a single family dwelling. The property does contain a few Palm trees and Saw palmettos .

6. That adequate off-street parking and loading is provided and ingress and egress is so designed as to cause minimum interference with traffic on abutting streets.

The proposed dwelling will have a paved driveway adequate for parking two vehicles as well as a two car garage on lower level with one garage door on the rear or West side. Driveway access will be from the alley along the West property line.

7. That the use conforms with all applicable regulation governing the district where located.

The proposed structure is a single family dwelling.



This instrument prepared by:
Name: Brandy Hyder
Flagler County Abstract Company
300 N 2nd Street
Flagler Beach, Florida 32136
FILE NO. S2258
Property Appraisers Parcel Identification Number(s):
18-12-32-2750-00001-0100

Inst No: 2012028366 09/06/2012
01:41PM Book: 1891 Page: 42 Total Pgs: 1
Doc Stamps-Deed\$822.50
GAIL WADSWORTH, FLAGLER Co.

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED made the 28 day of August, 2012 by

William F. McDavid

whose street address is 3521 NW 42nd Terrace, Gainesville, Florida 32606

hereinafter called the grantor*, to

James H. Jenkins, Jr. and Roxane B. Jenkins, husband and wife

whose street address is 606 Pea Ridge Road, Eatonton, GA 31024

hereinafter called the grantee*:

(*Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other valuable considerations to said grantors in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed unto the grantee and grantee's heirs forever the following described land situate in County of Flagler, State of Florida, to wit:

Lot 10, Block Upson, Fuquay Subdivision, a subdivision according to the plat or map thereof described in Plat Book 1, Page 26, of the Public Records of Flagler County, Florida.

GRANTOR WARRANTS THAT THIS IS NOT HOMESTEAD PROPERTY.

*Together, with all the tenements, hereditaments and appurtenances thereto belonging or in otherwise appertaining,
To Have and to Hold, the same in fee simple forever.*

And the grantor hereby covenants with the grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31st, 2010. FURTHER SUBJECT TO Restrictions, Reservations, Covenants, Dedications, Resolutions, Conditions and Easements of record, if any, however this reference shall not operate to reimpose same.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Brittany Bauman
Witness 1 Signature
Brittany Bauman
Printed or Typed Name

Suzanne Gudmundsen
Witness 2 Signature
SUZANNE GUDMUNDSEN
Printed or Typed Name

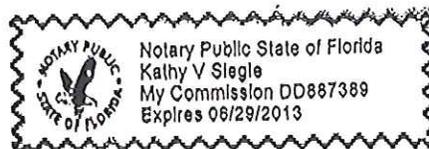
William F. McDavid
William F. McDavid

STATE OF FLORIDA
COUNTY OF Flagler

The foregoing instrument was acknowledged before me this 28 day of August, 2012, by William F. McDavid who is personally known to me or who produced _____ as identification and who did/did not take an oath.

Kathy V. Siegle
Notary Public
My Commission Expires: 06/29/2013

[seal]



✓ p 9/5/2012

AS OWNER, I AUTHORIZE NA TO ACT AS MY AGENT IN THIS MATTER.
PRINT NAME, ADDRESS AND PHONE NUMBER OF REPRESENTATIVE, IF APPLICABLE.

NAME: NA

ADDRESS: _____

PHONE: _____

~~STATE OF FLORIDA,~~
County of ~~Flagler~~ Putnam

Subscribed and Sworn to (or affirmed) before me by

Roxane B. Jenkins
SIGNATURE OF OWNER

Roxane B. Jenkins
OWNER'S NAME (Print/Type)

1006 Pea Ridge Rd. Eatonton, GA
ADDRESS (Street, City) & Phone Number 31054
706-473-3747



This 15 day of March, 2013. Who is personally known to me or has produced _____ as identification.

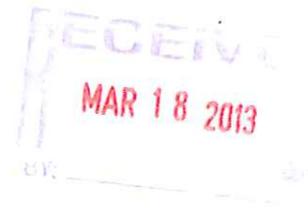
Dec. 7, 2013
Commission Number & Expiration

Robyn B. Raughton
Notary Public

TO BE COMPLETED BY THE PLANNING & ZONING DEPARTMENT

ACCEPTED BY: _____ DATE: _____

PETITION #: _____



Applicant: James H. Jenkins, Jr. and Roxane B. Jenkins

Property: 1336 S. Oceanshore Blvd., Flagler Beach, FL

ROOF MATERIAL AND COLOR

The roofing material and color of the proposed dwelling is to be:

24 Gauge, Galvalume, Standing Seam, Metal

Grey in Color

REC'D
MAR 18 2017
Etc

Applicant: James H. Jenkins, Jr. and Roxane B. Jenkins

Property: 1336 S. Oceanshore Blvd., Flagler Beach, FL

EXTERIOR FINISH & COLOR

The exterior finish and color of the proposed dwelling is to be:

Cement Fiber Shake and Wood

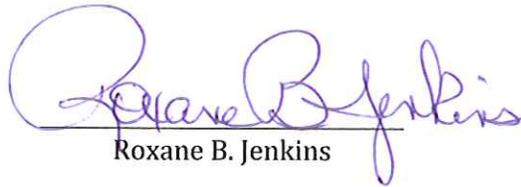
Medium Gray With White Accent Paint

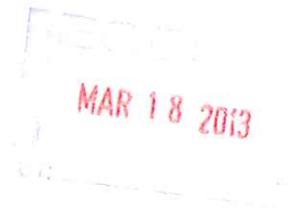


SANITARY SEWER/WATER AVAILABILITY

March 15, 2013

Confirmed with Chad Lingenfelter, City Planner
that water and sewer service is
available at:
1336 S. Oceanshore Blvd.
Flagler Beach, FL
the proposed dwelling site.


Roxane B. Jenkins


MAR 18 2013



FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

Bureau of Beaches and Coastal Systems
3900 Commonwealth Blvd., Mail Station 300
Tallahassee, Florida 32399-3000
Telephone (850) 488-7708

GENERAL PERMIT NOTICE TO PROCEED

Permittee Name:

Permit Number: FL-336 GP

James H. and Roxane B. Jenkins
606 Pea Ridge Road
Eatonton, Georgia 31024

Permit Expires: March 5, 2015

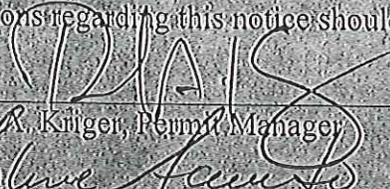
You are hereby granted final authorization to proceed with construction or activities authorized by this notice. Authorized work must conform to the project description, approved plans, all the conditions of Section 62B-34.050, Florida Administrative Code, and any preconstruction requirements.

Project Description: Construction of a 30-foot by 61-foot three-story single family dwelling, front staircase, and concrete driveway.

Project Location: Between approximately 396 feet north of the Department of Environmental Protection's reference monument R-83 in Flagler County. Project Address: 1336 South Oceanshore Boulevard, Flagler Beach

Special Instructions: A preconstruction conference is required. The permittee shall comply with all general permit conditions.

Questions regarding this notice should be directed to the undersigned at the above address.


David A. Kriger, Permit Manager

3/5/13

Date


Arlene Acuna
Deputy Clerk

March 5, 2013

Date

DAK/aa

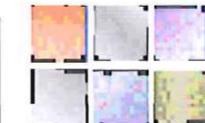
cc: Permit File
Permit Information Center
James H. and Roxane B. Jenkins, Property Owners
Trey Hatch, DEP Field Inspector
City of Flagler Beach Building Official

Post Conspicuously on the Site

MAR 15 2013

A NEW CUSTOM 3-STORY RESIDENCE FOR: JIM & ROXANE JENKINS

1336 S. OCEANSHORE BLVD.
FLAGLER BEACH, FLORIDA 32136



JPA

JOSEPH POZZUOLI ARCHITECT
114 E. MOODY BOULEVARD
FLAGLER BEACH, FLORIDA 32136
T: (386) 439-5650 F: (386) 439-5651
AR13178 ID 4843



A NEW CUSTOM 3-STORY RESIDENCE FOR:
JIM & ROXANE JENKINS
1336 S. OCEANSHORE BLVD.
FLAGLER BEACH, FLORIDA 32136

GENERAL NOTES	ABBREVIATIONS	PROJECT DESCRIPTION	LOCATION MAP																																																																																																																																																																																																																																																																												
<ol style="list-style-type: none"> THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE FLORIDA RESIDENTIAL CODE 2010 IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AS REQUIRED BY GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING THE WORK. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK UNLESS OTHERWISE REFERENCED. ALL DIMENSIONS ARE TO FACE OF STUDS, MASONRY AND SLAB EDGES. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEAN-UP AFTER COMPLETION OF THEIR WORK. ALL DEBRIS TO BE DEPOSITED IN ON-SITE DUMPSTER AND HOME / BUSINESS TO BE LEFT "ROOM CLEAN". SUBCONTRACTORS TO INSTALL ALL BLOCKS AND BRAGINS REQUIRED BY THE TRADE AND TO PERFORM ALL CUTTING AND PATCHING. THE CURRENT EDITION OF THE AIA GENERAL CONDITIONS OF THE CONTRACT SHALL BECOME A PART OF THESE DOCUMENTS. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. ALL CHANGES TO THE DRAWINGS MUST BE APPROVED IN WRITING BY THE ARCHITECT DO NOT ACCEPT VERBAL CHANGES. MAKE NO MATERIAL SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM ARCHTCT. THE AFFLICTION, INSTALLATION AND USE OF ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST PUBLISHED INSTRUCTIONS. TAKE FIELD MEASUREMENTS FOR ALL OFF SITE MANUFACTURED ITEMS SUCH AS DOORS, WINDOWS, MILLWORK, SKYLIGHTS, SCREENS, GRILLES, RAILINGS, ETC. FORCH AND PATIO OVERHANGS ARE TO BE ENGINEERED TO RESIST LOADS IMPOSED BY THE SCREEN ENCLOSURE ATTACHMENTS AS WELL AS ALL OTHER NORMALLY IMPOSED LOADS. SHOP DRAWINGS ARE TO BE PROVIDED TO BUILDER IN FIELD FOR CABINETS, WINDOW DOOR, FIREPLACE, RAILINGS, ETC. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. THIS OFFICE SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PARTS OF THE WORK WITH THE OTHER SUBCONTRACTORS, UTILITY COMPANIES, AND OTHER ASSOCIATED OFFICES. CONTRACTORS SHALL CARRY LIABILITY INSURANCE TERMS AND LIMITS AS DIRECTED BY THE OWNER, AND SHALL FURNISH THE CERTIFICATES OF INSURANCE UPON BID ACCEPTANCE. BY ACCEPTING THIS WORK, THE CONTRACTORS AGREE THAT THE OWNER, ARCHTCT, AND ENGINEERS SHALL BE HELD HARMLESS AND NOT LIABLE FOR ANY INJURIES OR PROPERTY DAMAGE RESULTING FROM ANY OF THE CONTRACTORS' OPERATIONS. EACH TRADE, MANUFACTURER AND/OR SUPPLIER SHOULD UNDERSTAND ITS SCOPE OF WORK WITHIN THIS SET OF PLANS COMPLETELY PRIOR TO COMMENCING ANY WORK. ANY QUESTIONABLE OR UNCLEAR CONDITIONS ARE TO BE BROUGHT TO THIS OFFICES ATTENTION FOR CLARIFICATION. THE ULTIMATE RESPONSIBILITY OF ALL TRADES, MANUFACTURERS AND/OR SUPPLIERS IS THEIRS IF THE INFORMATION IN QUESTION IS SHOWN CLEARLY OR HAS BEEN ADDRESSED AS REQUIRED PRIOR TO COMMENCING THE WORK. 	<table border="0"> <tr> <td>AFF</td><td>ABOVE FINISH FLOOR</td> <td>INSUL</td><td>INSULATION</td> </tr> <tr> <td>ADF</td><td>ACCESSIBLE DRINKING FOUNTAIN</td> <td>INT</td><td>INTERIOR</td> </tr> <tr> <td>ALUM</td><td>ALUMINUM</td> <td>JOINT</td><td>JOINT</td> </tr> <tr> <td>ANGLE</td><td>ANGLE</td> <td>LAM</td><td>LAMINATED</td> </tr> <tr> <td>APPROX</td><td>APPROXIMATE</td> <td>LAV</td><td>LAVATORY</td> </tr> <tr> <td>ARCH</td><td>ARCHITECT</td> <td>LP</td><td>LIGHT POLE</td> </tr> <tr> <td>AT</td><td>ARCHITECT</td> <td>MANDLE</td><td>MANHANDLE</td> </tr> <tr> <td>BRG</td><td>BEARING</td> <td>MFR</td><td>MANUFACTURER</td> </tr> <tr> <td>BLK</td><td>BLOCK</td> <td>MASRY</td><td>MASONRY</td> </tr> <tr> <td>BLKS</td><td>BLOCKS</td> <td>MS</td><td>MASONRY BLOCKOUT</td> </tr> <tr> <td>BD</td><td>BOARD</td> <td>MO</td><td>MASONRY OPENING</td> </tr> <tr> <td>BLDS</td><td>BUILDING</td> <td>MAT</td><td>MATERIAL</td> </tr> <tr> <td>CLS</td><td>CEILING</td> <td>MAX</td><td>MAXIMUM</td> </tr> <tr> <td>CH</td><td>CEILING HEIGHT</td> <td>METL</td><td>METAL</td> </tr> <tr> <td>CL</td><td>CENTER LINE</td> <td>MIN</td><td>MINIMUM</td> </tr> <tr> <td>CHNL</td><td>CHANNEL</td> <td>MR</td><td>MOISTURE RESISTANT</td> </tr> <tr> <td>CLR</td><td>CLEAR</td> <td>MTD</td><td>MOUNTED</td> </tr> <tr> <td>CO</td><td>CLEAR OPENING</td> <td>NG</td><td>NOT IN CONTRACT</td> </tr> <tr> <td>CR</td><td>COLD ROLLED</td> <td>NTS</td><td>NOT TO SCALE</td> </tr> <tr> <td>COL</td><td>COLUMN</td> <td>NO</td><td>NUMBER</td> </tr> <tr> <td>CONC</td><td>CONCRETE</td> <td>OC</td><td>ON CENTER</td> </tr> <tr> <td>CD</td><td>CONDENSATE DRAIN</td> <td>OPP</td><td>OPPOSITE</td> </tr> <tr> <td>CMU</td><td>CONCRETE MASONRY UNIT</td> <td>OD</td><td>OUTSIDE DIAMETER</td> </tr> <tr> <td>CONN</td><td>CONNECT / CONNECTION</td> <td>FTN</td><td>PARTITION</td> </tr> <tr> <td>CONT</td><td>CONTINUOUS</td> <td>PLAS</td><td>PLASTIC</td> </tr> <tr> <td>CONTR</td><td>CONTRACTOR</td> <td>FL</td><td>FLATE</td> </tr> <tr> <td>CJ</td><td>CONTROL JOINT</td> <td>FLY</td><td>FLYWOOD</td> </tr> <tr> <td>DECOR</td><td>DECORATOR</td> <td>FT</td><td>PRESSURE TREATED</td> </tr> <tr> <td>DTL</td><td>DETAIL</td> <td>R</td><td>RADIUS</td> </tr> <tr> <td>DIAG</td><td>DIAGONAL</td> <td>RL</td><td>RAIN LEADER</td> </tr> <tr> <td>DIA</td><td>DIAMETER</td> <td>REINF</td><td>REINFORCING</td> </tr> <tr> <td>DWS(S)</td><td>DRAWING / DRAWINGS</td> <td>RA</td><td>RETURN AIR</td> </tr> <tr> <td>EA</td><td>EACH</td> <td>RD</td><td>ROOF DRAIN</td> </tr> <tr> <td>EW</td><td>EACH WAY</td> <td>RS</td><td>ROOF SCUPPER</td> </tr> <tr> <td>EWC</td><td>ELECTRICAL WATER COOLER</td> <td>RTU</td><td>ROOF TOP UNIT</td> </tr> <tr> <td>ELV</td><td>ELEVATION</td> <td>RH</td><td>ROUGH OPENING</td> </tr> <tr> <td>ERD</td><td>EMERGENCY ROOF DRAIN</td> <td>RO</td><td>ROUGH OPENING</td> </tr> <tr> <td>EQ</td><td>EQUAL</td> <td>SCHED</td><td>SCHEDULE</td> </tr> <tr> <td>EQUIP</td><td>EQUIPMENT</td> <td>SECT</td><td>SECTION</td> </tr> <tr> <td>EF</td><td>EXHAUST FAN</td> <td>SHT</td><td>SHEET</td> </tr> <tr> <td>EXIST</td><td>EXISTING</td> <td>SM</td><td>SIMILAR</td> </tr> <tr> <td>EJ</td><td>EXPANSION JOINT</td> <td>SCM</td><td>SOLID CORE WOOD</td> </tr> <tr> <td>ENT</td><td>ENTER OR</td> <td>SPEC</td><td>SPECIFICATIONS</td> </tr> <tr> <td>EIFS</td><td>ENTER OR INSULATION AND FINISH SYSTEM</td> <td>SQ FT</td><td>SQUARE FOOT</td> </tr> <tr> <td>FF</td><td>FACE OF FINISH</td> <td>SS</td><td>STAINLESS STEEL</td> </tr> <tr> <td>FFM</td><td>FACE OF MASONRY</td> <td>STL</td><td>STEEL</td> </tr> <tr> <td>FFS</td><td>FACE OF STUD</td> <td>STRCT</td><td>STRUCTURAL</td> </tr> <tr> <td>FIN</td><td>FINISH</td> <td>SUSP</td><td>SUSPENDED</td> </tr> <tr> <td>FFE</td><td>FINISH FLOOR ELEVATION</td> <td>T</td><td>TEMPERED</td> </tr> <tr> <td>FE</td><td>FIRE EXTINGUISHER</td> <td>TEMP</td><td>TEMPORARY</td> </tr> <tr> <td>FR</td><td>FIRE RATED</td> <td>THK</td><td>THICKNESS</td> </tr> <tr> <td>FRT</td><td>FIRE RETARDANT TREATED FLOOR</td> <td>TH</td><td>THRESHOLD</td> </tr> <tr> <td>FLR</td><td>FLOOR</td> <td>TMT</td><td>TOP OF MASONRY</td> </tr> <tr> <td>FD</td><td>FLOOR DRAIN</td> <td>TOS</td><td>TOP OF STEEL</td> </tr> <tr> <td>FDN</td><td>FOUNDATION</td> <td>TOW</td><td>TOP OF WALL</td> </tr> <tr> <td>FV</td><td>FIELD VERIFY</td> <td>TS</td><td>TUBE STEEL</td> </tr> <tr> <td>GALV</td><td>GALVANIZED</td> <td>TYP</td><td>TYPICAL</td> </tr> <tr> <td>GA</td><td>GAUGE</td> <td>URN</td><td>URINAL</td> </tr> <tr> <td>GC</td><td>GENERAL CONTRACTOR</td> <td>VTR</td><td>VENT THROUGH ROOF</td> </tr> <tr> <td>GB</td><td>GYP/SIM BOARD</td> <td>VERT</td><td>VERTICAL</td> </tr> <tr> <td>HG</td><td>HANDICAPPED</td> <td>WH</td><td>WATER HEATER</td> </tr> <tr> <td>HWC</td><td>HANDICAPPED WATER CLOSET</td> <td>WVF</td><td>WELDED WIRE FABRIC</td> </tr> <tr> <td>HW</td><td>HARDWARE</td> <td>W</td><td>WIDTH</td> </tr> <tr> <td>HT</td><td>HEIGHT</td> <td>WTH</td><td>WIDTH</td> </tr> <tr> <td>HM</td><td>HOLLOW METAL</td> <td>WV</td><td>WOOD</td> </tr> <tr> <td>HORIZ</td><td>HORIZONTAL</td> <td>WV</td><td>WOOD</td> </tr> <tr> <td>HR</td><td>HOUR</td> <td></td><td></td> </tr> </table>	AFF	ABOVE FINISH FLOOR	INSUL	INSULATION	ADF	ACCESSIBLE DRINKING FOUNTAIN	INT	INTERIOR	ALUM	ALUMINUM	JOINT	JOINT	ANGLE	ANGLE	LAM	LAMINATED	APPROX	APPROXIMATE	LAV	LAVATORY	ARCH	ARCHITECT	LP	LIGHT POLE	AT	ARCHITECT	MANDLE	MANHANDLE	BRG	BEARING	MFR	MANUFACTURER	BLK	BLOCK	MASRY	MASONRY	BLKS	BLOCKS	MS	MASONRY BLOCKOUT	BD	BOARD	MO	MASONRY OPENING	BLDS	BUILDING	MAT	MATERIAL	CLS	CEILING	MAX	MAXIMUM	CH	CEILING HEIGHT	METL	METAL	CL	CENTER LINE	MIN	MINIMUM	CHNL	CHANNEL	MR	MOISTURE RESISTANT	CLR	CLEAR	MTD	MOUNTED	CO	CLEAR OPENING	NG	NOT IN CONTRACT	CR	COLD ROLLED	NTS	NOT TO SCALE	COL	COLUMN	NO	NUMBER	CONC	CONCRETE	OC	ON CENTER	CD	CONDENSATE DRAIN	OPP	OPPOSITE	CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER	CONN	CONNECT / CONNECTION	FTN	PARTITION	CONT	CONTINUOUS	PLAS	PLASTIC	CONTR	CONTRACTOR	FL	FLATE	CJ	CONTROL JOINT	FLY	FLYWOOD	DECOR	DECORATOR	FT	PRESSURE TREATED	DTL	DETAIL	R	RADIUS	DIAG	DIAGONAL	RL	RAIN LEADER	DIA	DIAMETER	REINF	REINFORCING	DWS(S)	DRAWING / DRAWINGS	RA	RETURN AIR	EA	EACH	RD	ROOF DRAIN	EW	EACH WAY	RS	ROOF SCUPPER	EWC	ELECTRICAL WATER COOLER	RTU	ROOF TOP UNIT	ELV	ELEVATION	RH	ROUGH OPENING	ERD	EMERGENCY ROOF DRAIN	RO	ROUGH OPENING	EQ	EQUAL	SCHED	SCHEDULE	EQUIP	EQUIPMENT	SECT	SECTION	EF	EXHAUST FAN	SHT	SHEET	EXIST	EXISTING	SM	SIMILAR	EJ	EXPANSION JOINT	SCM	SOLID CORE WOOD	ENT	ENTER OR	SPEC	SPECIFICATIONS	EIFS	ENTER OR INSULATION AND FINISH SYSTEM	SQ FT	SQUARE FOOT	FF	FACE OF FINISH	SS	STAINLESS STEEL	FFM	FACE OF MASONRY	STL	STEEL	FFS	FACE OF STUD	STRCT	STRUCTURAL	FIN	FINISH	SUSP	SUSPENDED	FFE	FINISH FLOOR ELEVATION	T	TEMPERED	FE	FIRE EXTINGUISHER	TEMP	TEMPORARY	FR	FIRE RATED	THK	THICKNESS	FRT	FIRE RETARDANT TREATED FLOOR	TH	THRESHOLD	FLR	FLOOR	TMT	TOP OF MASONRY	FD	FLOOR DRAIN	TOS	TOP OF STEEL	FDN	FOUNDATION	TOW	TOP OF WALL	FV	FIELD VERIFY	TS	TUBE STEEL	GALV	GALVANIZED	TYP	TYPICAL	GA	GAUGE	URN	URINAL	GC	GENERAL CONTRACTOR	VTR	VENT THROUGH ROOF	GB	GYP/SIM BOARD	VERT	VERTICAL	HG	HANDICAPPED	WH	WATER HEATER	HWC	HANDICAPPED WATER CLOSET	WVF	WELDED WIRE FABRIC	HW	HARDWARE	W	WIDTH	HT	HEIGHT	WTH	WIDTH	HM	HOLLOW METAL	WV	WOOD	HORIZ	HORIZONTAL	WV	WOOD	HR	HOUR			<p>Applicable Codes: 2010 FLORIDA RESIDENTIAL CODE 2010 IRC - MECHANICAL 2010 IRC - PLUMBING 2010 IRC - GAS 2009 NEC 2010 LIFE SAFETY CODE 2010 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (CHAPTER 11 FEC)</p>	
AFF	ABOVE FINISH FLOOR	INSUL	INSULATION																																																																																																																																																																																																																																																																												
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COVER SHEET

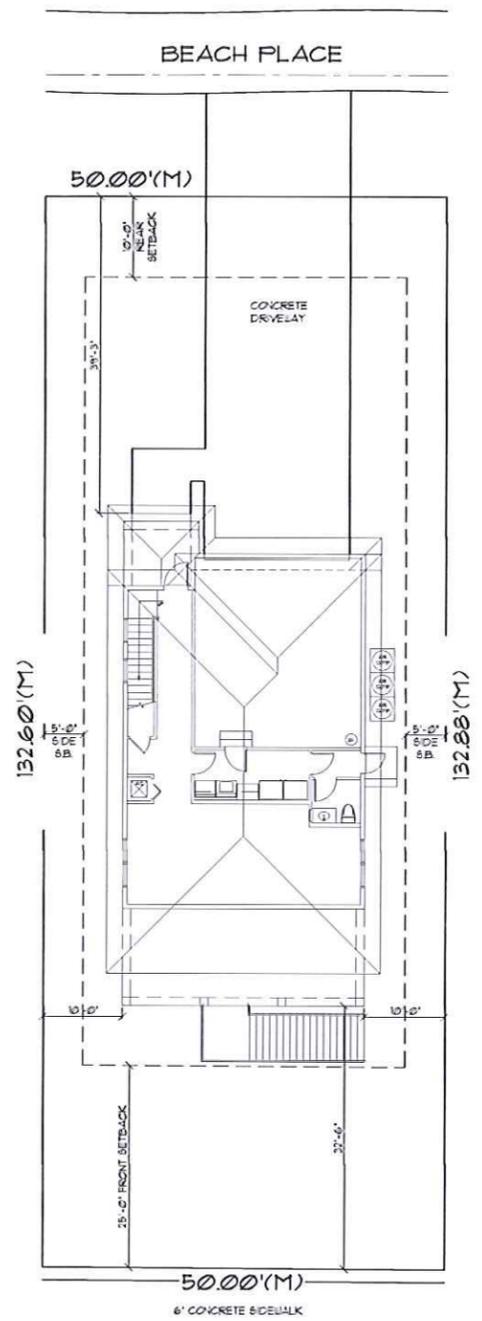
REV #	DATE	ISSUE
1	12/20/12	PROGRESS SET

DATE: 8.24.2012
DRAWN: DJS

JOB No.: 212179
CHECKED: JDP



MAR 18 2013



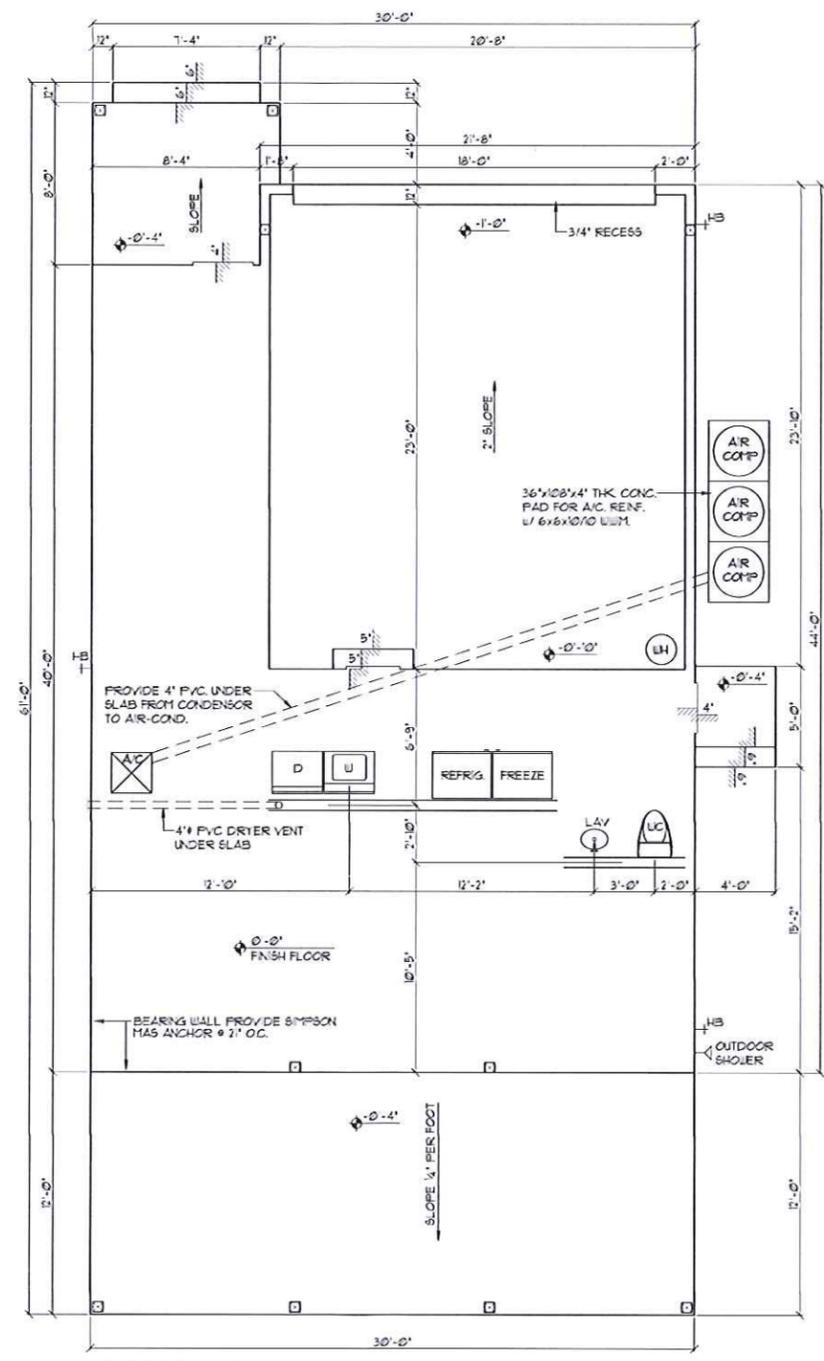
SITE DATA

ZONED:	TOURIST COMMERCIAL
SETBACKS:	FRONT 25'-0"
	SIDES 5'-0"
	REAR 10'-0"
MAX. BLDG. HT.:	35'-0"
MAX. LOT COVERAGE:	40%
LOT SQ. FT.:	6,637
BLDG. FOOTPRINT:	1,867
BLDG. LOT COVERAGE:	28%

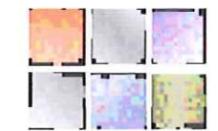
STATE ROAD AIA

SITE PLAN
SCALE: 1" = 10'-0"

LEGAL DESCRIPTION:
LOT 10, BLOCK USFON RUGLAY SUBDIVISION, A SUBDIVISION ACCORDING TO THE PLAT OR MAP THEREOF DESCRIBED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.



PLUMBING PLAN
SCALE: 1/4" = 1'-0"
FOR FOUNDATION / PILING PLAN, SEE SHEET S-1



JPA

JOSEPH POZZI ARCHITECT
314 E. MOODY BOULEVARD
FLAGLER BEACH, FLORIDA 32136
T: (386) 439-5650 F: (386) 439-5651
AR13178 ID 4843



A NEW CUSTOM 3-STORY RESIDENCE FOR:

JIM & ROXANE JENKINS
1336 S. OCEANSHORE BLVD.
FLAGLER BEACH, FLORIDA 32136

SITE PLAN AND FOUNDATION PLAN

REV #	DATE	ISSUE	REV #	DATE	ISSUE
1	12.20.12	PROGRESS SET			

DATE:	DRAWN:
9.24.2012	DJS
JOB NO.:	CHECKED:
212179	JDP

A-1

MAR 18 2013



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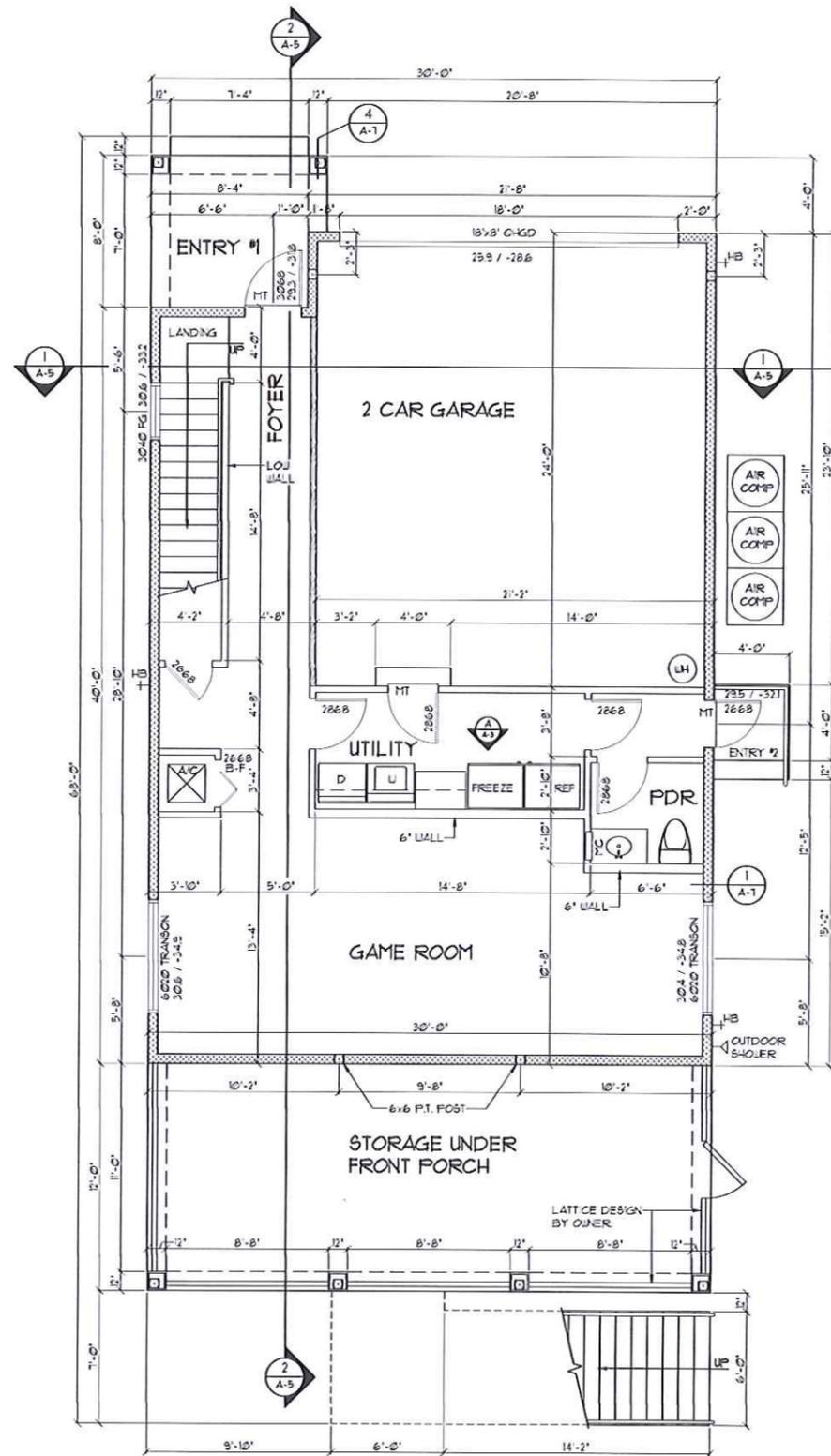
A NEW CUSTOM 3-STORY RESIDENCE FOR:
JIM & ROXANE JENKINS
 1336 S. OCEANSHORE BLVD.
 FLAGLER BEACH, FLORIDA 32136

1 ST., 2ND., & 3RD. FLOOR PLANS	
REV #	DATE
1	12.20.12
2	PROGRESS SET

DATE:	DRAWN:
9.24.2012	DJS
JOB NO.:	CHECKED:
212179	JDP

A-2

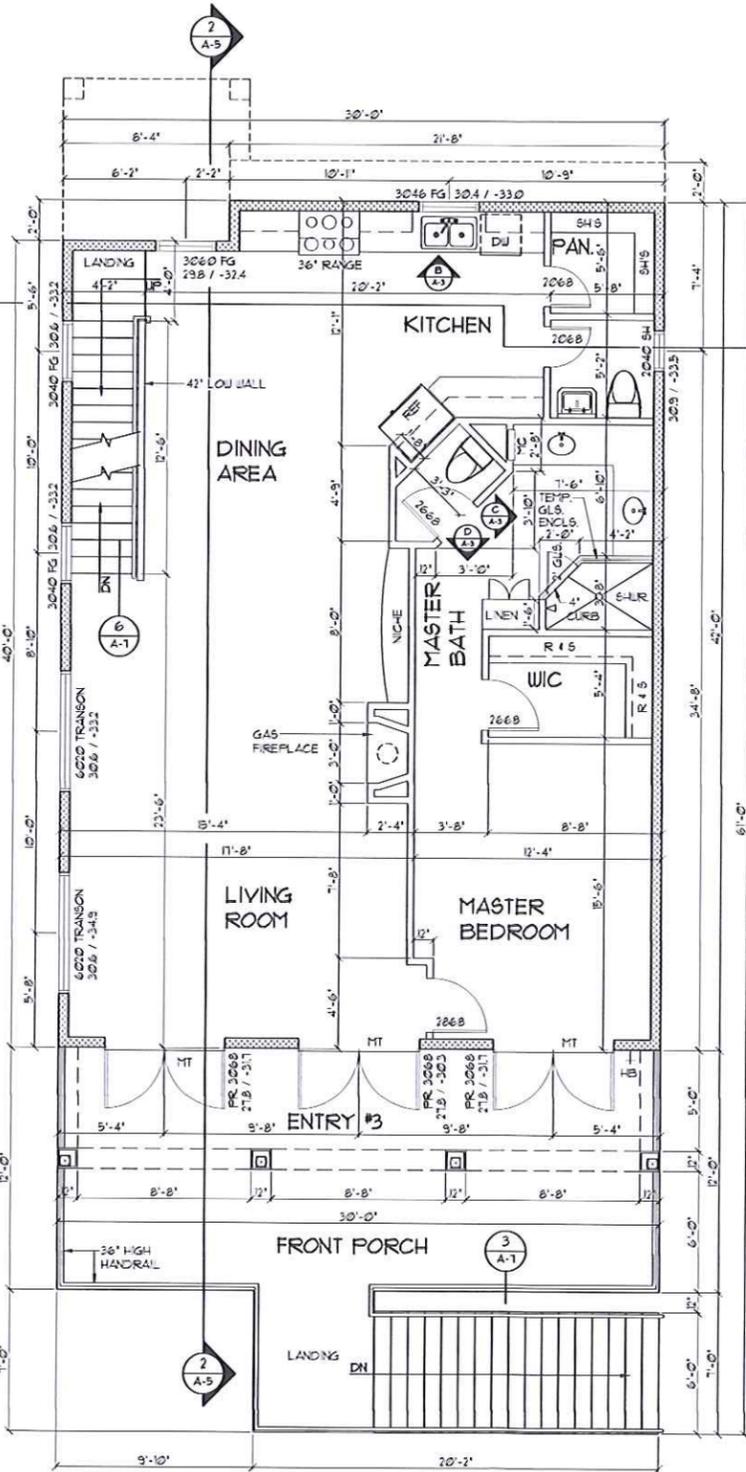
MAR 18 2013



1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 8'-0" CEILING

SQ. FT. CALCULATIONS:

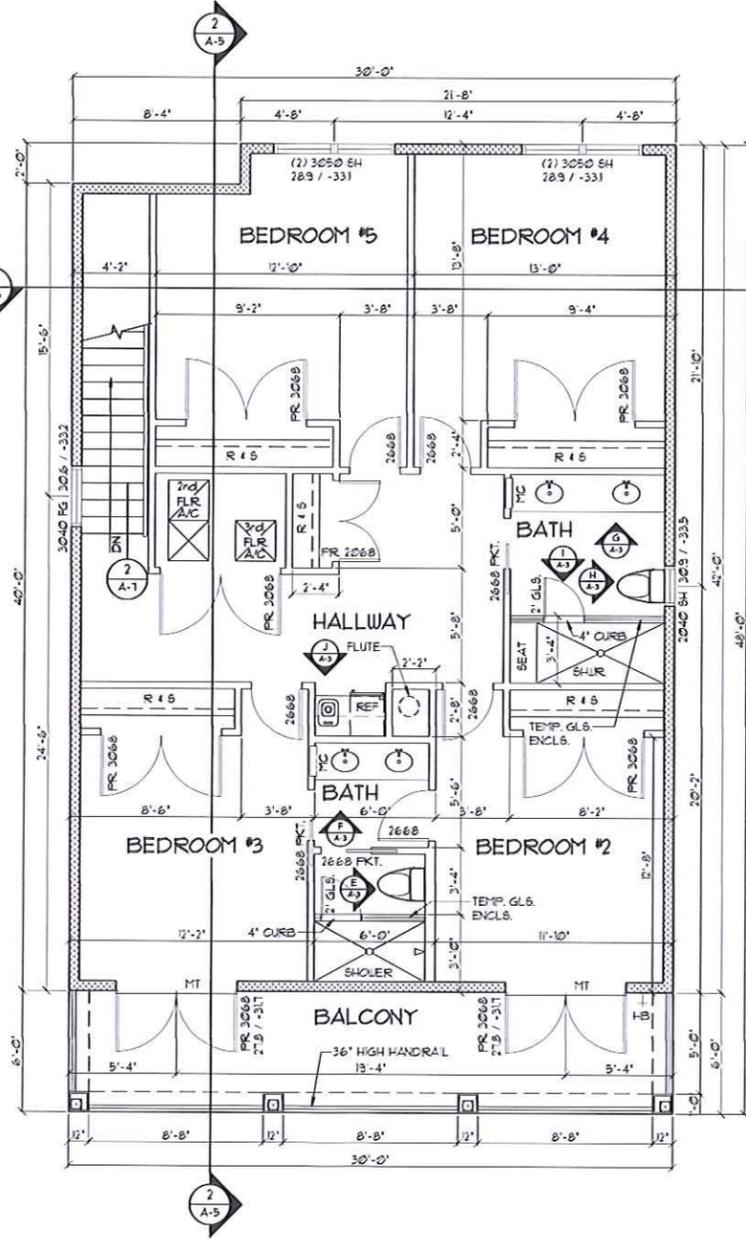
1st FLOOR AREA:	1111 SQ. FT.
2nd FLOOR AREA:	1243 SQ. FT.
3rd FLOOR AREA:	1243 SQ. FT.
TOTAL A.C. AREA:	3763 SQ. FT.
GARAGE AREA:	510 SQ. FT.
ENTRY AREA:	71 SQ. FT.
2nd FLOOR BALCONY AREA:	360 SQ. FT.
3rd FLOOR BALCONY AREA:	280 SQ. FT.
TOTAL AREA:	4384 SQ. FT.



2nd FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 9'-0" CEILING

NOTE:
 ALL EXTERIOR FRAME WALLS ARE SHEAR WALLS
 FOLLOW SHEAR WALL DETAIL ON SHEET A11

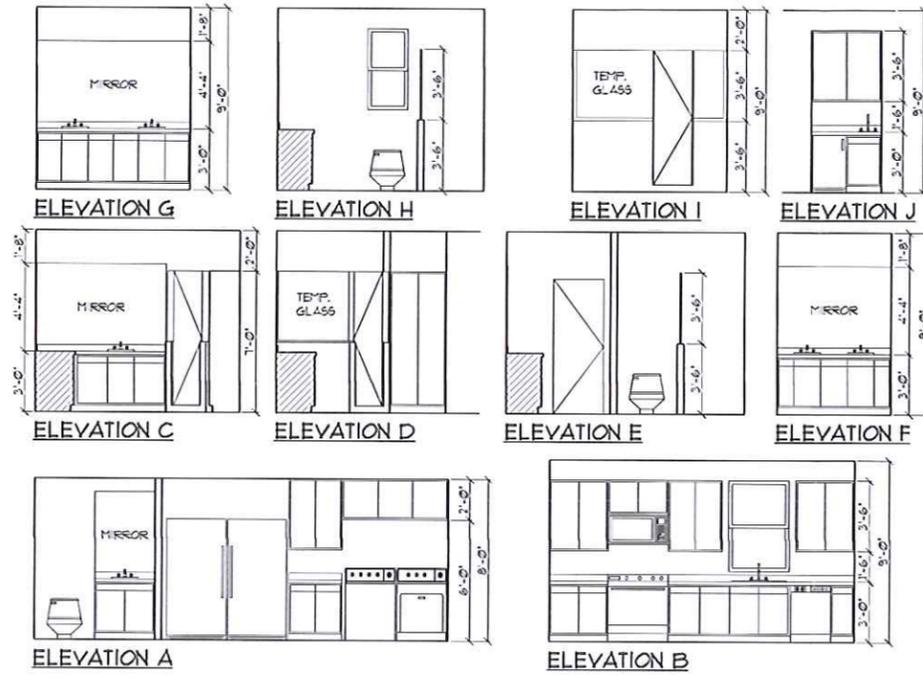
NOTE:
 ALL ATTIC ACCESS OPENINGS TO BE COVERED
 WITH 5'-8" TYPE 'X' GYP. BD.
 IF FULL DOWN STAIRS ARE USED, FIRE RETARDED
 PLYWOOD TO BE USED.



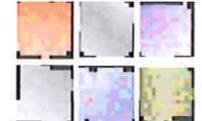
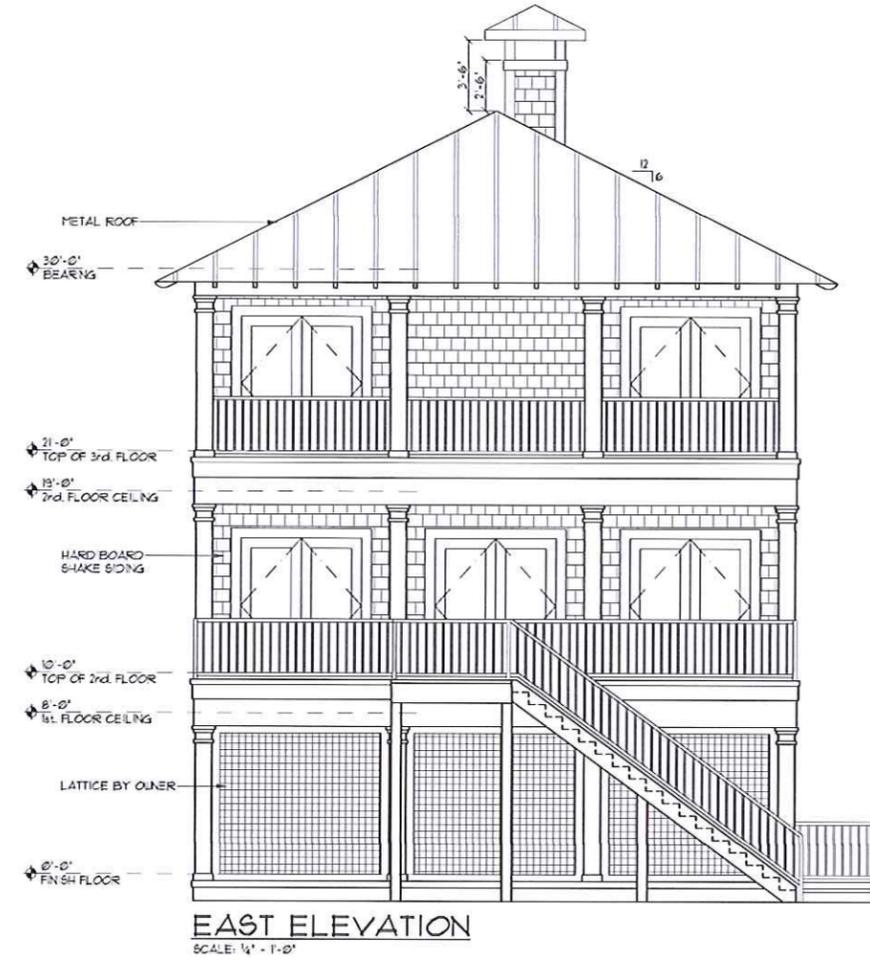
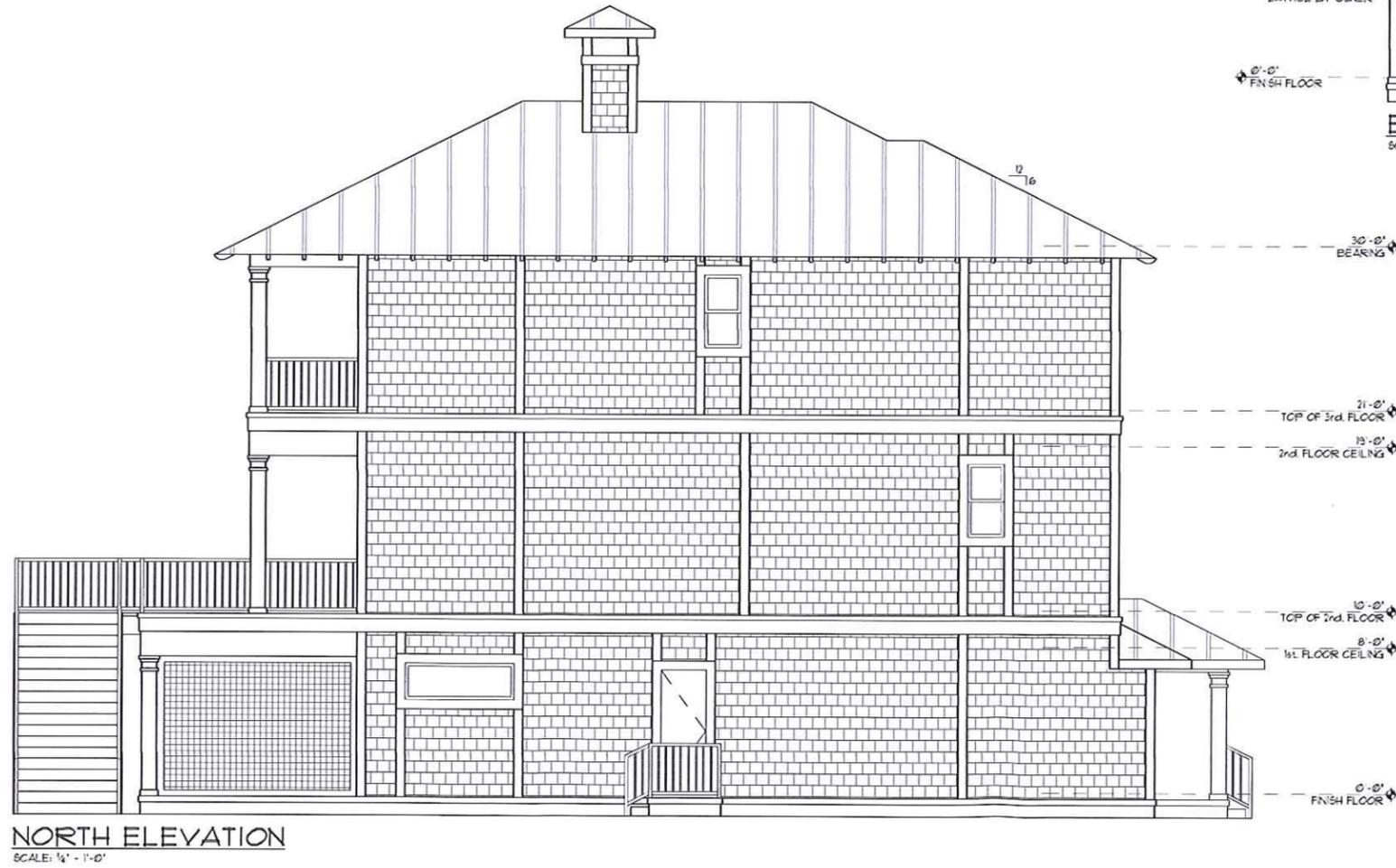
3rd FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 9'-0" CEILING

WALL LEGEND

	2x4 INTERIOR WOOD STUDS @ 16" O.C. UNO.
	INTERIOR WOOD STUD BEARING WALL
	EXTERIOR 2x6 WOOD STUD WALL @ 16" O.C.
	6x6 P.T. POST



INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



JPA

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1336 S. OCEANSHORE BLVD.
FLAGLER BEACH, FLORIDA 32136

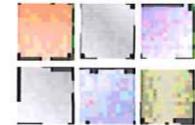
ELEVATIONS AND INTERIOR ELEVATIONS

REV #	DATE	ISSUE	REV #	DATE	ISSUE
	12.20.12	PROGRESS SET			

DATE: 8.24.2012	DRAWN: DJS
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JPA

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 AR13178 ID 4843



A NEW CUSTOM 3-STORY RESIDENCE FOR:
JIM & ROXANE JENKINS
 1336 S. OCEANSHORE BLVD.
 FLAGLER BEACH, FLORIDA 32136

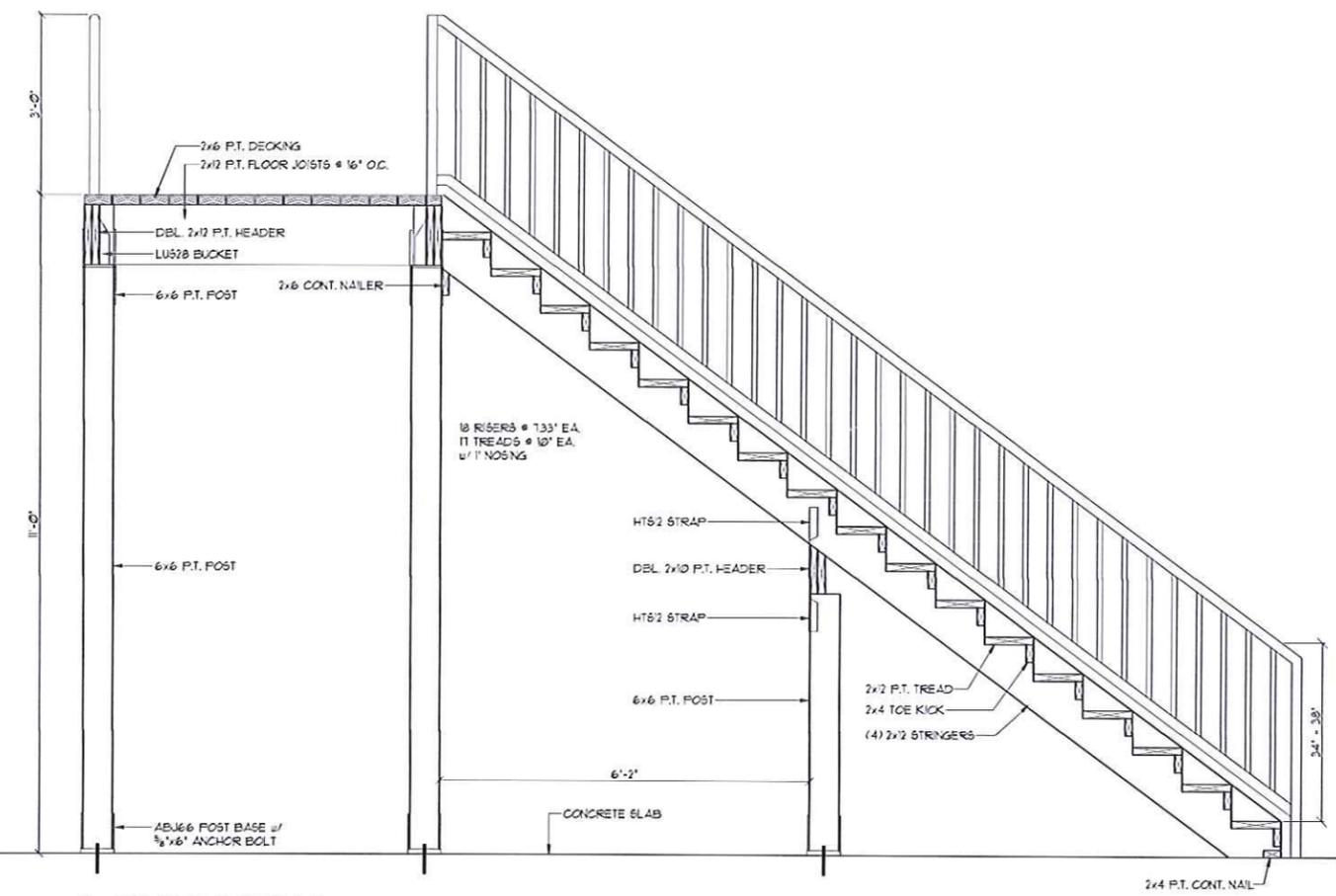
ELEVATIONS

REV #	DATE	ISSUE	REV #	DATE	ISSUE
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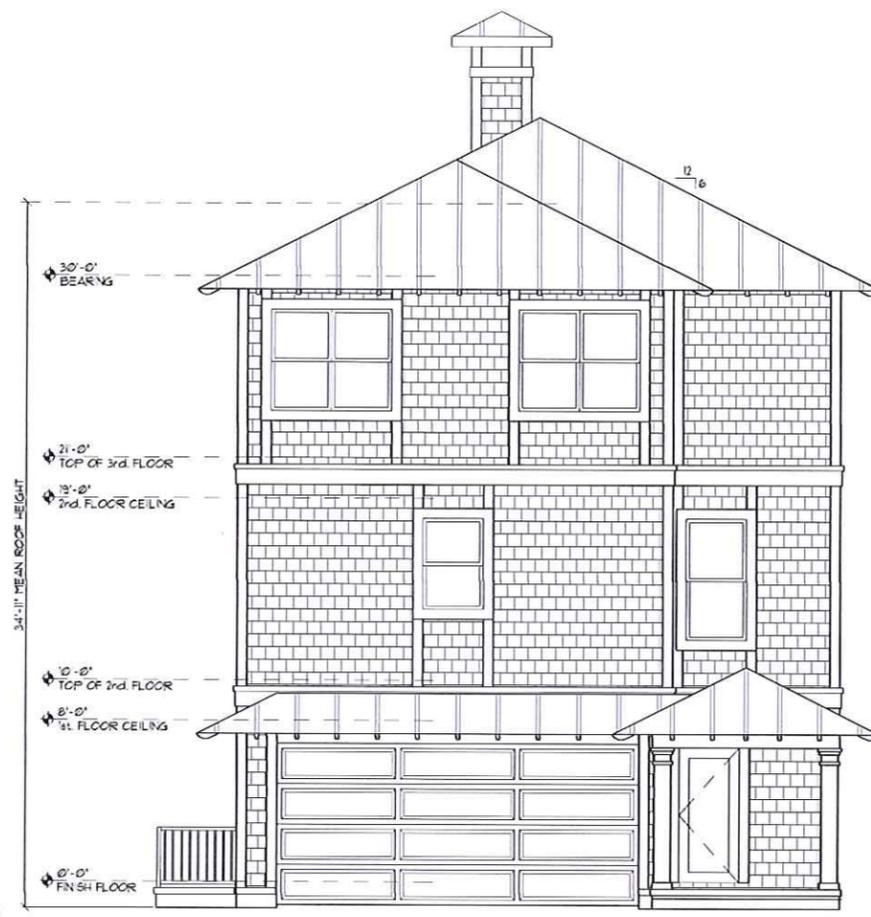
DATE: 8.24.2012	DRAWN: DJS
JOB NO. #: 212179	CHECKED: JDP

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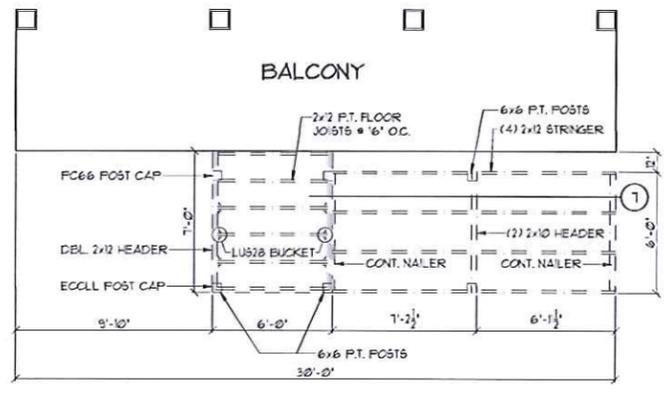
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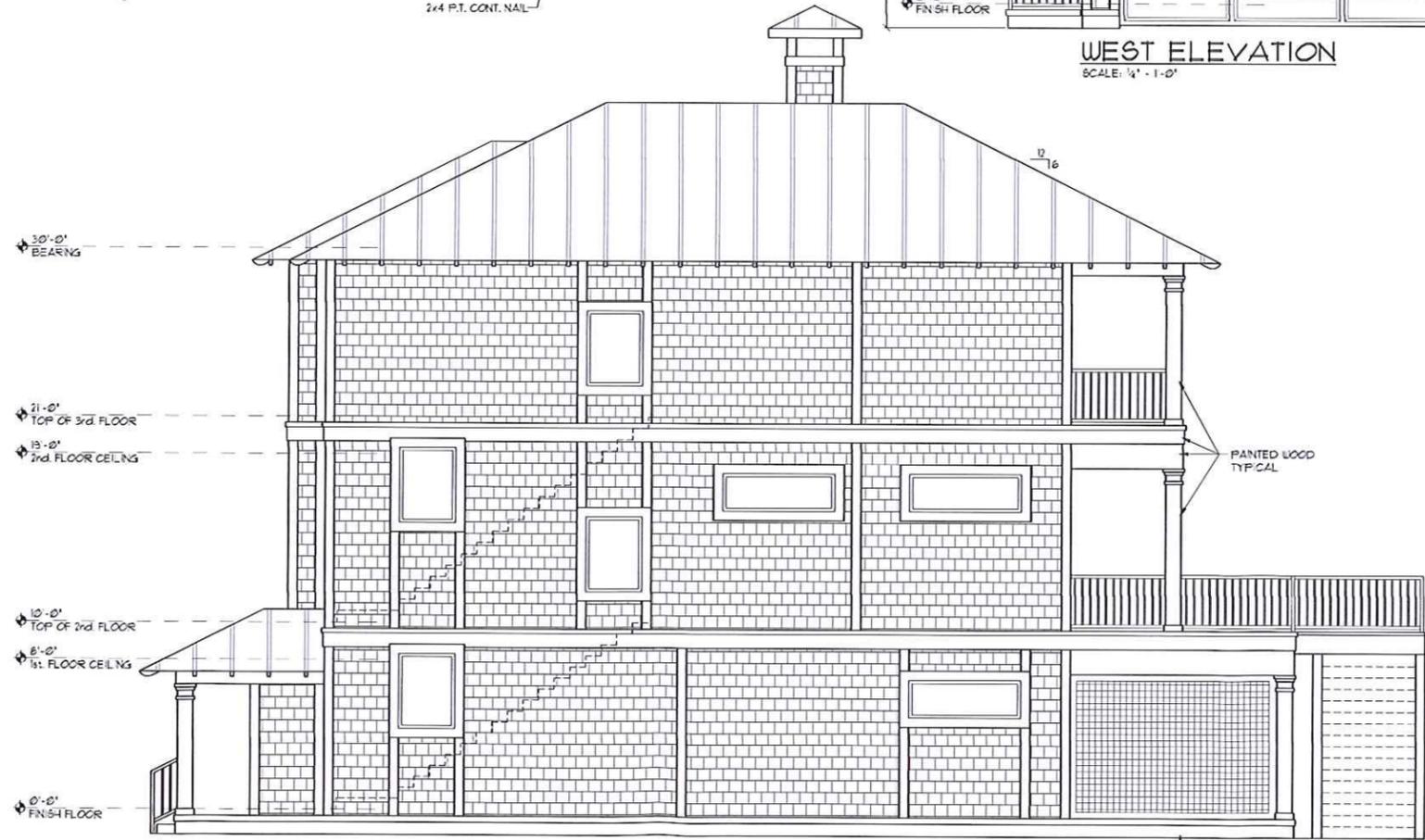
1. STAIR DETAIL
SCALE: 1/4" = 1'-0"



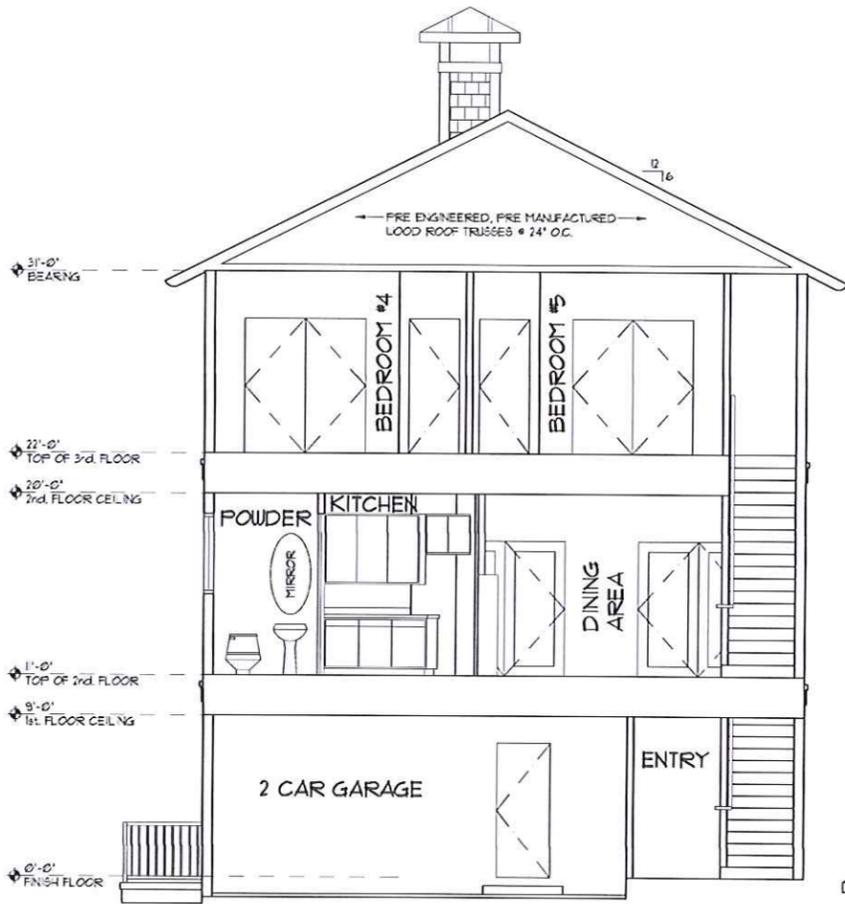
WEST ELEVATION
SCALE: 1/4" = 1'-0"



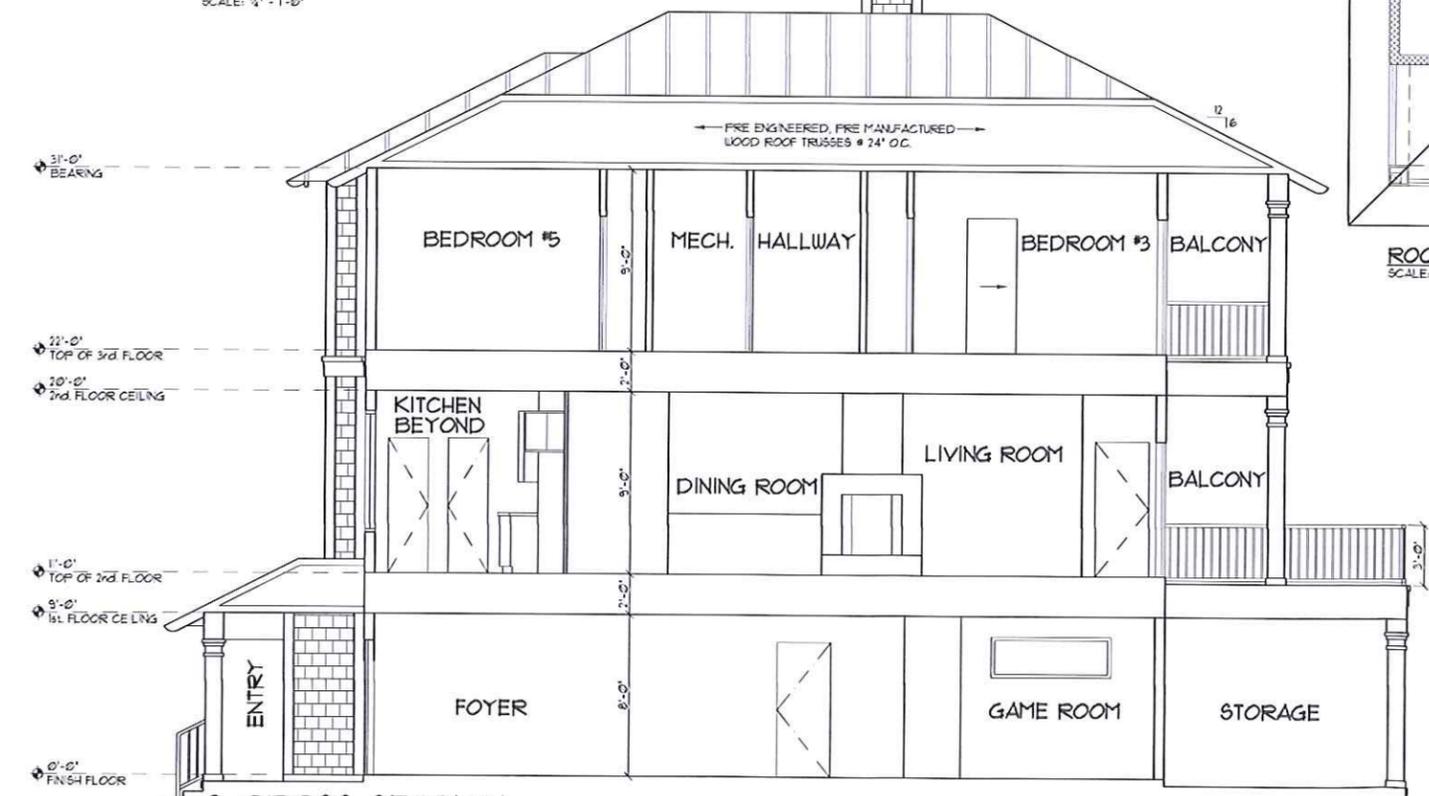
STAIR FRAMING PLAN
SCALE: 1/4" = 1'-0"



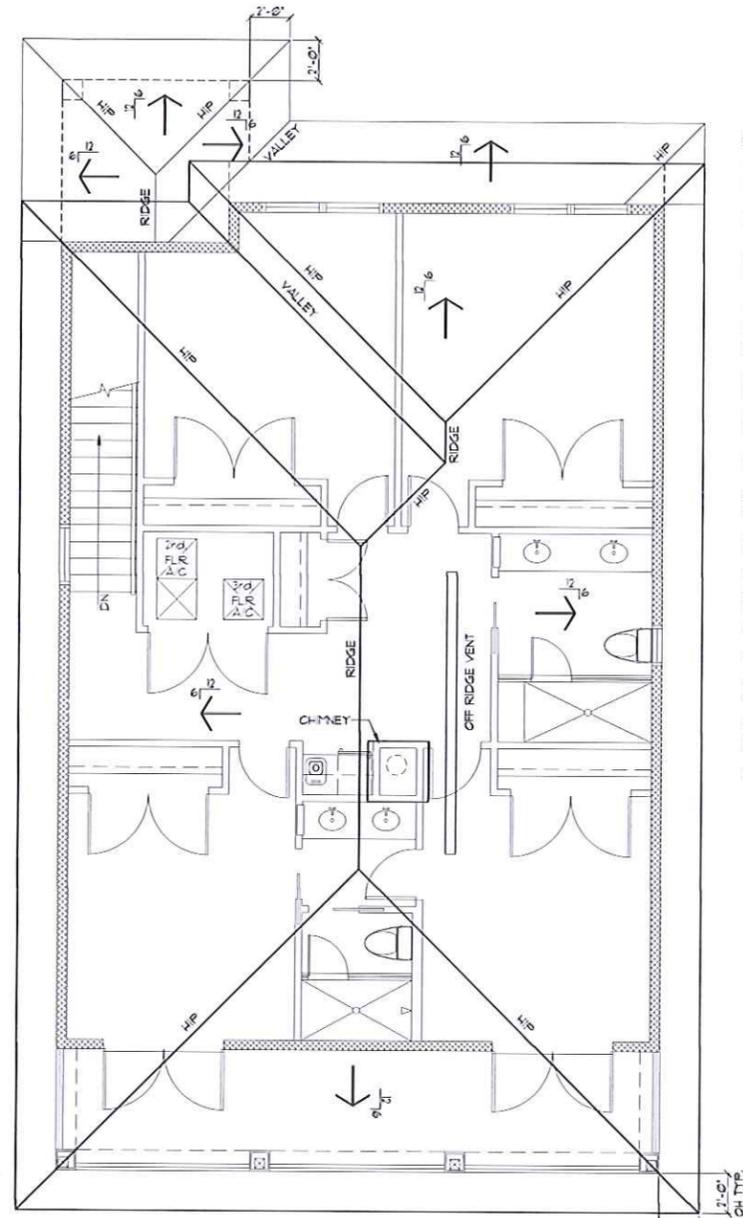
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1. CROSS SECTION
SCALE: 1/4" = 1'-0"



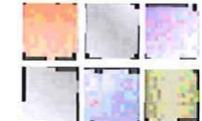
2. CROSS SECTION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL STRUCTURAL NOTES:

- 1) ALL ROOF STRUCTURE MEMBERS (INCLUDING SOFFIT, FASCIA, FLASHING, DRIP-EDGE, MOISTURE BARRIERS, SHINGLES, TILE, AND METAL SHEATHING) SHALL BE INSTALLED IN COMPLIANCE WITH FBC 2010.
- 2) ALL EXTERIOR WOOD FRAME WALLS ARE TO BE BUILT AS SHEAR WALL OR SHEAR WALL SEGMENT. SEE SHEAR WALL DETAILS.
- 3) ALL CMU WALLS ARE TO BE BUILT AS SHEAR WALL OR SHEAR WALL SEGMENT. PROVIDE ONE SOLID CELL AT EACH END WITH (1) #4 ROD FROM FTG TO THE BEAM. ALL SPLITS ON REBAR TO BE 25' MIN.
- 4) EPOXY MAY BE USED IF J-BOLT OR DOWN ROD IS MISSING. 1/2" EDGE W/ 2" WASHER MAY BE SUBSTITUTED. (EMBEDDED 1" MIN.)
- 5) TRUSS ANCHORS IN THE TIE BEAM MAY BE OFFSET 2" MAX. WITH BLOCKING.
- 6) ALL DOUBLE TOP PLATES AT THE SHEAR AND BEARING WALLS SHALL HAVE MIN. OF 4'-0" OVERLAP. PROVIDE 0-16D NAILS (TYP.)
- 7) 3 EA. HILTI SHOT - 1/4" FINS #11 MAY BE USED IF HURRICANE STRAP IS MISSING.
- 8) ALL ROOF TRUSS HANGERS TO BE SIMPSON HUS16 OR EQUAL. ALL FLOOR TRUSS HANGERS TO BE SIMPSON TH4422 OR EQUAL.
- 9) FASTENERS TO BE CORROSION RESISTANT CONFORMING TO E0126 FBC, R30525 FBC-R, ASTM F 1667 & ASTM A 641, CLASS 1.
- 10) UNDERLAYMENT TO COMPLY WITH E0123 FBC, R30523 FBC-R & ASTM D 226 TYPE I OR ASTM D 4869, TYPE II.
- 11) ASPHALT SHINGLES TO COMPLY WITH E0125 FBC, R30524 FBC-R & ASTM D 225 OR ASTM D 3462 ATTACHMENT SHALL CONFORM TO ASTM D 3461 (MODIFIED TO 10 TYP) OR M-DC 101-55).
- 12) FLASHING TO COMPLY WITH E0128 FBC, R30528 FBC-R.
- 13) DRIP EDGE TO COMPLY WITH E01383 FBC, R30528 FBC-R.
- 14) SINGLE OVER RIDGE VENT BY FLAYCO OR APPROVED EQUAL. PROVIDE 18" 60 N. PER LINEAR FT. INSTALL PER MANUF. WRITTEN INSTRUCTIONS.
- 15) IF THERE IS NOT ENOUGH OF LINEAR RIDGE VENT THE ROOFING CONTRACTOR WILL BE REQUIRED TO CALCULATE THE REQUIRED QUANTITY AND INSTALL ENOUGH OFF-RIDGE VENTS TO SATISFY THE P.V.A.
- 16) ALL NAILS SHALL BE COMMON UNO.



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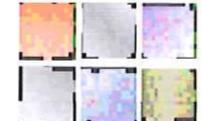
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ROOF PLAN		
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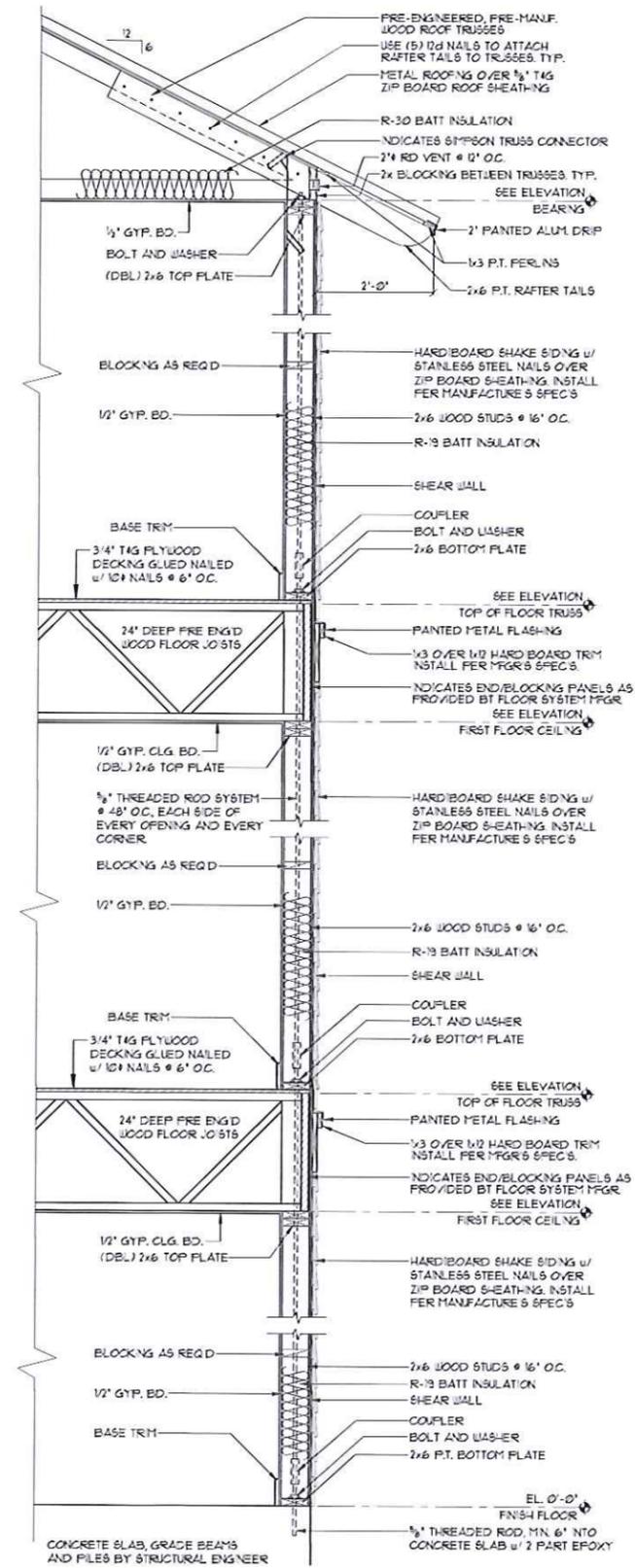
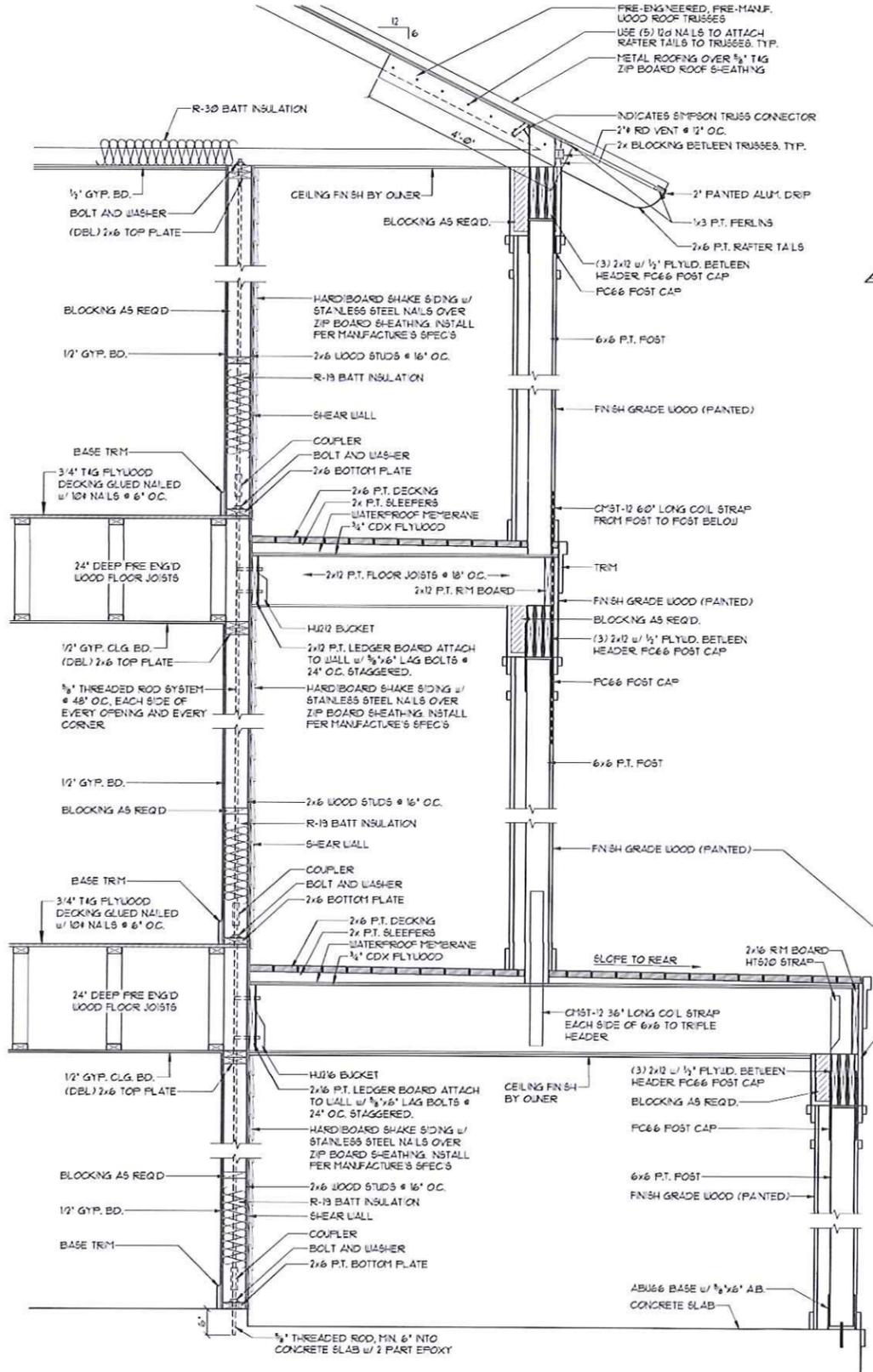
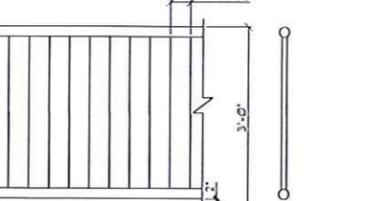
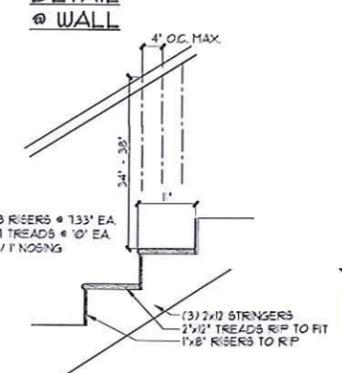
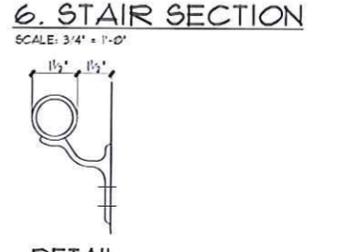
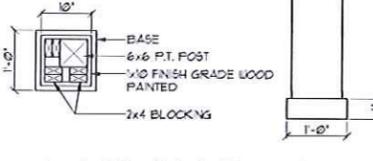
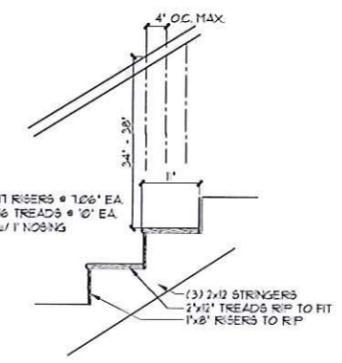
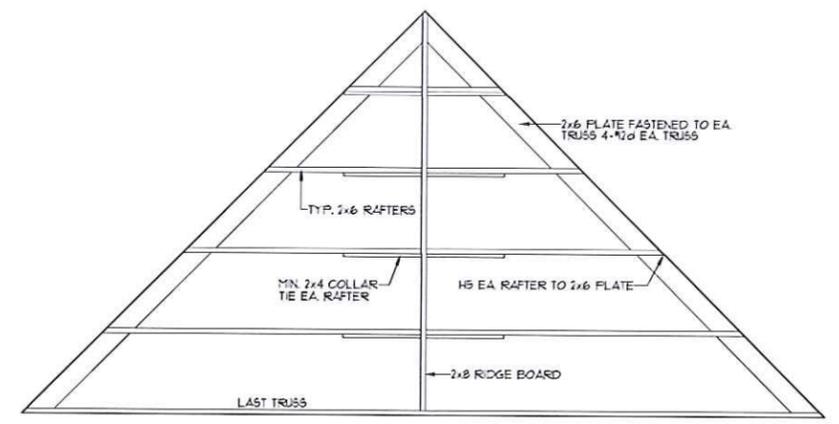
WALL SECTION AND DETAILS

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DATE:	DRAWN:
8.24.2012	DJS
JOB NO.:	CHECKED:
212179	JDP

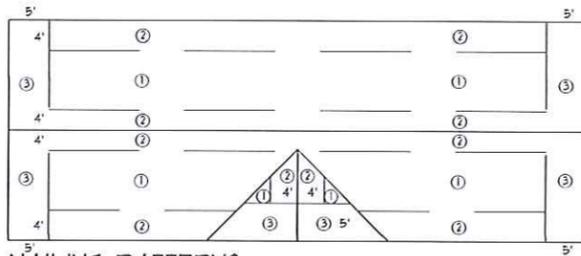
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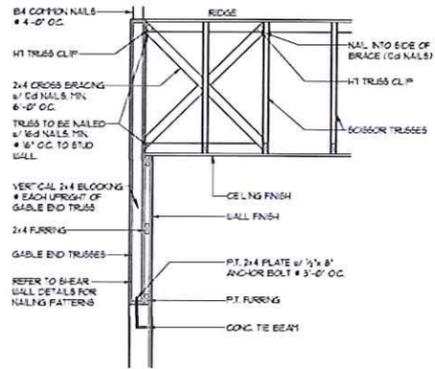
5. 3-STORY WALL SECTION
SCALE: 3/4" = 1'-0"

1. 3-STORY WALL SECTION
SCALE: 3/4" = 1'-0"



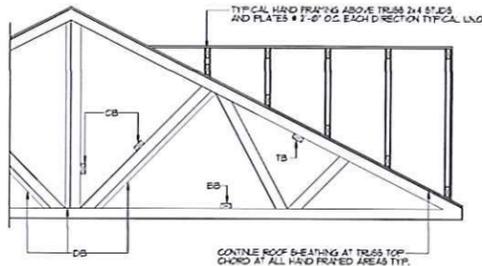
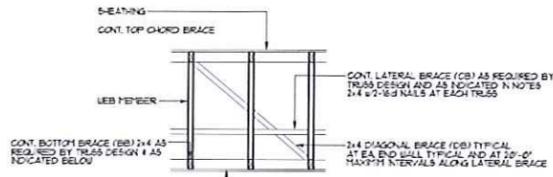
NAILING PATTERNS

1. USE 8D COMMON NAILS FOR ALL FASTENERS IN NAILING ZONE 3 IN 130 MPH WIND SPEEDS AND WHERE GROUP III SPECIES FRAMING LUMBER IS USED IN 130 MPH WIND SPEED.
2. SPACE FASTENERS 4' O.C. MIN. AT GABLE END WALL OR GABLE TRUSS.
3. FASTENER SPACING AT INTERMEDIATE SUPPORTS IN NAILING ZONE I MAY BE 12' O.C. IN 130 MPH WIND SPEEDS AND WHERE GROUP II SPECIES FRAMING LUMBER IS USED IN 130 MPH WIND SPEEDS.



GABLE END TRUSS BRACING DETAIL

SCALE: 1/4" = 1'-0"



TYP. ROOF TRUSS BRACING

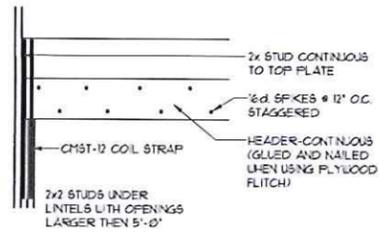
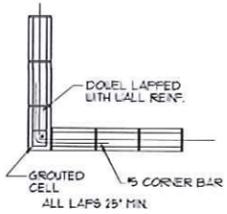
SCALE: 1/4" = 1'-0"

TRUSS NOTES:

1. WOOD TRUSS ERECTOR SHALL PROVIDE BRACING ACCORDING TO BRACING WOOD TRUSS CONVENTION AND RECOMMENDATION. BUT-16 TRUSS PLATE SUBSTITUTE NOTE THAT THE OPENED WIND AREA IS GREATER BEFORE THE ROOF SHEETING IS APPLIED, AND BRACING SHALL THEREFORE BE INSTALLED AS THE TRUSSES ARE ERECTED. INADEQUATE BRACING IS THE MOST COMMON CAUSE OF ACCIDENTS IN WOOD TRUSS CONSTRUCTION. FULL BUNDLES OF PLYWOOD SHALL NOT BE PLACED ON TRUSSES. THIS CONSTRUCTION LOAD SHOULD BE LIMITED TO 8 SHEETS OF PLYWOOD ON ANY PAIR OF TRUSSES AND SHALL BE LOCATED ADJACENT TO THE SUPPORTS. NO EXCESS CONCENTRATION OF ANY CONSTRUCTION MATERIALS (SUCH AS GRAVEL OR SHINGLES) SHALL BE PLACED ON THE TRUSSES IN ANY ONE AREA. THEY SHALL BE SPREAD OUT EVENLY OVER A LARGE AREA SO AS TO AVOID OVERLOADING ANY ONE TRUSS.
2. ALL BRACING (DB/CB/BB) 8'-0" HORN ABOVE SHALL BE IN ADDITION TO CONTINUOUS LATERAL BRACING SPECIFIED BY THE TRUSS MANUFACTURER. ALL LATERAL BRACING SPECIFIED BY TRUSS MANUFACTURER SHALL HAVE ADDITIONAL DIAGONAL BRACES #2'-0" O.C. MAX.
3. ALL BRACES SHALL BE 2x4 NOMINAL DIMENSION LUMBER AND SHALL BE ATTACHED WITH 2-16d NAILS AT EACH TRUSS INTERSECTION.
4. MINIMUM BRACING SHALL BE 2x4 CONTINUOUS AT TOP AND BOTTOM CHORDS 6'-0" O.C. MAXIMUM ADD DIAGONAL BRACING AS 8'-0" HORN ABOVE.
5. ADDITIONAL BOTTOM CHORD BRACING SHALL BE INSTALLED AS REQUIRED BY TRUSS DESIGN WHERE ADEQUATE STRUCTURAL CEILING ARE NOT ATTACHED DIRECTLY TO THE BOTTOM CHORD OF THE TRUSS.
6. PROVIDE TRUSS BLOCKING AT ALL TRUSS BEARING SUPPORTS WHERE TRUSS DEPTH EXCEEDS 0'. SEE TYPICAL TRUSS BLOCKING DETAILS.

CORNER CONTINUITY OF BOND BEAM AND WALL REINFORCEMENT

SCALE: 1/4" = 1'-0"



OPENING WIDTH	BEARING WALL OR SHEAR WALL	NON-BEARING WALL
0'-0" x 16'-0"	2-2x7 S w/ 1/2" FLYWOOD FLITCH	2-2x12 S

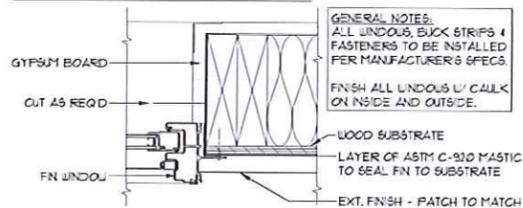
HEADER NOTES:

1. USE HEADER SIZES ABOVE UNLESS OTHERWISE NOTED ON FRAMING PLAN.
2. PRIMARY FRAMING (BEAMS, GIRDERS, ETC) WERE SIZED USING:
1000 PD' EXTREME FIBER IN BENDING (SINGLE)
30 F' HORIZONTAL SHEAR
16E E' MODULUS OF ELASTICITY
3. JOISTS, RAFTERS, LINTELS, ETC. WERE SIZED USING:
1000 PD' EXTREME FIBER IN BENDING (SINGLE)
90 F' HORIZONTAL SHEAR
16E E' MODULUS OF ELASTICITY

HEADER SCHEDULE

SCALE: 1/4" = 1'-0"

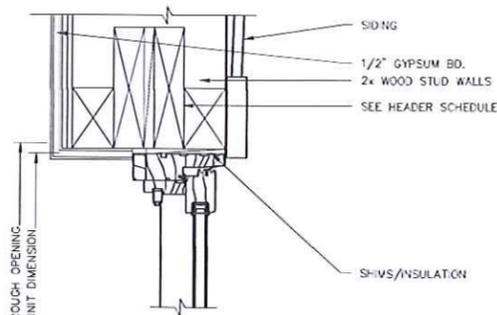
WOOD FRAME OPENINGS



PRESCRIPTIVE REPAIR PER FINISH TYPE:

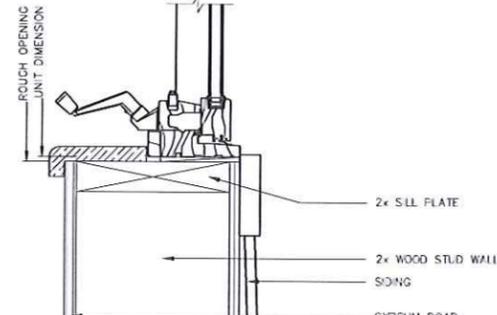
- WOOD SIDING**
- REMOVE TRIM TO EXPOSE NAILING FIN.
 - RETURN TO COVER FIN.
- STUCCO EXTERIOR:**
- WITH GRINDER, CUT BACK STUCCO TO EXPOSE NAILING FIN.
 - INSTALL FIN WINDOW AND COVER FIN.
- WOOD DOUBLE HANG:**
- REMOVE HANG AND PARTING BEAD.
 - INSTALL UNIT INTO OPENING AGAINST GASH STOP.
 - COVER EXTERIOR WITH PVC/ALUMINUM CAFFING.

GENERAL NOTES:
ALL WINDOWS, BUCK STRIPS & FASTENERS TO BE INSTALLED PER MANUFACTURER'S SPECS.
FINISH ALL WINDOWS W/ CAULK ON INSIDE AND OUTSIDE.



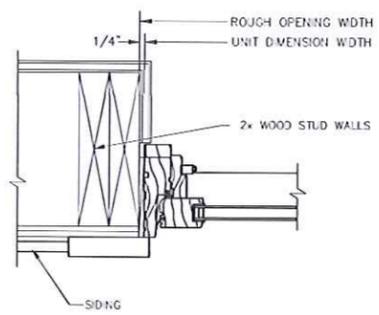
HEAD DETAIL (TYP.)

SCALE: 3/8" = 1'-0"



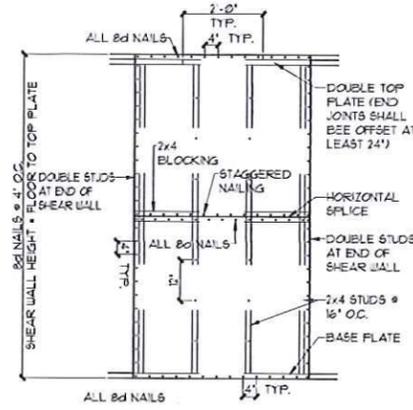
SILL DETAIL (TYP.)

SCALE: 3/8" = 1'-0"



JAMB DETAIL (TYP.)

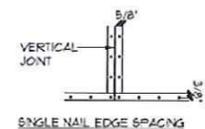
SCALE: 3/8" = 1'-0"



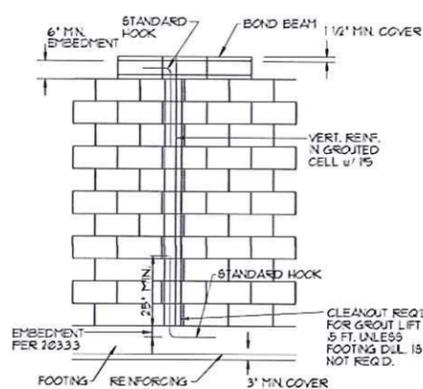
SHEAR WALL DETAILS

SCALE: 1/4" = 1'-0"

5x5 INDICATES SHEAR WALL SEGMENT WITH 5" SPACED HD2A #4 DOUBLE STUDS EA. END. 2ND STORY WALLS MAY USE (2) 5" SPACED HD2A30 STRAPS & DOUBLE STUDS AT SHEAR WALL ENDS.

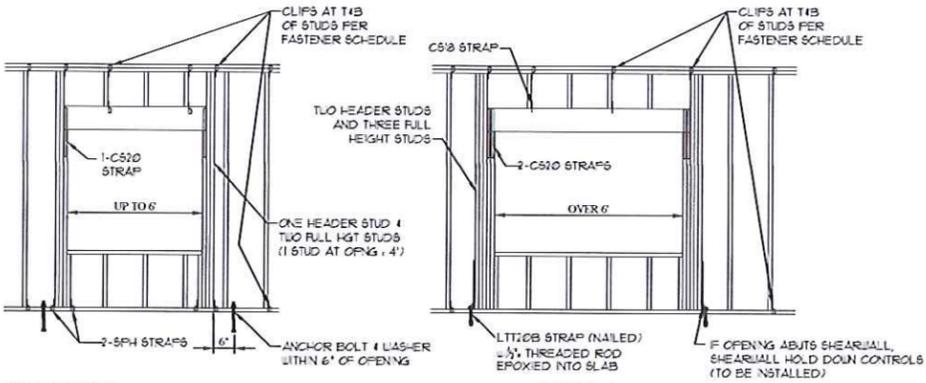


DOUBLE NAIL EDGE SPACING (ALT.)



TYPICAL WALL REINFORCING DETAIL

SCALE: 1/4" = 1'-0"



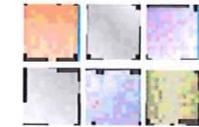
STRAPPING REQUIREMENTS AT INTERIOR AND EXTERIOR LOAD BEARING WALL OPENINGS

OPENING FRAMING

SCALE: NTS

NOTE: AT OPENINGS OVER 6' PROVIDE 2 STUDS UNDER HEADER STUDS FULL HEIGHT EACH SIDE OF EXTERIOR OPENINGS SHALL EQUAL ONE HALF THE NUMBER OF STUDS INTERRUPTED BY THE OPENING ROUNDED UP (I.E. IF 5 STUDS ARE INTERRUPTED BY THE OPENING PROVIDE 3 FULL HEIGHT STUDS EACH SIDE OF THE OPENING IN ADDITION TO THE STUDS UNDER THE HEADER).

COMMON WIRE TO GUN NAIL CONVERSION			
COMMON WIRE NAL.	(FOR NAIL SPACING)		EDGE FIELD
	EDGE FELD.	DJI PASLODE CATA/GUN NAILS)	
8d	6"	12"	091381,091394,091391
	4"	12"	
	3"	12"	
10d	8"	12"	401838
	4"	12"	
	3"	12"	



JPA

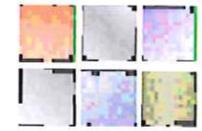
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DETAILS	
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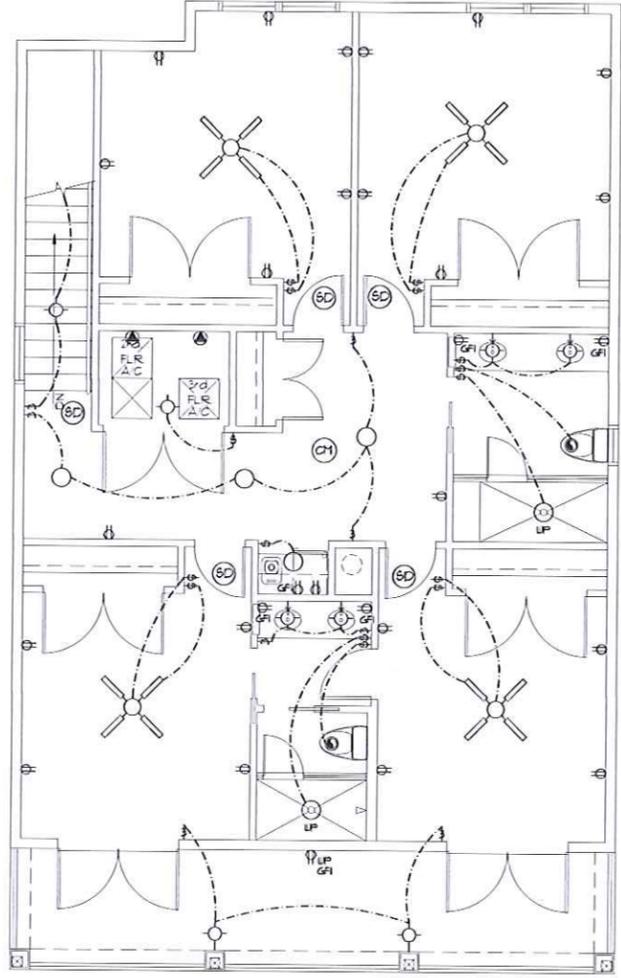
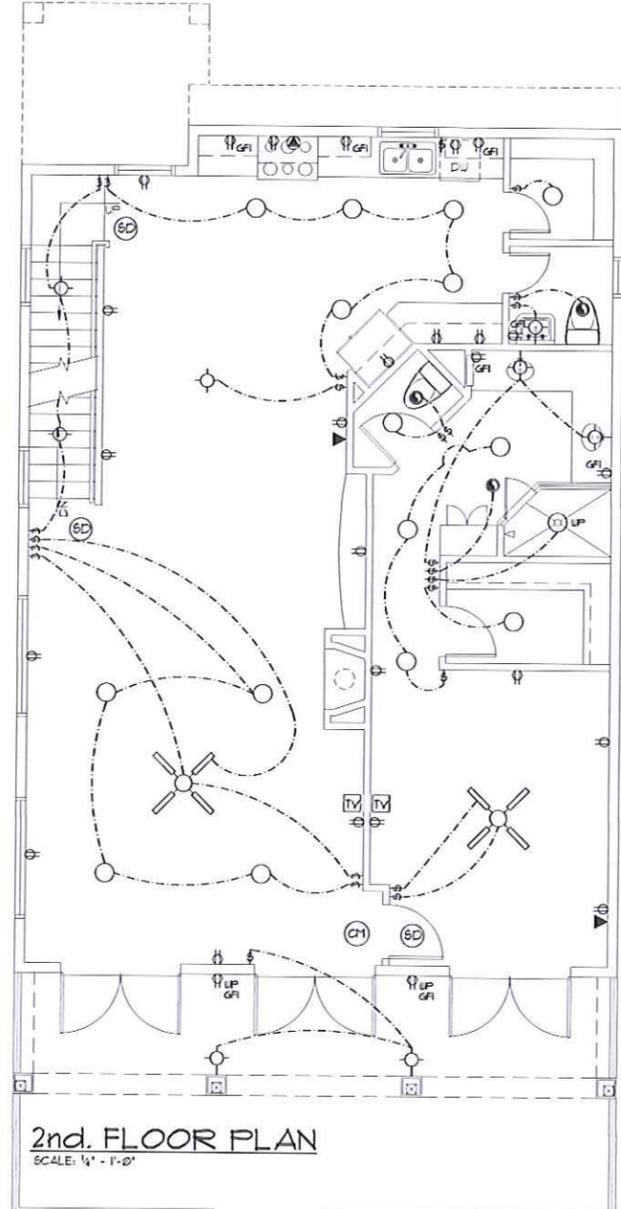
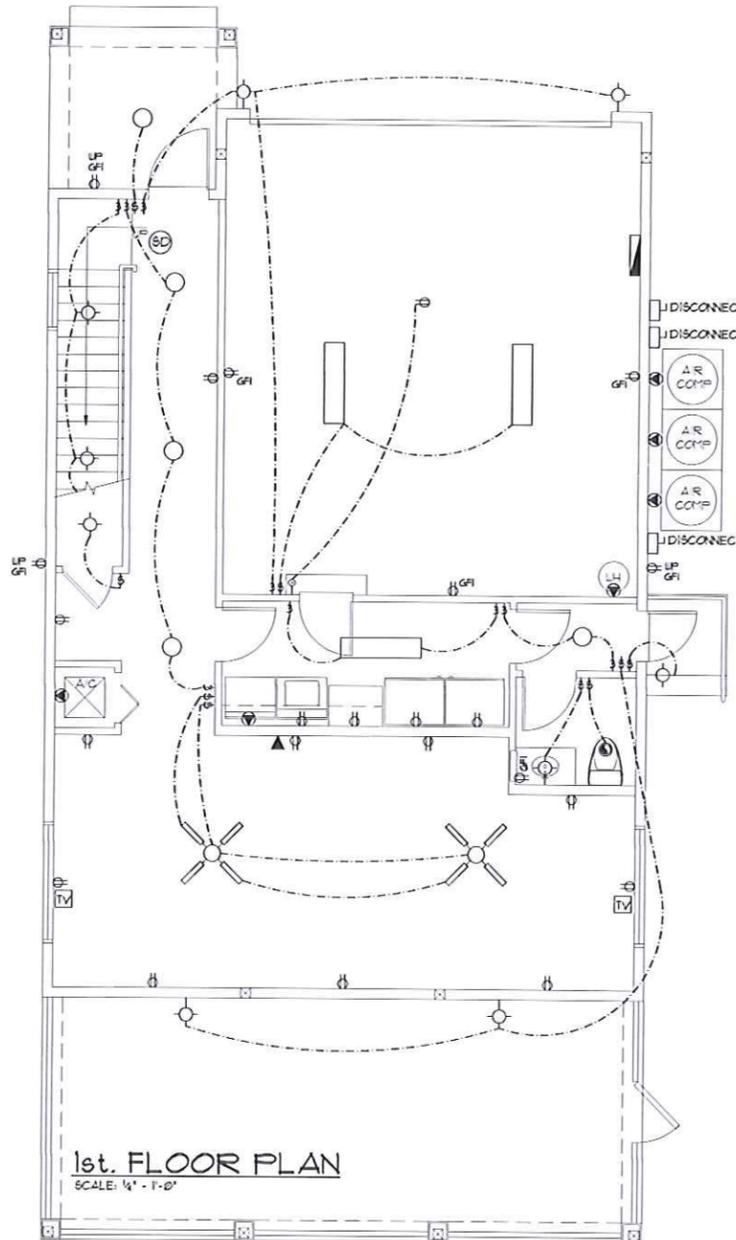


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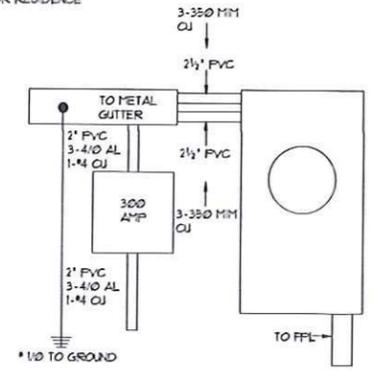
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- NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED AND HARD WIRED TO HOUSE.
- NOTE: CONTRACTOR TO COORDINATE W/ SECURITY ALARM SYSTEM FOR HOUSE.
- NOTE: PROVIDE HIGH VOLUME FANS IN ALL SHOWER LOCATIONS.
- NOTE: CARBON MONOXIDE ALARMS TO BE INSTALLED WITHIN 10 FEET OF EACH BEDROOM. THEY ARE TO BE HARD WIRED TO HOUSE AND HAVE A BATTERY BACK UP ALSO.
- NOTE: EXTERIOR LIGHTING TO CONFORM W/ SECTION 629.05 OF THE FLAGLER COUNTY CODE.
- NOTE: ELECTRIC SERVICE FROM POLE TO HOUSE TO BE UNDERGROUND.

SERVICE RISER DIAGRAM

NOTE: VERIFY GROUNDING REQUIREMENTS WITH LOCAL INSPECTOR. CONTRACTOR TO VERIFY ACTUAL SERVICE NEEDED FOR RESIDENCE.



ELECTRICAL LEGEND

- CEILING FAN
- FLOOR OUTLET
- WALL OUTLET
- OUTSIDE OUTLET
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH
- 4-WAY LIGHT SWITCH
- DIMMER SWITCH
- VARIABLE FAN SWITCH
- 220 OUTLET
- FLOOD LIGHTS
- FAN-LITE
- ELECTRICAL BOX
- UNDER CAB. LIGHTS
- VACUUM DUST PAN
- VACUUM OUTLET
- J-BOX
- EXIT SIGN
- SPEAKER
- CABLE OUTLET
- PHONE JACK
- FLOOR PHONE / DATA JACK
- EYEBALL LIGHT
- CAN LIGHT
- CEILING LIGHT
- WALL LIGHT
- SMOKE DETECTOR
- FLORESCENT
- THERMOSTAT
- DATA
- ROPE LIGHTING
- EMERGENCY BACK UP LIGHTS
- CARBON MONOXIDE / SMOKE DETECTOR CO2

ELECTRICAL FLOOR PLANS

REV #	DATE	ISSUE	REV #	DATE	ISSUE
	12.03.12	PROGRESS SET			

DATE: 8.24.2012	DRAWN: DJS
JOB NO. #: 212179	CHECKED: JDP

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