

# City of Flagler Beach

## Planning and Architectural Review Board

Tuesday, September 3, 2013 at 5:30 p.m.

City Hall Commission Chambers

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### Agenda

1. Call the meeting to order.
2. Call the roll.
3. Pledge of Allegiance.
4. Approve the minutes of the Regular Meeting of August 6, 2013.
5. New Business:
  - A. Application #OE 13-09-01  
Outdoor Entertainment to allow amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment on the subject property in the GC, General Commercial zoning district.  
Applicant: Tyler Ecker for Break-Awayz @ the Beach  
819 North Ocean Shore Boulevard  
Property Owner: D & N Mgmt., LLC
6. Old Business:
  - A. Discussion and recommendation of an ordinance of the City of Flagler Beach, Florida, amending Section 2.06.06 of the *Land Development Regulations* to modify the list of site plan review findings into multi-family and motel structure standards; amending sections 8.00.01, 8.00.11, and 8.04.12 of the *Land Development Regulations* to exclude two-family dwelling units from architectural approvals; amending Section 8.00.15 of the *Land Development Regulations* to modify the list of reasons for site plan denial by the Planning and Architectural Review Board; adding section 8.05.00 to the *Land Development Regulations* to provide the standards and conditions essential to ensure that site plan applications contain sufficient information for review and approval; providing for codification, conflicts, and an effective date.
  - B. Discussion and recommendation of an ordinance of the City of Flagler Beach, Florida, amending Section 2.04.02.9, Zoning Schedule Two Lot, Yard and Bulk Regulation, of the *Land Development Regulations* to add dimensional requirements for single-family dwelling units in the TC, Tourist Commercial zoning district; providing for codification, conflicts, and an effective date.
7. PARB Member Comments.
8. Adjournment.



RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript, or you may buy a CD of the meeting for \$3.00 at the City Clerk's office. Copies of CDs are only made upon request. The City is not responsible for any mechanical failure of the recording equipment.

In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext. 235 at least 72 hours prior to the meeting.

Please take notice that individual Elected Officials of the City of Flagler Beach may attend this meeting. Those Elected Officials who attend will not take any action or take any vote at this committee meeting. This is not an official meeting of the Flagler Beach City Commission. This notice is being provided to meet the spirit of the Sunshine Law to inform the public that Elected Officials may be present at this committee meeting.

Posted August 28, 2013

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### Planning and Building Department

P.O. Box 70 • 116 3rd Street South, Flagler Beach, Florida 32136 • Phone (386) 517-2000 • Fax (386) 517-2016

FLAGLER BEACH PLANNING AND ARCHITECTURAL REVIEW BOARD  
TUESDAY, AUGUST 6, 2013 AT 5:30 P.M  
MINUTES

PRESENT: Alice Baker, Dan Bayerl, Don Deal, Cathy Feind, Roseanne Stocker, Lea Stokes.

ABSENT: Joseph Pozzuoli

1. CALL THE MEETING TO ORDER: Mr. Deal called the meeting to order at 5:31 p.m.
2. CALL THE ROLL: Ms. Settle called the roll.
3. PLEDGE OF ALLEGIANCE. Attorney Smith led the pledge.
4. APPROVE THE MINUTES OF THE REGULAR MEETING OF JUNE 4, 2013: **Motion** by Roseanne Stocker, seconded by Dan Bayerl, to approve the minutes of Tuesday, June 4 meeting. The **motion** carried unanimously.
5. APPROVE THE MINUTES OF THE REGULAR MEETING OF JULY 2, 2013: **Motion** by Cathy Feind, seconded by Roseanne Stocker, that we approve the minutes of July 2, 2013. The **motion** carried unanimously.
6. NEW BUSINESS:
  - A. Application #SE 13-08-01  
Special Exception to allow a professional office.  
Applicant: John Lynch, Stoughton Luxury Homes  
1736 South Ocean Shore Boulevard  
Property Owner: Harrison Wilder, Jr.

Mr. Deal read the title of the item into the record. Mr. Deal ensured everyone had the opportunity to read an e-mail from Mr. and Mrs. Ser. Mr. Lingenfelter reviewed the nature of the request and why Mr. Wilder was needing a special exception for the use. The building has a special exception as a single family home and now the owner is asking for a special exception to allow to use it as an office. Mr. Lingenfelter reviewed parking requirements, and the need for handicap accessible space. He reviewed the criteria necessary to approve the special exception. Mr. Lynch came forward to answer questions from the Board. Those questions included: the current use of the building; a possible miscommunication; a problem with the setbacks; model home use; the perception that it has always been used as an office and not a home; Mr. Lynch's agreement with Mr. Wilder to use the building as an office until Mr. Wilder takes up residence; signage issues and having a time limitation on the use as an office; code enforcement's role in the process. **Motion** by Roseanne

Stocker, seconded by Cathy Feind, that we recommend the City Commission deny this request and I would like to cite criteria number 7 that the use conforms with all applicable regulations governing the district where located because the building does not meet the proper setbacks for this. The public hearing was opened. No comments were received. The public hearing was closed. The **motion** carried unanimously.

B. Application #VAR 13-08-01

Variance to allow a non-residential structure setback 4' from the west property line.

Applicant: Gail W. Holt  
2805 South Ocean Shore Boulevard

Property Owner: The Type "E" Corporation, Inc.

This item was pulled from the agenda. The variance request had been withdrawn.

C. DISCUSSION AND RECOMMENDATION OF AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING SECTION 2.04.02.9, ZONING SCHEDULE TWO LOT, YARD AND BULK REGULATION, OF THE LAND DEVELOPMENT REGULATIONS TO ADD DIMENSIONAL REQUIREMENTS FOR SINGLE-FAMILY DWELLING UNITS IN THE TC, TOURIST COMMERCIAL ZONING DISTRICT; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE:

Mr. Deal read the item into the record. Mr. Lingenfelter reviewed the amendment to the table in the Land Development Regulations and indicated he was trying to codify what has been the practice of the City for many years. Attorney Smith felt there should be a set standard for setbacks, lot coverage for the zone because you never know when the use will change. He suggested higher standards but to remain consistent within the zoning. He suggested that language "in no event shall a structure be built that would exceed the requirements for tourist commercial." The discussion continued regarding how the City would define "other uses" within in this specific section. Attorney Smith suggested letting staff wordsmith the section. **Motion** by Cathy Feind, seconded by Roseanne Stocker, to table 6C. The **motion** carried unanimously.

D. DISCUSSION AND RECOMMENDATION OF AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING CHAPTER 7 BUILDINGS AND BUILDING REGULATIONS, ARTICLE III, "HOUSE NUMBERING," OF THE CITY OF FLAGLER BEACH CODE OF ORDINANCES TO REVISE THE DESIGNATED PERSON FOR ADDRESS ASSIGNMENTS AND TO REVISE DISPLAY, SIZE OF NUMBERS; AMENDING SECTION 5.00.01 OF THE LAND DEVELOPMENT REGULATIONS TO REVISE THE LIST OF CODES

ADOPTED BY REFERENCE AND TO REVISE THE WIND SPEED; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE: Mr. Deal read the item into the record. Mr. Lingenfelter explained that there are instances in the City where the structure is located on one street but a number and a mailbox might be on another. By including the suggested wording to the regulation, it would, in those instances, alleviate confusion. **Motion** by Roseanne Stocker, seconded by Lea Stokes, we recommend approval of the ordinance amending Chapter 7, Buildings and Building Regulations as described in 6D on this agenda. The public hearing was opened. No comments were received. The public hearing was closed. The **motion** carried unanimously.

7. PARB MEMBER COMMENTS: No comments were received.

8. ADJOURNMENT: **Motion** by Cathy Feind, seconded by Dan Bayerl, to adjourn at 6:35 p.m. The **motion** carried unanimously.



## City of Flagler Beach Item Summary

**SUBJECT:** Application OE-13-09-01 – 819 North Oceanshore Boulevard - Outdoor Entertainment Permit.

**BACKGROUND:** Applicant: Tyler Ecker, 819 North Oceanshore Boulevard, Flagler Beach, Florida 32136. Approval of the site plan for the new establishment was granted by the City Commission at the June 13, 2013 meeting. The subject property is zoned General Commercial. The applicant is seeking approval of an Annual Outdoor Entertainment Permit to allow amplified and non-amplified events consisting of music, spoken word and/or other forms of entertainment. Section 4-167, Review of Permit Application states, the city commission, after receiving recommendation from the planning and architectural review (PAR) board, shall approve, approve with conditions, or deny a permit for outdoor entertainment activity based on any of the following grounds:

- (1) The activity would present an adverse impact to the health, safety or welfare of the applicant, participants, public employees or members of the public and/or fails to protect the city's environment.
  - (2) The activity would unreasonably inconvenience the general public.
  - (3) The proposed activity is prohibited by or inconsistent with the Flagler Beach Code of Ordinances or the Flagler Beach Comprehensive Plan.
  - (4) The applicant cannot meet, or is unwilling to meet, all of the requirements of this article.
  - (5) The activity is proposed for a site that does not have adequate parking to accommodate the activity.
  - (6) The activity is proposed for a site that is inherently hazardous to the participants or the public.
  - (7) The event would have an adverse effect, and would unreasonably infringe upon, the rights of property owners within two hundred (200) feet of the property line of the subject property.
  - (8) The event would conflict with another proximate event or interfere with construction or maintenance work.
  - (9) The information furnished in the application is not materially complete and accurate.
  - (10) The applicant has violated a provision, restriction or condition of this article or an outdoor entertainment activity permit issued to the applicant within the past and has not presented competent substantial evidence that measures to prevent future violations will be implemented at the property.
  - (11) The requirements identified by the city staff to ensure public health, safety and welfare have not been met.
  - (12) The comments and/or recommendations of the planning and architectural review board have not been addressed.
  - (13) The proposed event or activity is prohibited by federal, state, or local regulations.
  - (14) Other issues in the public interest as identified by the city commission.
- (a) In making a determination to approve a permit the city commission may limit the type and number of temporary structures and the duration of the activity including the

hours and the number of days of the activity conducted to minimize any adverse impact caused by the activity.

- (b) Upon receipt of an application for outdoor entertainment activity, the city clerk's office shall review the application within five (5) working days of receiving it to determine if it is complete, fees have been paid and if the proposed activity qualifies as an outdoor entertainment activity. If so determined, the city clerk's office shall mail via regular mail a notice to all real property owners located within two hundred (200) feet from the property line of the subject property which notice shall include: the address of the subject property, the nature of outdoor entertainment activity sought, and the date, time and location of the PAR board meeting at which the application will be heard for recommendation. In deciding its recommendation on the application, the PAR board shall consider those same grounds listed above for consideration by the city commission. The recommendation will be brought to the city commission for final decision at its next available commission meeting.

**ATTACHMENTS:** Application, letter sent to applicant, letter sent to surrounding properties informing of request and hearing dates, site plan showing location of outdoor entertainment.

**SUBMITTED BY:** Penny Overstreet, City Clerk

RECEIVED  
AUG 09 2013

OFFICE USE ONLY:  
DATE REC'D 8-9-2013  
FEE REC'D \$ 150.00  
INITIALS: P.O.  
APPROVED   
DISAPPROVED   
SENT PARB   
PERMIT ISSUED \_\_\_\_\_

INSTRUCTIONS:  
Please print or type all information.  
The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (not applicable). Incomplete applications may delay your request. All statements made on the application are subject to verification.

**City of Flagler Beach**  
APPLICATION FOR  
OUTDOOR ENTERTAINMENT  
  
105 South 2nd Street,  
Post Office Box 70  
Flagler Beach, Florida 32136  
Phone (386) 517-2000 Fax (386) 517-2008

Please type or print legibly  
**Required Information**

Business Name: Break-Awayz @ The Beach  
Contact Person: Tyler Ecker  
Address: 819 N Ocean Shore Blvd  
City: Flagler Beach State: FL Zip: 32136  
Work Phone: 386-439-7700 Home Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_ Mobile Phone: 386-503-1380  
E-Mail Address: BreakAwayz@theBeach@GMail.com

What type of permit are you applying for? (check one)  
 Annual Permit (permit fee = \$150.00)  
 Per event that occurs fewer than 12 times a year (permit fee = \$75.00)  
(Please list dates and times for the events on the bottom of page 2)  
 One day event on Date \_\_\_\_\_ (permit fee = \$50.00)  
Start time \_\_\_\_\_ am/pm End time \_\_\_\_\_ am/pm  
Will you utilize temporary structures at your event?  No  Yes  
(If yes, attach a sketch of the site showing the location of these structure and see note below)  
(Indicate number of each)  
\_\_\_\_\_ Stages \_\_\_\_\_ Scaffolding \_\_\_\_\_ Fences \_\_\_\_\_ Other \_\_\_\_\_  
\_\_\_\_\_ Tents Do any of the tents exceed 200 square feet?  No  Yes

Note: Special Permits are required for tents exceeding 200 square feet. Special Building permits are required for temporary structures 700 or more square feet in area and those that are four feet above grade.

PLEASE ATTACH A SITE PLAN REGARDING THE SET UP OF THE OUTDOOR ENTERTAINMENT. PLEASE ATTACH A CURRENT COPY OF YOUR LIABILITY INSURANCE TO THIS APPLICATION.

By signing below I understand:

- This is an application only and does not obligate the City in any fashion to issuing a permit or approve an event.
- I have included my application fee and understand that my application will not be processed without the application fee.
- In no case shall the City's Noise Ordinance be violated.
- The City Manager may reasonably limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted.
- The event(s) may not be held until a permit is received.

Signature of Applicant Julie Eker Date 8-9-13

Title of Applicant OWNER

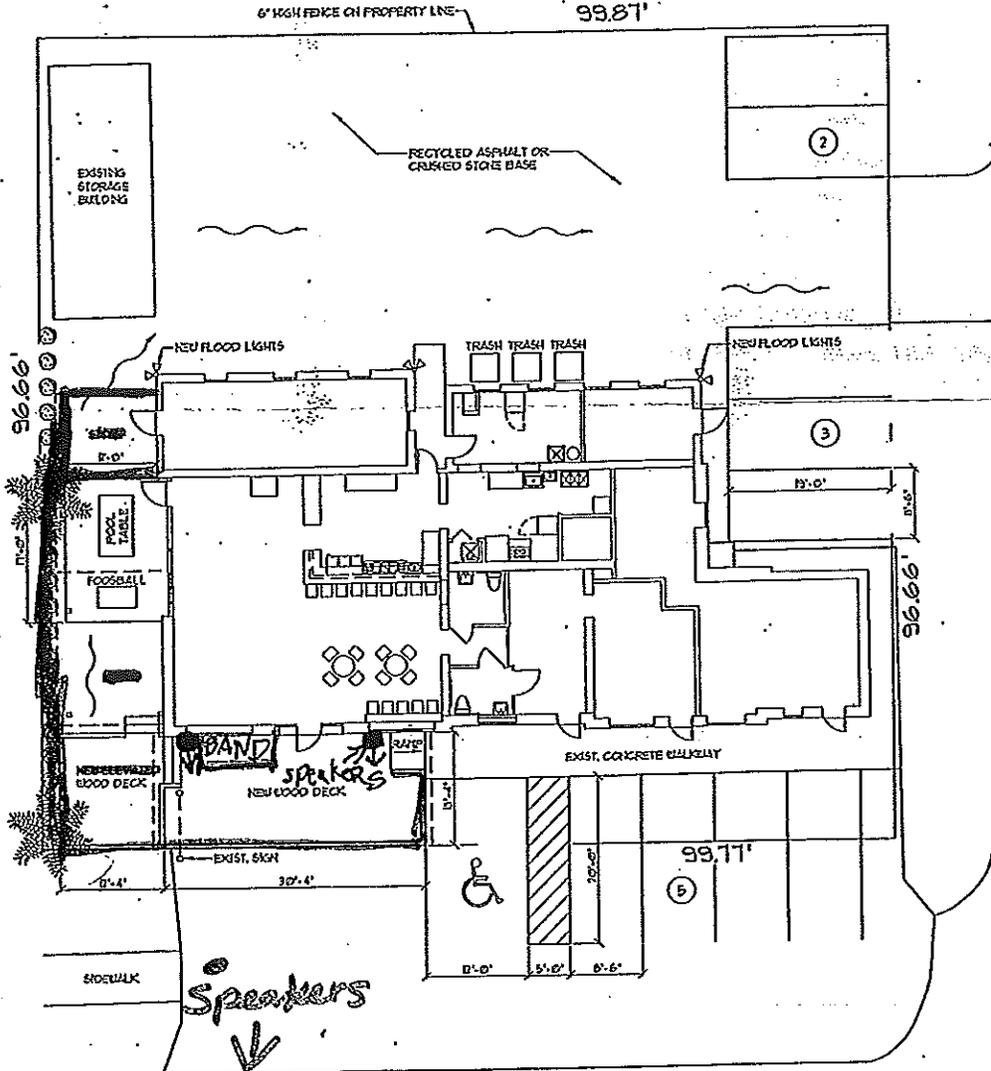
Affiliation \_\_\_\_\_

- |                |                        |                      |
|----------------|------------------------|----------------------|
| 1. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 2. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 3. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 4. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 5. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 6. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 7. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 8. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 9. Date _____  | Start time _____ am\pm | End time _____ am\pm |
| 10. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 11. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 12. Date _____ | Start time _____ am\pm | End time _____ am\pm |

Exhibit "A"

JPA

JOSEPH POZZI/DAU ARCHITECT  
 314 MOODY BOULEVARD  
 FLAGLER BEACH, FLORIDA 32136  
 T: (386) 439-5650 F: (386) 439-5651  
 ART 1317H ID 4843



NEW WOOD DECKS AND METAL ROOFS FOR:  
**BREAK-AWAYZ @ THE BEACH**  
 819 N. OCEANSHORE BLVD.  
 FLAGLER BEACH, FLORIDA 32136

**SITE PLAN**  
 SCALE: 1/4" = 10'-0"

**PARKING REQUIREMENTS**  
 EXISTING BLDG. 7,261 / 1,350 = 8 SPACES REQUIRED  
 2,561 - 256 = 2,305 / 3,501 = 6 SPACES PROVIDED  
 6 SPACES REQUIRED  
 SEATING 1161 / 601 = 2 SPACES REQUIRED  
 2 SPACES PROVIDED  
 OR  
 2,561 - 256 = 2,305 / 3,501 = 6 SPACES PROVIDED  
 77 SEATS / 3 = 25 SPACES REQUIRED  
 25 SPACES PROVIDED

**SITE DATA**  
 ZONED: GENERAL COMMERCIAL  
 MAX LOT COVERAGE: 50%  
 LOT SQ. FT.: 9643  
 MAX DEPTH: N/A  
 TOTAL BLDG. FOOTPRINTS: 3,271  
 BLDG. LOT COVERAGE: 34%  
 NEW WOOD DECKS & SLAB: 151  
 PROPOSED LOT COVERAGE: 4444  
 PROPOSED DECREASED AREA: 503%  
 DECREASED DECREASED AREA: 203%  
 SETBACKS: FRONT 0'-0"  
 SIDES 0'-0"  
 REAR 0'-0"

AS PER PAR BOARD RECOMMENDATION ON 6/10/13 AND  
 CITY COMMISSION APPROVAL ON 6/13/13.  
 DIRECTION OF DRAINAGE

**SITE PLANS**

REV #	DATE	ISSUE	REV #	DATE	ISSUE
	5.15.13	PAR BOARD			
	6.17.13	SIGNED & SEALED			

DATE: 4.5.2013  
 DRAWN: DJS



# City of Flagler Beach

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P.O. Box 70 • 105 South 2nd Street  
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

August 27, 2013

RE: Outdoor Entertainment Permit Application Review

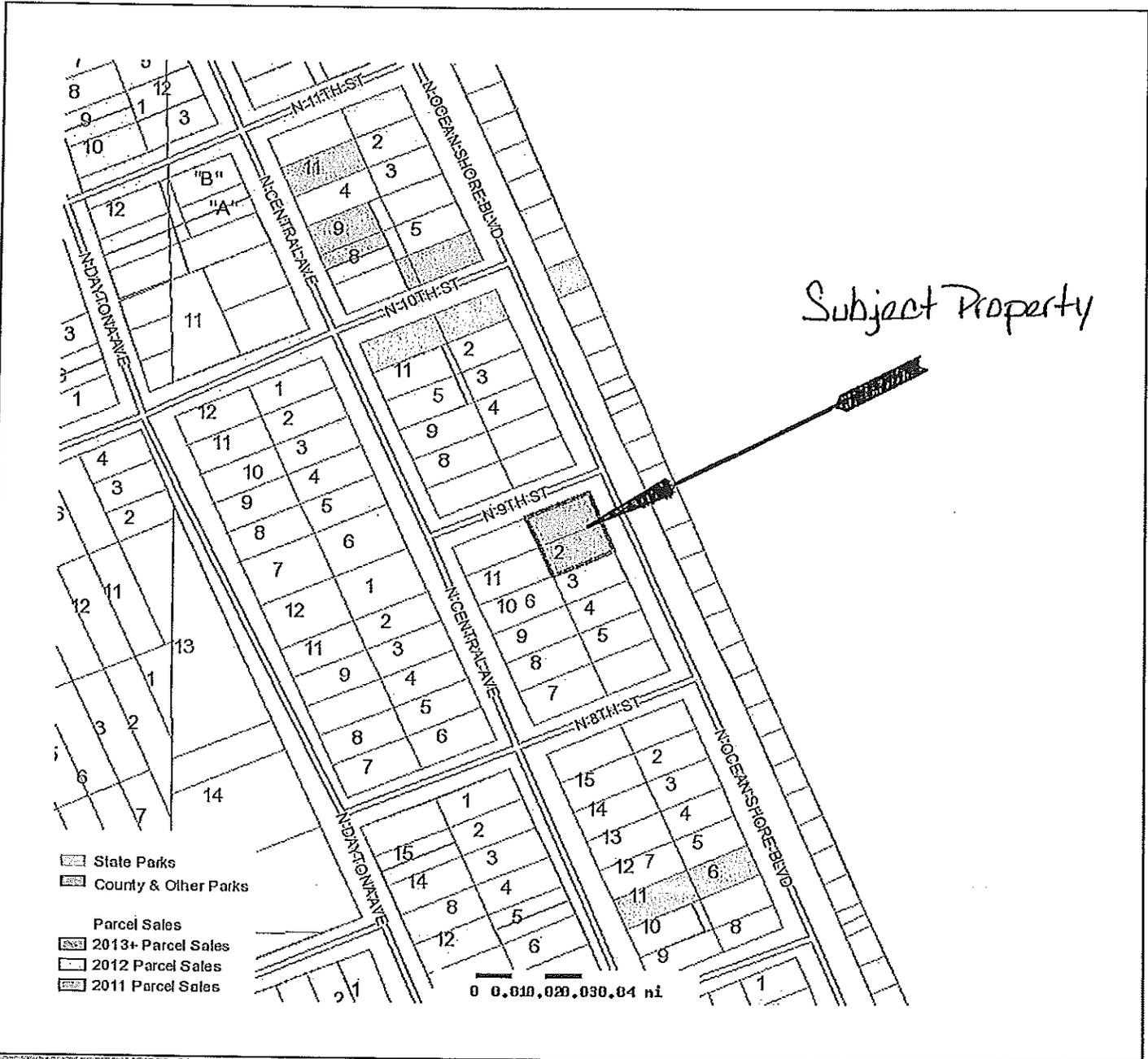
Dear Sir or Madam:

The purpose of this letter is to advise you, the City is in receipt of a request from "Break-Awayz @ The Beach" located at 819 North Oceanshore Blvd. requesting an Annual Outdoor Entertainment Permit. Per Ordinance 2010-02 the office of the City Clerk is required to notify property owners in a two-hundred foot radius of the subject property of the meeting dates and times the request will be reviewed by the Planning & Architectural Review Board and the date the City Commission will have final review. The request will be reviewed by the Planning & Architectural Review Board on September 3, 2013; meeting begins at 5:30 p.m. The request will be before the City Commission for consideration on September 12, 2013 meeting begins at 5:30 p.m. The intent of this notice is to provide to you the opportunity to appear at the meeting(s) to voice your opinion of the requested activity. Should you have questions, please contact the Planning & Zoning Office at 386-517-2000 ext. 232 or the City Clerk's Office at 386-517-2000 ext. 235 or 236.

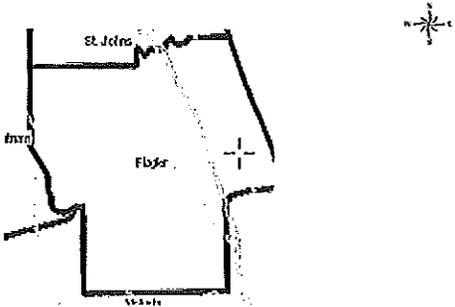
Sincerely,

Penny Overstreet  
City Clerk

CC: Bruce Campbell, City Manager  
Chad Lingenfelter, Planner  
Tyler Ecker, Applicant



Flagler County/Property/Appraiser			
Parcel: 01-12-31-1100-00060-0010 Acres: 0.23			
Name	D & N MANAGEMENT LLC	Land Value	201,900
Site	819 OCEANSHORE BLVD N	Building Value	60,171
Sales	\$555,000 on 04-2013 Vacant=N Qual=U	Misc Value	2,363
Value	3054 PAINTERS WALK	Int'l Value	264,434
	FLAGLER BEACH, FL 32136	Assessed Value	264,434
		Exempt Value	0
		Taxable Value	264,434



The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—  
 Date printed: 08/27/13 : 09:38:23

Flagler Beach, LLC  
8851 A1A South  
St. Augustine, Florida 32080

Ernst, Douglas  
920 Winged Foot Trail  
Fayetteville, Georgia 30215

Tucker, Janis  
1034 NE 11<sup>th</sup> Street  
Ocala, Florida 34470

Wichrowski, Lynne  
214-12 69 Avenue  
Bayside, New York 11364

Harris, Arron  
904 North Central Avenue  
Flagler Beach, Florida 32136

Kehoe, Michael & Marianne  
P.O. Box 591  
Flagler Beach, Florida 32136

Flagler Beach Properties, LLC  
17375 W Hwy 40  
Ocala, Florida 34481-8797

Mackoul, George & Carol  
Peter and Jonathan Schnack, Trustees  
2280 Shepard Street #606  
Jacksonville, Florida 32211

Kinney, Marjorie  
P.O. Box 2258  
Bunnell, Florida 32110

Stowell, Michael  
Life Estate  
800 North Central Avenue  
Flagler Beach, Florida 32136

Guercio, Carmen  
808 North Central Avenue  
Flagler Beach, Florida 32136

Wallace, Lehman & Judith  
812 North central Avenue  
Flagler Beach, Florida 32136

Tyler, John & Lyne  
818 North Central Avenue  
Flagler Beach, Florida 32136

Peake, John & Claire  
820 North Central Avenue  
Flagler Beach, Florida 32136

Bishop Paul Tanner  
Diocese of St. Augustine/Catholic Center  
11625 Old St. Augustine Road  
Jacksonville, Florida 32258

Kastury, Uma  
5 Catherine Court  
Boonton, New Jersey 07005



# City of Flagler Beach

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P.O. Box 70 • 105 South 2nd Street  
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

August 27, 2013

Mr. Tyler Ecker  
Break Awayz @ The Beach  
3054 Painters Walk  
Flagler Beach, Florida 32136

RE: Outdoor Entertainment application

Dear Tyler:

This letter is to advise, your request for an Outdoor Entertainment Permit will be heard by the Planning and Architectural review Board on September 3, 2013 at 5:30 p.m. The Planning Boards recommendation will be heard by the City Commission and the final decision will be made at their September 12, 2013 meeting which begins at 5:30 p.m. I have enclosed a copy of the letter that has been mailed to the businesses and residents within 200 feet of your location. Should you have concerns or questions please contact me at [povestreet@cityofflaglerbeach.com](mailto:povestreet@cityofflaglerbeach.com) or 386-517-2000 ext. 235. You may also contact the Planner, Chad Lingenfelter at [clingefelter@cityofflaglereach.com](mailto:clingefelter@cityofflaglereach.com) or 386-517-2000 ext. 230.

Sincerely,

Penny Overstreet  
City Clerk

cc: Chad Lingenfelter, Planner  
Planning & Architectural Review Board  
Elected Officials  
Bruce Campbell, City Manager

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**ORDINANCE 2013-11**

**AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING SECTION 2.06.06 OF THE LAND DEVELOPMENT REGULATIONS TO MODIFY THE LIST OF SITE PLAN REVIEW FINDINGS INTO MULTI-FAMILY AND MOTEL STRUCTURE STANDARDS; AMENDING SECTIONS 8.00.01, 8.00.11, AND 8.04.12 OF THE LAND DEVELOPMENT REGULATIONS TO EXCLUDE TWO-FAMILY DWELLING UNITS FROM ARCHITECTURAL APPROVALS; AMENDING SECTION 8.00.15 OF THE LAND DEVELOPMENT REGULATIONS TO MODIFY THE LIST OF REASONS FOR SITE PLAN DENIAL BY THE PLANNING AND ARCHITECTURAL REVIEW BOARD; ADDING SECTION 8.05.00 TO THE LAND DEVELOPMENT REGULATIONS TO PROVIDE THE STANDARDS AND CONDITIONS ESSENTIAL TO ENSURE THAT SITE PLAN APPLICATIONS CONTAIN SUFFICIENT INFORMATION FOR REVIEW AND APPROVAL; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE.**

WHEREAS, the City of Flagler Beach has initiated an administrative amendment to the *Flagler Beach Land Development Regulations* to revise the regulations regarding site plan review and approval; and

WHEREAS, the Planning and Architectural Review Board, at its meeting on July 2, 2013, by a vote of 7-0, recommended to the City Commission that the aforescribed amendment be approved; and

WHEREAS, the City Commission deems it is in the best interests of the citizens of the City of Flagler Beach to amend the *Land Development Regulations* as more particularly set forth hereinafter.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA, AS FOLLOWS:**

**SECTION ONE.** The findings set forth in the recitals above are hereby adopted as legislative findings of the City Commission pertaining to this Ordinance.

**SECTION TWO.** Article II, "Zoning," of the *City of Flagler Beach Land Development Regulations* is hereby amended as set forth below:

**ARTICLE II. ZONING**

\*\*\*

**~~Sec. 2.06.06. -Site Plan Review~~Multi-Family and Motel Structures.**

~~Application for all structures other than single family residences shall require the submission of a site development plan (twelve (12) copies) showing all structures, roadways, pathwalks, parking areas, recreation areas, utility and exterior lighting~~

44 ~~installations and landscaping on the site, all existing structures and usages within two~~  
45 ~~hundred (200) feet of the site boundaries and any other elements as may be deemed~~  
46 ~~essential by the planning and architectural review board. No certificate of occupancy~~  
47 ~~shall be issued for any such building or buildings, unless all facilities included in the site~~  
48 ~~plan have been provided in accordance therewith. Before approving the site plan, the~~  
49 ~~planning and architectural review board shall make findings with respect to the~~  
50 ~~following:~~

51 ~~1. Traffic access—All proposed site traffic access ways are adequate, but not~~  
52 ~~excessive in number, adequate in grade, width, alignment and visibility, and not~~  
53 ~~located too near street corners, entrances to schools or places of public assembly~~  
54 ~~and other similar considerations.~~

55 ~~2. Circulation and parking—That the interior circulation system is adequate and that~~  
56 ~~all required parking spaces are provided and are easily accessible.~~

57 ~~3. Disposal of usable open space—That in accordance with the spirit and intent of~~  
58 ~~this ordinance, wherever possible, usable open space is disposed of in such a way~~  
59 ~~as to insure the safety and welfare of residents or guests.~~

60 ~~4.1. Arrangement of buildings—That adequate provision has been made for light, air,~~  
61 ~~access and privacy in the arrangement of the buildings to each other. Each~~  
62 ~~dwelling unit shall have a minimum of one (1) exterior exposure. Laundry~~  
63 ~~facilities, including washing machines and clothes dryers, shall be available for~~  
64 ~~multifamily dwellings on the premises for use by all occupants of the premises, if~~  
65 ~~hookups for such facilities are not provided in each unit.~~

66 ~~5. Proper landscaping—That the proposed site is properly landscaped, the purpose~~  
67 ~~of which is to further enhance the natural qualities of the land. As provided~~  
68 ~~elsewhere in this section, proper screening and buffer zones may be required. The~~  
69 ~~location and type of plants or materials shall be shown on the development plan.~~  
70 ~~Furthermore, all landscaping shall comply with the criteria established in Section~~  
71 ~~5.04.00 Landscaping/Trees.~~

72 ~~6. Supplemental controls—In reviewing the proposed site plan for one (1) or more~~  
73 ~~multi-family or motel structures, the planning and architectural review board shall~~  
74 ~~be guided by the following:~~

75 ~~a2. Maximum length—The maximum length of any group of attached structures shall~~  
76 ~~not exceed one hundred fifty (150) feet. A building group may not be so arranged~~  
77 ~~as to be inaccessible by emergency vehicles.~~

78 ~~b3. Distance between buildings—The front or rear of any building shall be no closer~~  
79 ~~than thirty (30) feet to the front or rear of any other building. The side of any~~  
80 ~~building shall be no closer than ten (10) feet to the side, front or rear of any other~~  
81 ~~building.~~

82 ~~e4. Distance between buildings and driveways—No driveway or parking lot should~~  
83 ~~be closer than ten (10) feet to the front of any building or less than five (5) feet to~~  
84 ~~the side or rear of any building.~~

85 In the case of an enclosed garage or carport provided as a portion to the main  
86 structure, distance requirements for driveways providing access to these  
87 accommodations shall not apply.

88 ~~e~~5. Recreation space—There shall be provided on the site of a multi-family  
89 development an area or other areas, either enclosed or unenclosed, devoted to the  
90 joint recreational use of the residents thereof. Such recreation space shall consist  
91 of not less than two hundred (200) square feet of space per dwelling unit. Each  
92 such recreation space shall be developed with passive and active recreation  
93 facilities.

94 There shall be provided on the site of a hotel or motel development an area or  
95 areas devoted to the joint recreational use of the guests thereof.

96 ~~e~~6. Off-street parking spaces—There shall be provided on the site of such  
97 development an area or areas devoted to the storage of automobiles. The number  
98 and their provision shall be provided for as required by Section 2.06.02.1.

99 **SECTION THREE.** Article VIII, “Administration and Enforcement,” of the *City of*  
100 *Flagler Beach Land Development Regulations* is hereby amended as set forth below:

101 **ARTICLE VIII. ADMINISTRATION AND ENFORCEMENT**

102 Sec. 8.00.01 General sequence of steps.

103 All persons desiring to undertake any new construction, structural alteration or changes in  
104 use of a building or lot shall apply for proper zoning approvals and architectural  
105 approvals. If a building permit is required, application for the building permit shall be  
106 made to the building official. No building permit shall be issued by the building official  
107 until zoning and architectural standards have been approved.

108 All persons desiring to undertake any new construction or structural alteration, other than  
109 single- and two-family residences, shall also apply for proper architectural approvals.

110 Prior to the issuance of a business tax receipt, zoning approval shall be obtained for the  
111 use of any land or structure utilized for said occupation. Upon application for a business  
112 tax receipt, the city clerk shall forward the request to the building official for review and  
113 approval. No business tax receipt shall be issued until zoning and architectural standards  
114 have been approved. Once zoning and/or architectural design has been approved and any  
115 other permit or license issued, the applicant may proceed to undertake the action  
116 permitted and upon completion of such action shall apply to the building official for a  
117 certificate of occupancy allowing the premises to be occupied.

118 \*\*\*

119 Sec. 8.00.11. - Architectural approval.

120 Except as otherwise provided herein, no building or structure shall be erected and no  
121 existing building or structure shall be moved, altered or enlarged, other than single- and  
122 two-family residences, until architectural approval has been issued, in writing, by the  
123 planning and architectural review board and then sent to the city commission for final  
124 approval. Except upon a written order of the city commission, no such architectural  
125 approval or certificate of occupancy shall be issued for any building where said

126 construction, addition or alteration or use thereof would be in violation of any of the  
127 provisions of this ordinance. The city manager or designee may administratively approve  
128 sign permits not associated with a site plan that are consistent with all provisions of this  
129 Code.

130 \*\*\*

131 Sec. 8.00.15. - Denial of approval.

132 The planning and architectural review board shall have the right to disapprove any plans  
133 and specifications submitted because of any of the following:

134 ~~1. Failure to include information in such plans and specifications as may have been~~  
135 ~~requested;~~

136 \*\*\*

137 Sec. 8.04.12. Duties of the planning and architectural review board.

138 The Planning and Architectural Review Board of Flagler Beach shall undertake any task  
139 assigned to it by the city commission and the rules assigned to it within this ordinance  
140 which includes, but is not limited to, the following duties:

141 To establish, maintain and approve standards of architectural excellence for all  
142 residential dwellings of ~~two~~<sup>three</sup> (2~~3~~<sup>3</sup>) or more units, all commercial establishments,  
143 industrial buildings, and complexes, schools, churches, public buildings, amenities,  
144 parks, , and all elements related to the construction and aesthetics of Flagler Beach.

145 To review all requests for building permits (excluding single- ~~and two~~-family  
146 residences) and advocate for approval or deny such requests based upon aesthetic or  
147 other considerations such as quality of workmanship, nature of materials, harmony of  
148 external design with existing structures, change in topography, grade elevations  
149 and/or drainage, factors of public health, safety or welfare and the effect of such  
150 proposed change or work on the use, enjoyment, or value of any of the other  
151 neighboring properties.

152 To review any proposed changes initiated by itself, the building official, or the city  
153 commission in the textual provisions of this ordinance and report its  
154 recommendations to the city commission.

155 To review requests and applications for planned unit developments as stipulated  
156 within the provisions of this ordinance.

157 To advise the city commission on all matters related to land use planning and  
158 community development as directed by the city commission.

159 To review all requests for rezoning (amendments), hold required public hearings to  
160 receive citizen input and recommend approval or denial of such requests to the city  
161 commission. A public hearing constitutes published notice, both at city hall and in  
162 local newspapers, and the apprising of property owners within a radius of five  
163 hundred (500) feet of the property under consideration for rezoning by certified mail  
164 of the intent to rezone.

165 To review any request for a special exception under the provisions of this ordinance

166 and submit its recommendations to the city commission.  
167 To render advice upon appeal in specific cases advocating such variance from the  
168 terms of this ordinance as will not be contrary to the public interest, where, owing to  
169 special conditions, a literal enforcement of the provisions of this ordinance will result  
170 in unnecessary hardship.

171 \*\*\*

172 **Sec. 8.05.00. - Site Plan Approval.**

173 Section 8.05.01. In General.

174 The provisions of this article are in addition to those for the subdivision of land,  
175 where sale of individual lots is also proposed.

176 Section 8.05.02. Site Plan Classification and Approval Responsibility.

177 1. Site plan required. Prior to issuing a building, stormwater management, or  
178 tree and native vegetation removal permit, a site plan drawn to a scale no  
179 smaller than 1"=50' must be submitted to the planning and building  
180 department and approved by the reviewing entity as indicated below.

181 2. Site plan classification. There shall be two (2) categories of site plans to be  
182 reviewed: minor site plans and major site plans. The description of each  
183 classification of site plan and the entity responsible for reviewing and  
184 approving the site plan is contained below. The city manager or designee  
185 shall determine which site plan review and approval is required in case it is  
186 not evident which review and approval procedure is appropriate for a  
187 development.

188 A. Minor site plan. A minor site plan is required for the following  
189 development:

- 190 (1) Erection of sign(s);  
191 (2) Erection of fence(s);  
192 (3) Construction or renovation of single-family residences;  
193 (4) Construction or renovation of two-family residences;  
194 (5) Accessory structures to single- and two-family residences;  
195 (6) Driveways and sidewalks for single- and two-family residences;  
196 (7) Additions to single- and two-family residences;  
197 (8) Interior and exterior remodeling to existing non-residential or  
198 multi-family residential structures;  
199 (9) Additions or structures accessory to existing non-residential or  
200 multi-family residential structures provided said addition or  
201 accessory structure does not exceed ten percent of the existing  
202 first floor building area or 500 square feet, whichever is greater;  
203 and

- 204                   (10) Change in use.
- 205                   The planning and building department shall be the entity responsible  
206                   for reviewing and approving minor site plans
- 207                   B. Major site plan. A major site plan is required for the following  
208                   development:
- 209                   (1) Multi-family residential projects consisting of three (3) or more  
210                   units;
- 211                   (2) Two-family projects consisting of two (2) or more two-family  
212                   buildings – four (4) units;
- 213                   (3) New non-residential buildings or structures;
- 214                   (4) Additions to any existing multi-family residential project or  
215                   existing non-residential structure, which do not meet the criteria  
216                   for a minor site plan approval;
- 217                   (5) Accessory structures associated with any existing multi-family  
218                   residential project or existing non-residential structure, which  
219                   does not meet the criteria for a minor site plan approval;
- 220                   (6) Conversion of a transient lodging facility that converts to multi-  
221                   family residential or non-residential;
- 222                   (7) Parking lots containing 7 or less automobile parking spaces that  
223                   are not associated with a structure requiring a major site plan  
224                   approval;
- 225                   (8) Parking lots containing more than 7 automobile parking spaces;
- 226                   (9) Multi-family residential, commercial, and recreational patios and  
227                   decks; and
- 228                   (10) Conversion of a residential unit to a non-residential use not  
229                   associated with a structure requiring a major site plan approval.
- 230                   The planning and architectural review board shall be the entity  
231                   responsible for reviewing and making a recommendation to the city  
232                   commission regarding the approval of major site plans.

233                   Section 8.05.03. Approval Process.

234                   1. Minor site plan.

- 235                   A. The applicant shall submit to the planning and building department  
236                   two (2) sets of minor site plans. The following information shall be  
237                   included on a minor site plan:
- 238                   (1) Outside dimensions of proposed structures;
- 239                   (2) Dimensions of proposed structure(s) from property lines;
- 240                   (3) Description of proposed structure(s);
- 241                   (4) Height above finished grade of proposed structure(s);

- 242                   (5) Number of square feet of proposed structure(s) in the building  
243                   footprints;
- 244                   (6) Lot coverage of structure(s) in the building footprints;
- 245                   (7) Lot dimensions;
- 246                   (8) Indicate kitchen facilities;
- 247                   (9) Location(s) and dimension(s) of accessory equipment (e.g.,  
248                   outside central air conditioning units);
- 249                   (10) Number, location and dimension(s) of parking spaces (including  
250                   bumper stops);
- 251                   (11) Location of jurisdictional wetlands boundary line if on or within  
252                   25 feet of subject property;
- 253                   (12) Survey of property. An accurate survey shall be no more than  
254                   two (2) years old unless a structure was destroyed by an act of  
255                   nature;
- 256                   (13) Stormwater management plan; and
- 257                   (14) Topographic information.
- 258                   B. Application and fee. Application for a minor site plan review shall be  
259                   on the form provided by the city for such development and shall be  
260                   accompanied by the fee established by the city commission.
- 261                   2. Major site plan.
- 262                   A. Pre-application conference. Prior to filing for major site plan  
263                   approval, the developer or the developer's representative must meet  
264                   with the city manager or designee in order to discuss potential issues  
265                   regarding the proposed projects. Comments made at the pre-  
266                   application meeting are advisory and intended to provide guidance and  
267                   are non-binding on the formal review of the site plan.
- 268                   B. Application. Application for major site plan approval shall be made to  
269                   the planning and building department utilizing the form provided by  
270                   the department for that purpose, and accompanied by the appropriate  
271                   review fee as adopted by resolution of the city commission. Initial  
272                   application shall be accompanied by ten (10) copies of the proposed  
273                   site plan.
- 274                   (1) Review of application materials. Within two working days of  
275                   the receipt of an application, the department shall determine  
276                   whether the application is complete. Incomplete applications  
277                   shall be returned to the applicant with the deficiencies noted in  
278                   writing. Re-application shall be accompanied by a re-application  
279                   fee as adopted by resolution of the city commission.
- 280                   (2) Initiation of development review. When an application is  
281                   determined to be complete it shall be scheduled in accordance

282 with the adopted submittal deadline calendar for the  
283 corresponding planning and architectural review board meeting,  
284 and the applicant shall be so notified. All application packages  
285 must be submitted by 5:00 p.m. on the deadline date in order to  
286 be scheduled for the next available planning and architectural  
287 review board meeting.

288 C. Site plans and exhibits.

289 A site plan, for the purposes of this section, shall include, but not  
290 necessarily be limited to, the following requirements and any other  
291 elements as may be deemed essential by the planning and architectural  
292 review board. The site plan submittal shall include one (1) record set  
293 with original signatures, dates, and seals and submitted with nine (9)  
294 copies that clearly indicate the signatures, dates, and seals shown on  
295 the record set. One (1) of the nine (9) copies shall be an eleven-inch  
296 by seventeen-inch (11" x 17") size site plan including all the sheets of  
297 the site plan submittal, or an electronic/digital complete plan set may  
298 be submitted in portable document format (PDF). All supporting  
299 documents such as response comments, traffic studies and stormwater  
300 reports shall be submitted in PDF. All drawings on the record set shall  
301 be signed, dated, and sealed by a registered civil engineer, architect,  
302 landscape architect or other person as required under this Code or by  
303 state general law. The required narrative text demonstrating  
304 compliance with Code requirements may be provided on the illustrated  
305 sheets in tabular or text format as appropriate or may be submitted as a  
306 supportive narrative.

307 (1) Modifications in required submittals. The city manager or  
308 designee may waive or modify requirements, information and  
309 specific performance criteria for site plan review after rendering  
310 a finding in writing that such requirements:

311 i. Are not necessary prior to site plan approval in order to  
312 protect the public interest or adjacent properties;

313 ii. Bear no relationship to the proposed project or its impacts;  
314 and

315 iii. Are found to be impractical based on the characteristics of  
316 the use, including the proposed scale, density/intensity and  
317 anticipated impacts on the environment, public facilities  
318 and adjacent land uses.

319 The city commission and the planning and architectural review  
320 board may require any submittal that has been waived or reverse  
321 any requirement modification by the city manager or designee.

322 (2) Forms and documents. The following city forms shall be  
323 completed by the applicant and submitted as part of the site plan:

324 i. Site plan application, including form and payment.

- 325                    ii. Special exception / variance / planned unit development  
326                    application; including form and payment, if applicable.
- 327                    iii. Proof of ownership (warranty deed, tax bill, property  
328                    assessor printout or contract purchase agreement).
- 329                    iv. Statement of intent; provide a paragraph statement  
330                    describing in detail the nature and intended use of the  
331                    development.
- 332                    v. Drainage calculation form; all documents provided to the  
333                    St. Johns River Water Management District shall be  
334                    provided concurrently to the city.
- 335                    vi. Tree mitigation form.
- 336                    (3) General site plan information.
- 337                    i. The plan size must be twenty-four inches by thirty-six  
338                    inches (24" x 36"), except for final plats, which shall be at a  
339                    size as required by the county.
- 340                    ii. The project name must be shown on each sheet and must be  
341                    consistent with the application. Name changes shall  
342                    indicate the current name followed by "formerly known as  
343                    (previous name)."
- 344                    iii. The north arrow must appear on every sheet showing a  
345                    portion of the site.
- 346                    iv. The scale must not be smaller than one inch equals 50 feet  
347                    (1" = 50'), including graphic scale.
- 348                    v. The sheet number must show the particular number of that  
349                    sheet and the total number of sheets included, as well as,  
350                    clearly labeled match lines to show where other sheets  
351                    match or adjoin.
- 352                    vi. The date of the plans along with any subsequent revisions  
353                    must be denoted.
- 354                    vii. The professional seal must be indicated on all sheets. All  
355                    drawings, specifications, plans, reports or documents  
356                    prepared or issued shall be signed, dated and stamped with  
357                    the seal.
- 358                    (4) Engineered drawings, prepared by an architect or engineer  
359                    registered in the State of Florida and based on an exact survey of  
360                    the property showing the following:
- 361                    i. Cover sheet:
- 362                            a. Project title;
- 363                            b. Project location map;

- 364 c. Index showing the title of each sheet and page  
365 number in consecutive order;
- 366 d. Name(s) of property owner(s), project planner,  
367 engineer, landscape architect and architect;
- 368 e. Number of residential or transient lodging units and  
369 density per acre, if applicable;
- 370 f. Overall building square footage, number of seats  
371 proposed, and maximum number of occupants  
372 permitted by the fire marshal, if applicable;
- 373 g. Parking calculation showing the number of off-street  
374 parking and loading spaces required and provided,  
375 including handicapped parking;
- 376 ii. Overall site plan sheet:
- 377 a. Property dimensions, legal description, total gross  
378 acreage, and zoning district of subject property and  
379 adjacent property;
- 380 b. If project is phased, dimensions and general location  
381 of each phase;
- 382 c. Location and dimensions of buildings, fences, docks,  
383 and other structures and improvements on this  
384 proposed site and on adjacent property within 50 feet  
385 perpendicular to property lines;
- 386 d. Common open space areas and improvements, if  
387 applicable;
- 388 e. Location of screened garbage collection area(s) and  
389 detail of proposed enclosure;
- 390 f. Location and dimensions of easements, identified by  
391 type (utility, drainage, etc.) or a note that no  
392 easements exist;
- 393 g. Location of jurisdictional wetlands boundary line if  
394 on or within 25 feet of the subject property, and the  
395 location of the 25-foot-wide upland buffer.
- 396 iii. Paving, drainage and grading plans:
- 397 a. Existing and proposed topography at one foot contour  
398 intervals;
- 399 b. Dimensions of streets, driveways, sidewalks,  
400 entranceways, and off-street parking areas shall be  
401 provided in compliance with the requirements of  
402 Section 2.06.02.1 of this Code;
- 403 c. Each off-street parking space shall be consecutively

- 404 numbered;
- 405 d. Location and dimension of the bumper stop or curb
- 406 stop;
- 407 e. Crown elevation of nearest adjacent street(s);
- 408 f. Finished floor elevation of proposed buildings;
- 409 g. Erosion control plan.
- 410 iv. Utility plan.
- 411 v. Tree survey showing the location of all trees six inches in
- 412 diameter or greater at four feet above ground level.
- 413 vi. Landscaping plan:
- 414 a. Tree removal and mitigation table providing the
- 415 following information:
- 416 1. Type, size and cross-sectional diameter of each
- 417 protected tree that will be removed;
- 418 2. Total cross-sectional diameter of all trees being
- 419 removed;
- 420 3. Calculation showing total square inches
- 421 required to be replaced; and
- 422 4. List of replacement tree types and sizes.
- 423 b. Perimeter screening table providing the following
- 424 information:
- 425 1. Length, width and total area of the required
- 426 perimeter screening along each property line;
- 427 2. Calculation showing the number and square
- 428 footage of trees and shrubs required; and
- 429 3. Calculation showing the number and square
- 430 footage of trees and shrubs provided.
- 431 c. Interior landscaping and planter island table providing
- 432 the following information:
- 433 1. Total paved area in parking spaces and drive
- 434 aisles shall be provided in compliance with the
- 435 requirements of Section 2.06.02.1 of this Code;
- 436 2. Calculation showing the total square footage
- 437 required for interior landscaping and planter
- 438 islands; and
- 439 3. Calculation showing the total square footage
- 440 provided for interior landscaping and planter
- 441 islands.

- 442                                    vii. Photometric plan:
- 443                                    a. Location of parking area and other outside lighting;
- 444                                    b. Detail of the lighting system showing style height,
- 445                                    candlus curve, and profile of the shielded non-glare
- 446                                    fixture;
- 447                                    c. Note indicating lighting to be shielded non-glare
- 448                                    fixture.
- 449                                    viii. Architectural sheets:
- 450                                    a. Elevation drawings displaying all sides of the
- 451                                    proposed structure(s), and specifying the construction
- 452                                    materials used, color, and height of structure from
- 453                                    grade to the highest portion of the structure;
- 454                                    b. Entrances and exits of structures.
- 455                                    ix. Copy of state or county driveway permits, if applicable.
- 456                                    x. Copies of agreements between the owner of a hazardous
- 457                                    waste generating business and a licensed hazardous waste
- 458                                    transportation company and hazardous waste disposal
- 459                                    company.
- 460                                    D. Planning and architectural review board action. The planning and
- 461                                    architectural review board shall consider the site plan at a regularly
- 462                                    scheduled meeting and determine if it meets the requirements of this
- 463                                    Code. The applicant or his/her authorized agent shall be present at the
- 464                                    consideration by the planning and architectural review board. Upon
- 465                                    consideration of the comments of the city manager or designee(s) and
- 466                                    the public, the board shall take one of the following actions:
- 467                                    (1) Table the consideration of the project to the next regularly
- 468                                    scheduled meeting to allow for the resolution of outstanding
- 469                                    issues;
- 470                                    (2) Disapprove the proposed site plan;
- 471                                    (3) Approve the proposed site plan; or
- 472                                    (4) Approve the proposed site plan with conditions.
- 473                                    E. Appeals. Final planning and architectural review board action may be
- 474                                    appealed to the city commission. Request for appeal must be filed
- 475                                    with the planning and building department within 30 days of planning
- 476                                    and architectural review board action.
- 477                                    F. Failure to provide timely plan resubmissions. Failure to meet any of
- 478                                    the resubmission deadlines cited above shall require the applicant to
- 479                                    file a new application, including the appropriate review fees.
- 480                                    G. Extension of resubmittal deadlines. The city manager or designee may
- 481                                    extend the resubmission deadlines cited above, when warranted by

482 unforeseeable events. A request for extension must be filed in writing  
483 with the planning and building department explaining the  
484 circumstances justifying the extension and include a resubmittal  
485 extension fee as adopted by resolution of the city commission.

486 H. Expiration. Major site plan approval shall expire two (2) years after  
487 the city commission approves the site plan.

488 I. A site plan shall not expire so long as a building permit remains active  
489 without interruption. However, if the owner abandons the site for a  
490 period of six (6) months, or the owner fails to perform any meaningful  
491 or significant work on the site for a period of six (6) months, or if the  
492 owner fails to achieve substantial performance of the work described  
493 in the building permit within two (2) years of the date of issuance, the  
494 site plan approval shall expire. Meaningful or significant work shall  
495 mean work performed in a workman like manner that is carried out in  
496 a manner that the obvious purpose and intent of the work is to  
497 complete the site within the customary period of time for the  
498 construction industry.

499 J. If a proposed site plan is to be constructed in phases, the applicant  
500 shall include a phasing schedule with the application. If construction  
501 on the initial phase begins within two years from the date of approval,  
502 the site plan shall remain valid for the term of the approved phasing  
503 schedule.

504 K. Amendments to an approved site plan. No changes may be made to an  
505 approved site plan except under the procedures provided below.

506 (1) Minor changes in the location, siting and height of the structures,  
507 utilities, or any other portion of the site plan, may be authorized  
508 with the approval of the city manager or designee and upon  
509 completion of the site plan change order procedure.

510 (2) All other changes in the use, any rearrangement of parking areas,  
511 buildings, lots, landscaping, any changes in the provisions of  
512 common open space and all other amendments to the approved  
513 site plan must be made by the entity that originally approved the  
514 site plan.

515 L. Enforcement. Following the issuance of a building permit, the chief  
516 building official and city engineer shall be informed at each stage of  
517 construction and shall inspect the project site to determine if there are  
518 any variations between the approved site plan and actual construction.  
519 Any variations shall be brought immediately to the attention of the  
520 project supervisor, and if the variation is significantly different from  
521 the site plan, the chief building official or city engineer shall  
522 immediately stop construction and direct the developer to submit new  
523 plans indicating the variations to the appropriate review body  
524 designated for minor or major site plans and shall be approved by said

525 body prior to resuming construction.

526 Section 8.05.04. Improvements Required.

527 1. All final site development plans for new construction, increases in the size  
528 of a structure, or changing the use of structure, shall include all  
529 improvements required by this Code and as outlined in this article.

530 2. Completion of improvements prior to issuance of certificate of occupancy.  
531 A certificate of occupancy shall not be issued by the planning and building  
532 department until required improvements have been inspected and accepted  
533 by the responsible department or entity.

534 3. Adopted standard construction details. All construction shall comply with  
535 standard construction details for utilities as adopted by the City of Flagler  
536 Beach.

537 4. Improvement or expansion of existing development. No change to a site  
538 shall allow any existing site improvements to be reduced in size or number  
539 unless it meets the minimum requirements of this Code.

540 5. Upgrade of site improvements for existing development. Unless otherwise  
541 noted herein the following activities shall require the upgrade of existing site  
542 improvements to satisfy current code requirements. Such upgrade shall  
543 include but not be limited to the provision of paved, curbed, and expanded  
544 parking facilities, stormwater retention, landscaping and buffers, irrigation,  
545 signage and architectural design as prescribed by this Code. The city  
546 commission, upon recommendation by the planning and Architectural  
547 review board, may waive some or all of these required improvements based  
548 upon the extent of the proposed activity and the condition of the existing site  
549 development.

550 A. Change of use as described by the Florida Building Code, the Standard  
551 Industrial Classification Manual, or when determined to be of  
552 significance by the administrative official.

553 B. Re-use of any site development which has been abandoned as  
554 described by this Code.

555 C. Improvement to the property which requires major site plan approval.

556 D. As a condition for granting approval of a special exception or variance  
557 for existing site developments when appropriate.

558 6. Modification of approved final site development plans/existing site  
559 developments to mitigate impacts of eminent domain actions.

560 A. The owners of any property that has been the subject of an eminent  
561 domain action shall submit site development plans designed to  
562 mitigate the impacts of such eminent domain actions on the right-of-  
563 way buffer yards and parking/vehicular use areas within such property.

564 B. Mitigation requirements shall be as follows:

- 565                   (1) Irrigation systems shall be provided as required by Section  
566                   5.04.00 of this Code.
- 567                   (2) New parking/vehicular use areas, including revised or new  
568                   parking spaces, shall be provided in compliance with the  
569                   requirements of Section 5.04.00 of this Code.
- 570                   (3) Right-of-way buffer landscaping and landscaping for vehicular  
571                   use/parking areas shall be provided as required by Section  
572                   5.04.00 of this Code.

573           Section 8.05.05. Minimum Site Improvements.

- 574           1. All site development plans shall reflect the installation of all improvements  
575           required in this Code, in a manner consistent with standards of this Code.  
576           Improvements include stormwater management systems, utilities, parking,  
577           and loading areas, lighting, sidewalks, and landscaping and buffering, and  
578           any other facility required by this Code.
- 579           2. Easements and miscellaneous dedications. The following minimum number  
580           and size of easements and dedications shall be reflected on the site plan  
581           drawing. Larger easements may be specifically required based on the size,  
582           depth, or special maintenance requirements of a facility. All easements or  
583           dedications shall be graphically depicted unless otherwise noted.
- 584           A. Drainage facilities. A drainage easement shall be granted to the city  
585           where a proposed subdivision is traversed by any existing or proposed  
586           watercourse, canal, ditch, storm sewer, or other drainage way.  
587           Minimum size shall be as follows:
- 588                   (1) Lake or retention areas shall be covered by an easement  
589                   extending to ten feet beyond the top of bank.
- 590                   (2) Canals, watercourses, drainage ways, channels or streams shall  
591                   be covered by an easement extending to 20 feet beyond the top  
592                   of bank on one side and 20 feet beyond the top of bank on the  
593                   other side, if needed.
- 594                   (3) Swales, or any other facility up to two and one-half feet deep and  
595                   with side slopes no greater than 3:1 shall be covered by an  
596                   easement extending to the top of bank.
- 597                   (4) Storm sewer lines shall be covered by an easement of no less  
598                   than 20 feet, centered on the centerline of the pipe.
- 599                   (5) The city may require the dedication of a drainage right-of-way  
600                   over major facilities providing area wide drainage.
- 601           B. Utilities. A utility easement shall be granted to the City of Flagler  
602           Beach wherever a proposed utility line or other facility is planned or  
603           located on or adjacent to any property not otherwise dedicated to or  
604           owned by the city. The size and location of such easements shall be  
605           determined by the city.

606                   C. Conservation easements. Conservation easements over all required  
607                   tree preservation areas shall be granted to the city or other appropriate  
608                   governmental agency.

609                   Section 8.05.06. Issuance of Site Construction Permits.

610                   1. Once a site plan development order has been issued, the developer may  
611                   request the issuance of site construction permits.

612                   2. Pre-construction meeting. A pre-construction meeting is required prior to  
613                   the commencement of any construction activity, including clearing. Failure  
614                   to begin construction within 45 days after the pre-construction meeting will  
615                   require an additional pre-construction meeting.

616                   3. Attendance. The planning and building department shall schedule a pre-  
617                   construction meeting to be attended by the following individuals or their  
618                   representatives:

619                   A. Developer, developer's engineer(s), and developer's landscape  
620                   architect(s), as appropriate;

621                   B. All contractors for the construction of the project improvements;

622                   C. All franchised utility companies; and

623                   D. City inspectors.

624                   4. Agenda. The meeting shall include discussion of the construction schedule,  
625                   construction permit conditions imposed by the city and other agencies,  
626                   procedures for inspection and testing, coordination with the utilities  
627                   department and private utility companies, maintenance of existing drainage  
628                   ways, traffic maintenance, dewatering, access for construction stockpiling  
629                   areas, the general construction requirements for site development and other  
630                   details deemed necessary to assure safe construction in compliance with this  
631                   Code and with minimum disturbance to surrounding areas.

632                   5. Pre-construction submittals required before scheduling. The following  
633                   exhibits or documents shall be submitted to the department one week prior  
634                   to scheduling the pre-construction meeting for the issuance of development  
635                   permits.

636                   A. Development order.

637                   B. Copies of all contracts for the construction of the improvements.

638                   C. Copies of certificates of insurance for all contractors providing  
639                   workman's compensation as required by law and comprehensive  
640                   liability insurance covering bodily injury, death and property damage,  
641                   with limits of not less than \$100,000.00 per person and \$300,000.00  
642                   per occurrence, with the city listed as an additional insured and held  
643                   harmless, as approved by the city attorney.

644                   D. Copies of all applicable federal, state, regional, and county agency  
645                   permits for construction.

646           6. Issuance of notice to proceed. Upon receipt of all required documents and  
647           completion of the pre-construction meeting, the city manager or designee  
648           shall issue a notice to proceed. The notice to proceed is contingent upon  
649           compliance with the development order. In addition, the city manager or  
650           designee may attach substantive and procedural contingencies on  
651           construction based on the requirements specified at the pre-construction  
652           meeting.

653    Section 8.05.07.   Inspections and Acceptance.

654           1. Inspections. The city shall inspect construction for conformance with the  
655           terms of the development permit. The city shall have the authority to reject  
656           materials or suspend work when construction is not in conformity with the  
657           terms of the development permit. The developer shall notify the city of the  
658           commencement of major phases of construction as discussed in the pre-  
659           construction meeting.

660           2. Testing. The developer shall provide laboratory tests to verify specifications  
661           of materials as required by this Code. The city reserves the right to require  
662           additional testing based on unusual circumstances encountered in the field.

663           3. Request for final inspection. Final inspection of site improvements shall be  
664           scheduled no more than five working days after receipt of the following  
665           documents, unless a later date is requested by the developer:

666                   A. Certification of completion by the engineer of record and/or landscape  
667                   architect, as appropriate. Upon completion of the site improvements,  
668                   the developer's engineer and/or landscape architect, as appropriate,  
669                   shall submit a signed and sealed certificate stating that the work was  
670                   constructed under his supervision and has been completed in  
671                   substantial conformance with the approved development plans in  
672                   compliance with the requirements of this Code.

673                   B. As-built drawings. One (1) mylar copy and one (1) electronic copy of  
674                   as-built drawings. The mylar copy shall be signed and sealed by the  
675                   architect or engineer of record, landscape architect as appropriate, and  
676                   surveyor.

677                   C. Testing reports. Copies of all testing reports shall be submitted.

678           4. Final inspection report. A final inspection report will be issued by the city  
679           noting any discrepancies for the development permit, corrective actions  
680           required, and any site re-inspection fee required. In addition, the report shall  
681           review final documentation required for acceptance of the site  
682           improvements once any necessary corrections are made.

683           5. Re-inspection. Re-inspection may be requested at any time, subject to  
684           remittance of a site re-inspection fee when required. Re-inspection will be  
685           scheduled within three working days, and an inspection report issued if  
686           necessary.

687           6. Acceptance of site improvements. Upon completion of any corrective

688 actions required upon inspection, site improvements shall be accepted by the  
689 city upon receipt of the following:

690 A. All required certifications of completion under federal, state, regional,  
691 and county agency permits.

692 B. Recording of any addition on or off-site easements required by the  
693 development permit or this Code.

694 Section 8.05.08. Variances.

695 1. Jurisdiction. Variances to design or technical requirements of this Code  
696 may be granted by the planning and architectural review board. Appeals  
697 from the decision of the planning and architectural review board shall be  
698 heard by the city commission.

699 2. Procedure. Application to vary from required improvements or design  
700 criteria shall be as outlined in Section 8.04.16 of this Code.

701 3. Administrative variances to standard construction details. Variances to the  
702 standard construction details, paving and drainage, and the standard utility  
703 details may be granted by the city manager or designee for review of that  
704 requirement. Administrative variances shall be limited to alternative  
705 materials, technologies, or other means which are equivalent to the  
706 materials, technologies, or other means outlined in the standard details.

707 Secs. 8.05.009—8.05.13. - Reserved.

708 \*\*\*

709 **SECTION FOUR. Codification.** It is the intent of the City Commission of the City of  
710 Flagler Beach that the provisions of this Ordinance shall be codified. The codifier is  
711 granted broad and liberal authority in codifying the provisions of this Ordinance.

712 **SECTION SIX. Conflicts.** In any case where a provision of this Ordinance is found to  
713 be in conflict with provisions of any other ordinance of this City, the conflicting  
714 provisions of the previous ordinance shall be repealed and superseded by this Ordinance.

715 **SECTION SEVEN. Effective date.** This Ordinance shall take effect immediately upon  
716 adoption as provided by the Charter of the City of Flagler Beach.

717  
718 PASSED ON FIRST READING THIS 11<sup>TH</sup> DAY OF JULY, 2013.

719  
720 PASSED AND ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2013.

721

722

723

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729

CITY OF FLAGLER BEACH, FLORIDA  
CITY COMMISSION

\_\_\_\_\_  
Linda Provencher, Mayor

ATTEST:

730

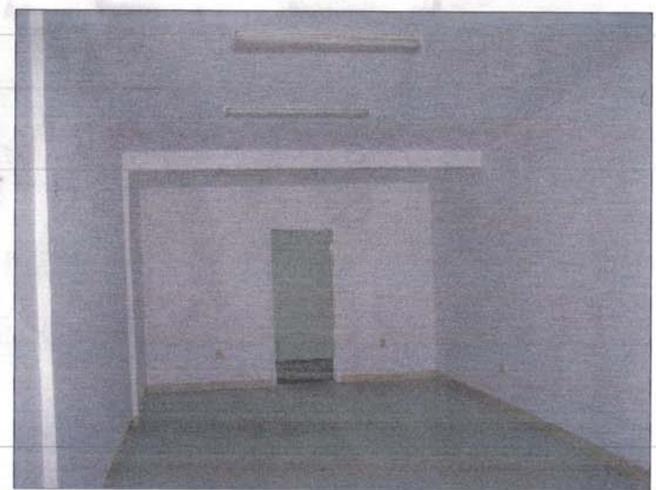
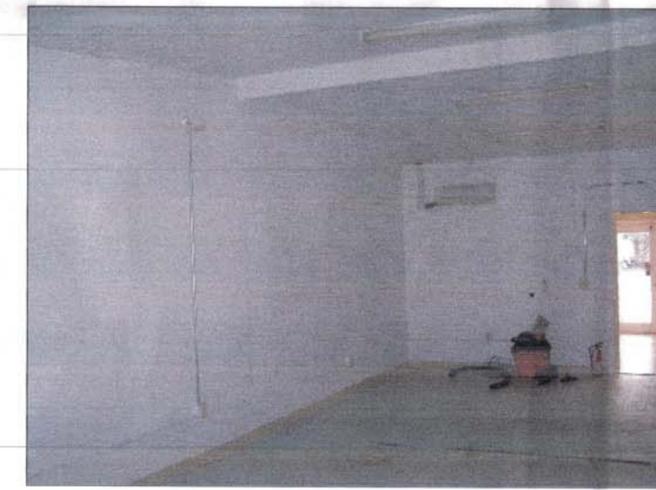
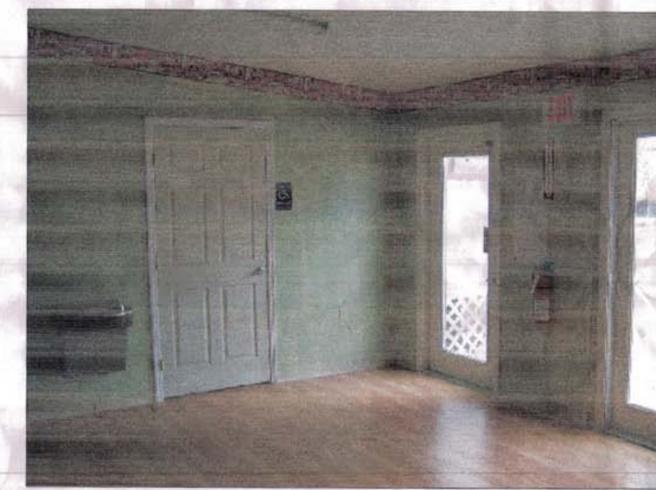
731 Penny Overstreet, City Clerk

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REVISION	BY



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**EXISTING STRUCTURE**  
**TED & MARGE BARNHILL**  
**912 SOUTH THIRD STREET**  
**FLAGLER BEACH, FLORIDA**

**SEAL**  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010 EDITION

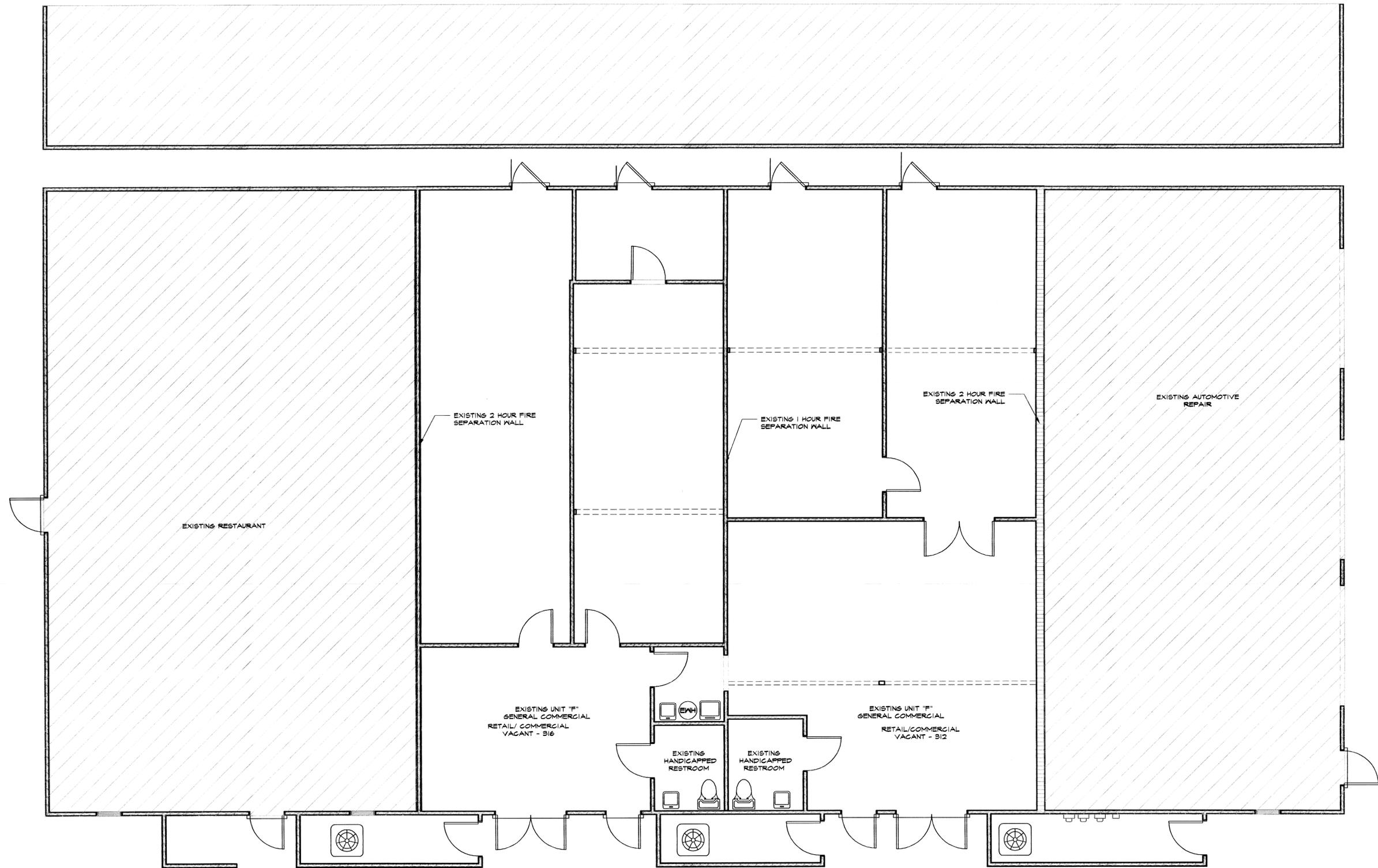
*Stanley P. Hoelle*  
 STANLEY P. HOELLE  
 ARCHITECT, 4400020005  
 4101 SPRING WAY  
 ORLANDO BEACH FL 32714

DATE RECEIVED: **SEP 27 2012**  
 CITY OF FLAGLER BEACH, FLORIDA  
 REVIEWED FOR CODE COMPLIANCE  
 105.4 CONDITIONS OF THE PERMIT

105.4.1 PERMIT INTENT: A PERMIT ISSUED SHALL BE CONSIDERED TO BE A LICENSE TO PROCEED WITH THE WORK AND NOT AS AN AUTHORITY TO VIOLATE, CANCEL, ALTER OR SET ASIDE ANY OF THE PROVISIONS OF THE TECHNICAL CODES, NOR SHALL ISSUANCE OF A PERMIT PREVENT THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING A CORRECTION OF ERRORS IN PLANS OR CONSTRUCTION OR VIOLATIONS OF THIS CODE. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 6 MONTHS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AFTER THE TIME THE WORK IS COMMENCED.

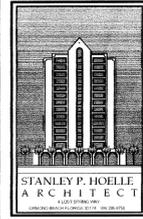
*Stanley P. Hoelle* 10-3-12  
 BUILDING OFFICIAL DATE  
 FIRE MARSHAL DATE

DATE: 09/24/12  
 DRAWN BY: DHEATH  
 JOB NUMBER: 090812-18  
**IPIC**  
 OF - SHEETS



EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REVISION	BY



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**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

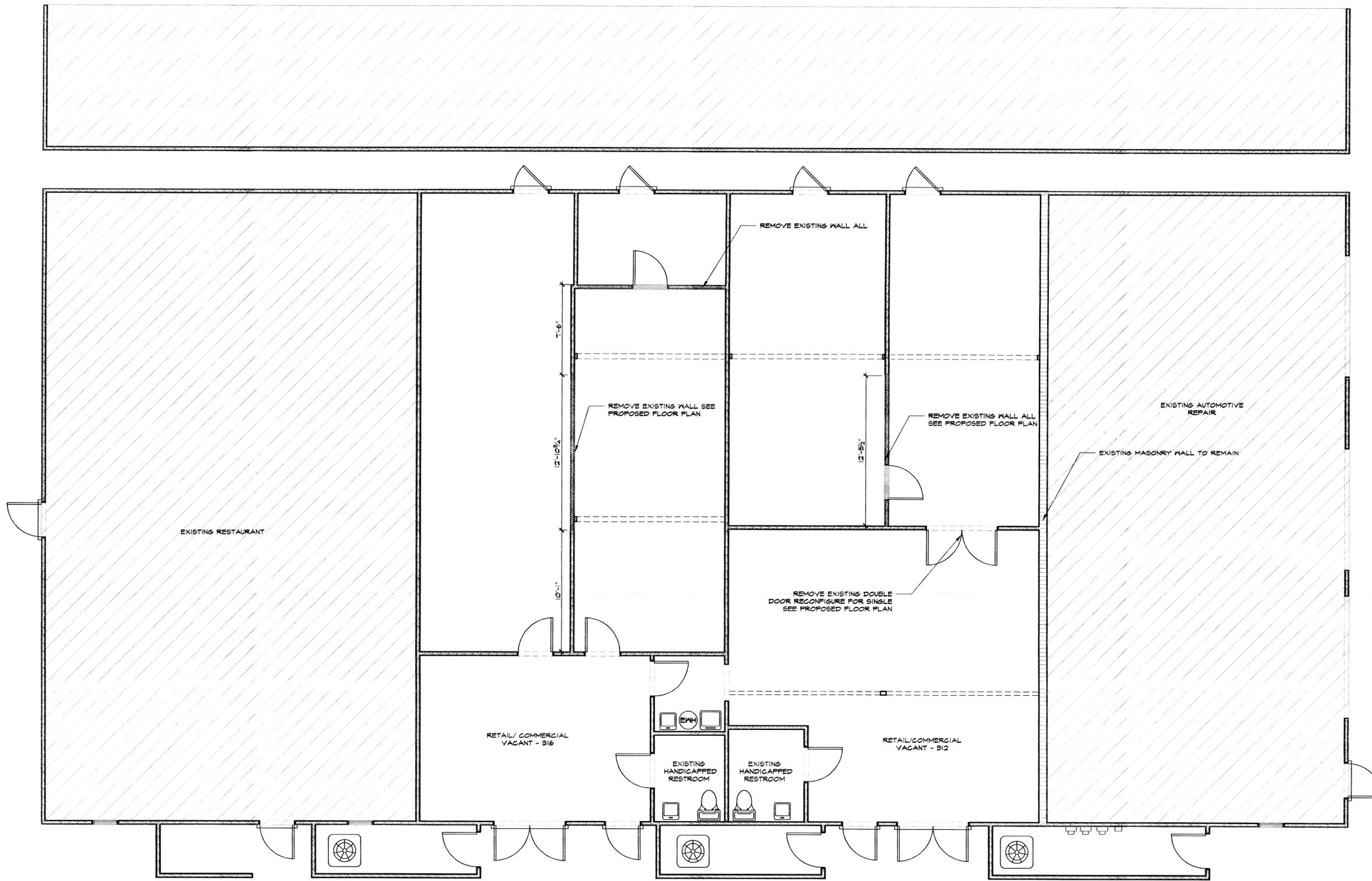
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*Stanley P. Hoelle*  
STANLEY P. HOELLE  
ARCHITECT, PAR00000033  
4 LOT SPRING WAY  
ORLAND BEACH FL 32174

DATE: 09/24/12

DRAWN BY: DHEATH

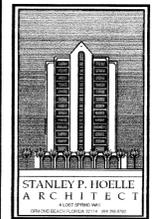
JOB NUMBER: 090812-18



**DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

REVISION	BY



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**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

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STANLEY P. HOELLE  
ARCHITECT, MAR0202033  
4 LOST SPRING WAY  
ORLANDO BEACH FL 32174

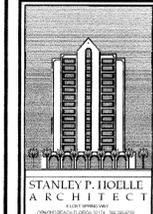
DATE:  
09/24/12

DRAWN BY:  
DHEATH

JOB NUMBER:  
090812-18

**A1.1**  
OF - SHEETS

REVISION	BY



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 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

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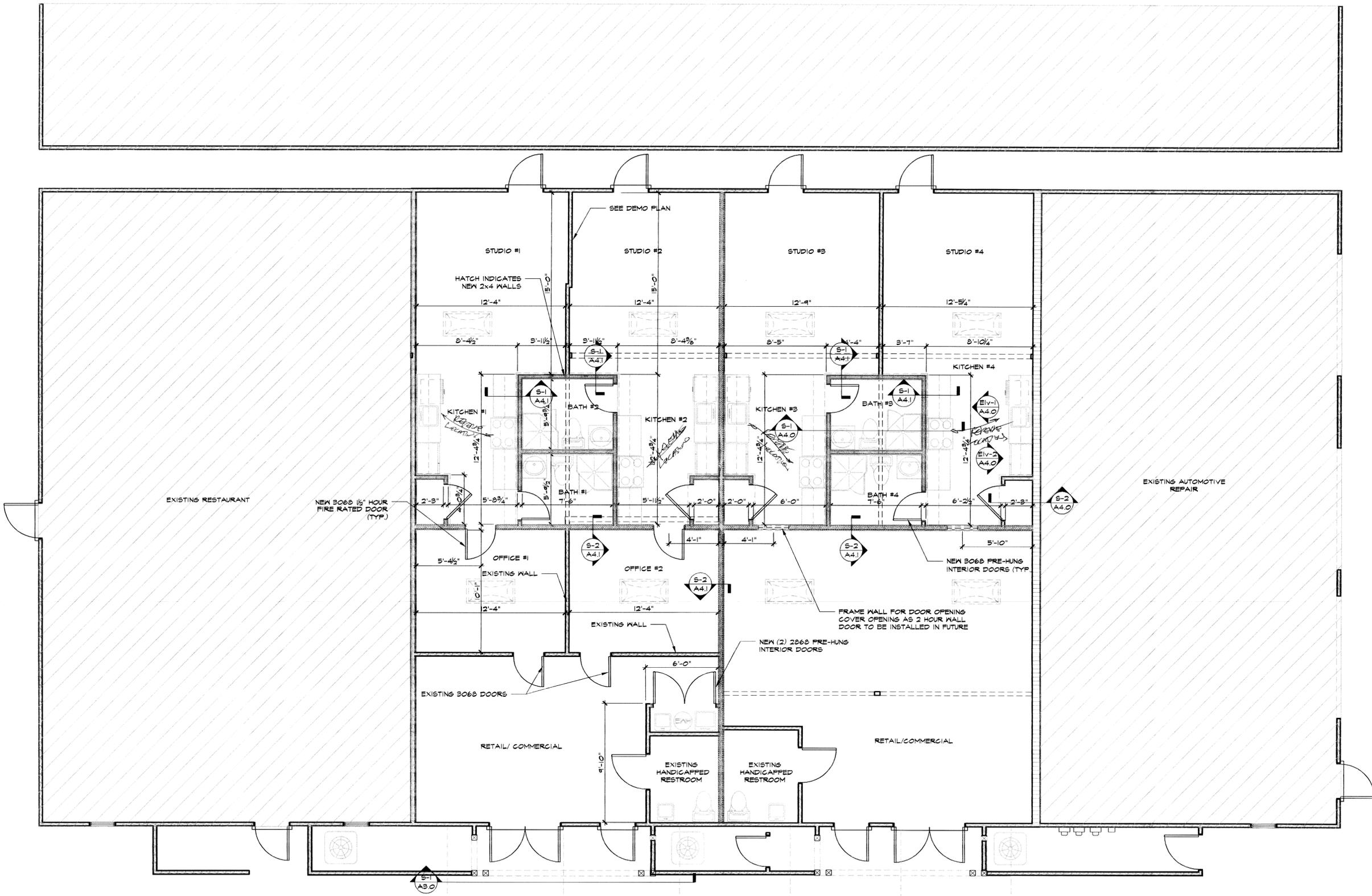
*[Signature]*  
 STANLEY P. HOELLE  
 ARCHITECT, AIA 000000033  
 1 LOST SPRING WAY  
 ORLANDO BEACH FL 32174

DATE: 09/24/12

DRAWN BY: DHEATH

JOB NUMBER: 090812-18

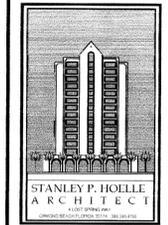
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 OF - SHEETS



**PROPOSED FLOOR PLANS**  
 SCALE: 1/4" = 1'-0"

*REVISED*  
*[Signature]*  
 10-2-12

REVISION	BY



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FLAGLER BEACH, FLORIDA

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*[Signature]*  
12/12

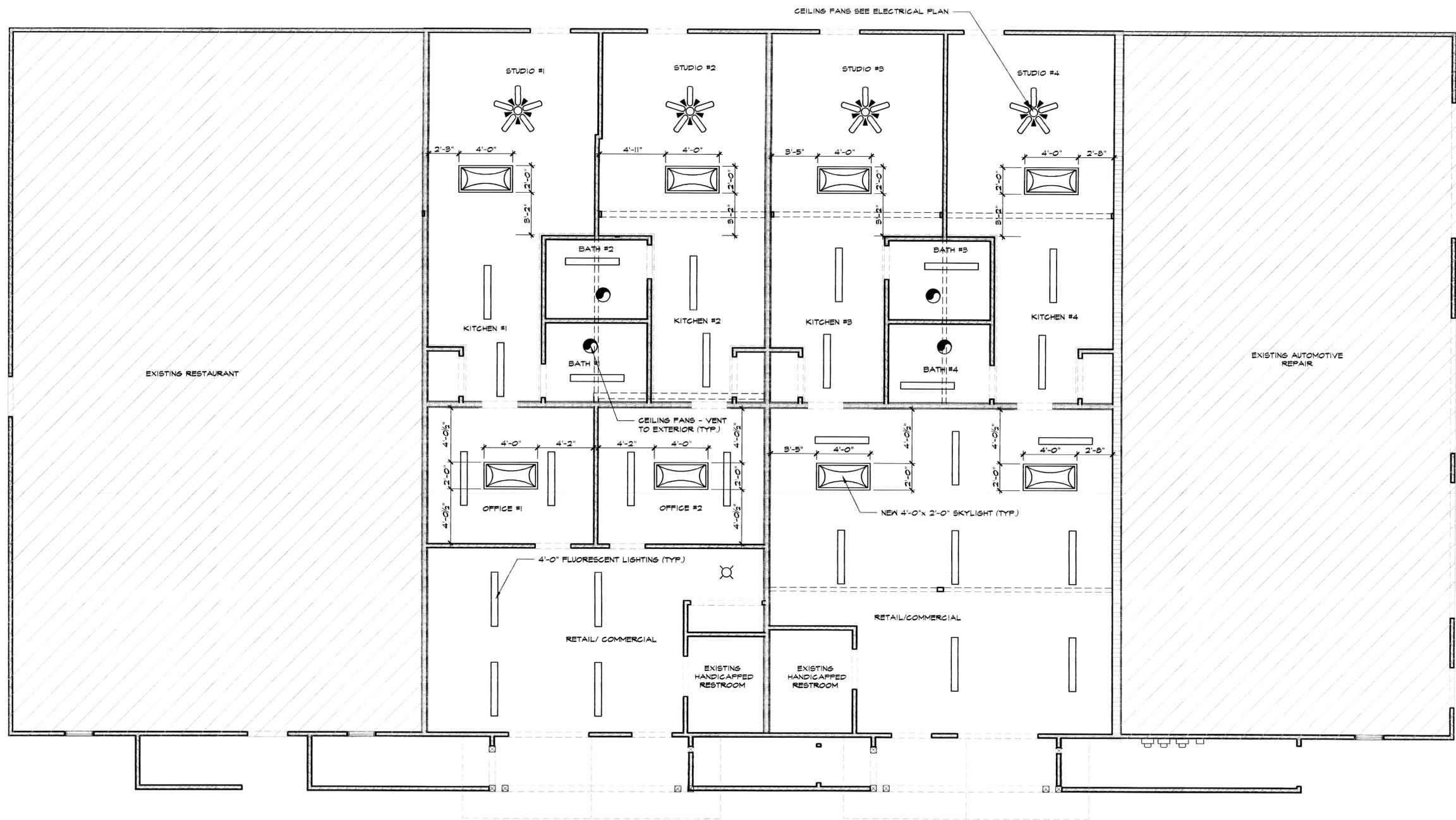
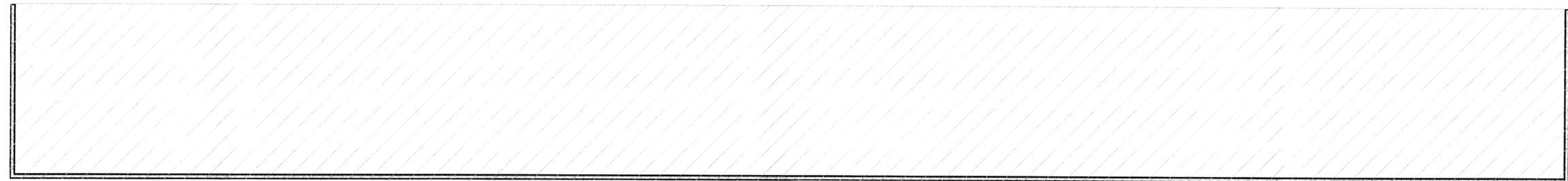
STANLEY P. HOUELLE  
ARCHITECT #AR2000033  
1 LOST SPRING WAY  
ORLANDO BEACH FL 32174

DATE: 09/24/12

DRAWN BY: DHEATH

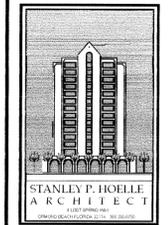
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A2.0  
OF - SHEETS



REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

REVISION	BY



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FLAGLER BEACH, FLORIDA

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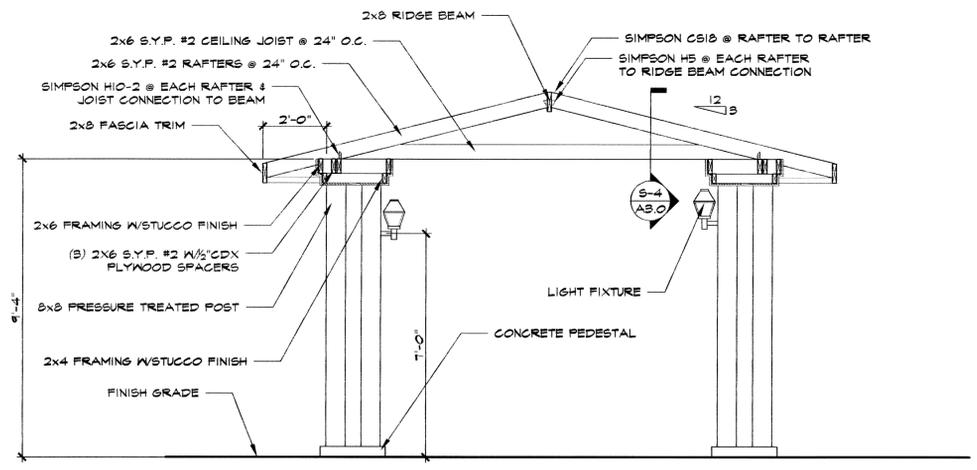
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1101 SPRING WAY  
ORLANDO BEACH FL 32174

DATE: 09/24/12

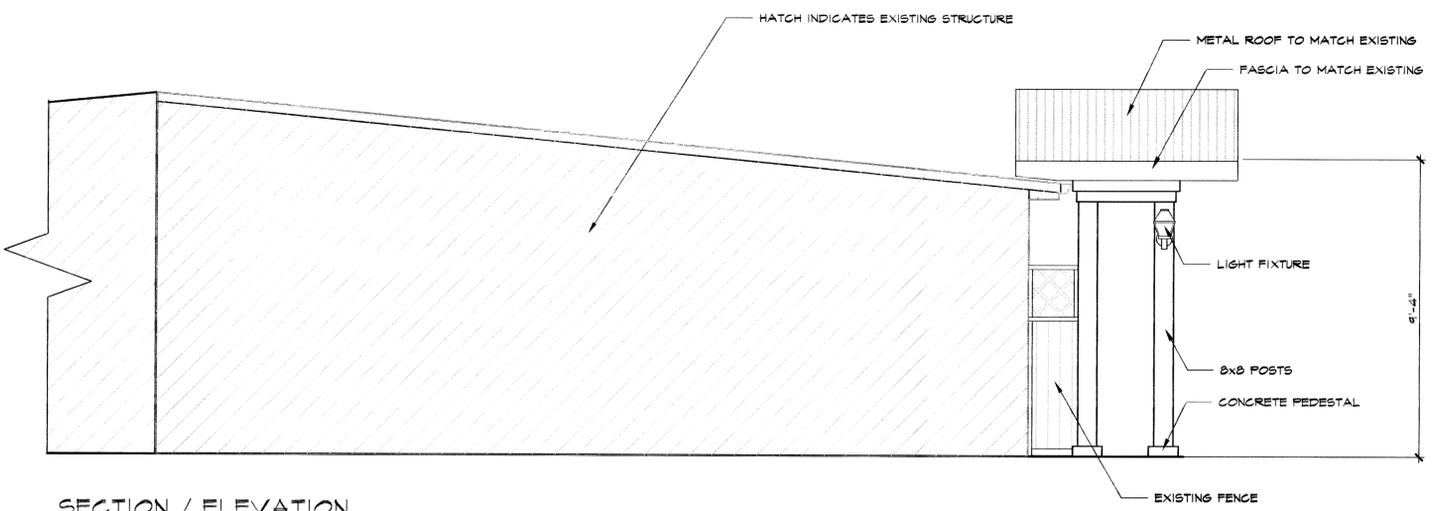
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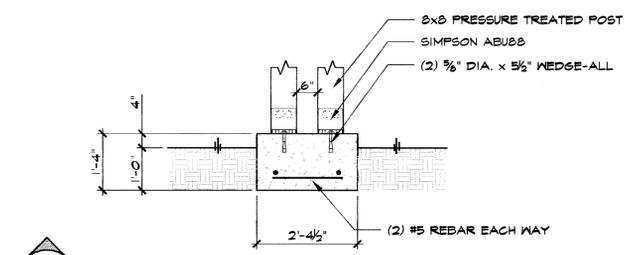
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OF - SHEETS



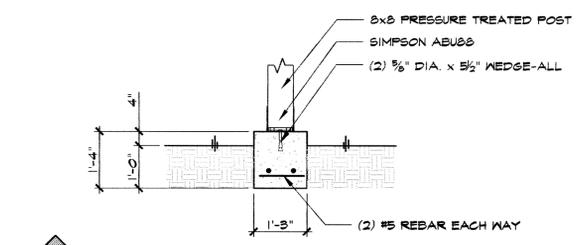
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A3.0 SCALE: 3/8" = 1'-0"



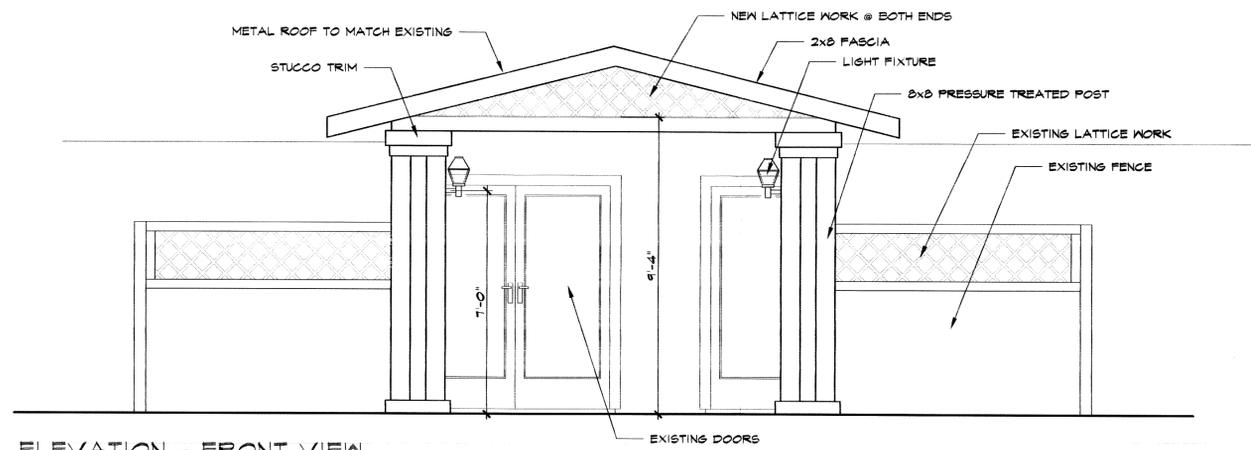
**SECTION / ELEVATION**  
SCALE: 3/8" = 1'-0"



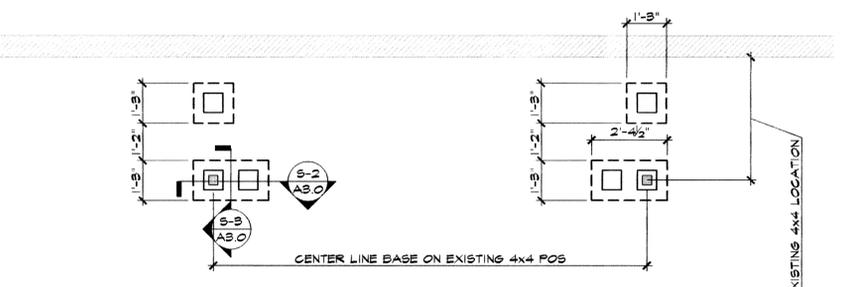
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A3.0 SCALE: 1/2" = 1'-0"



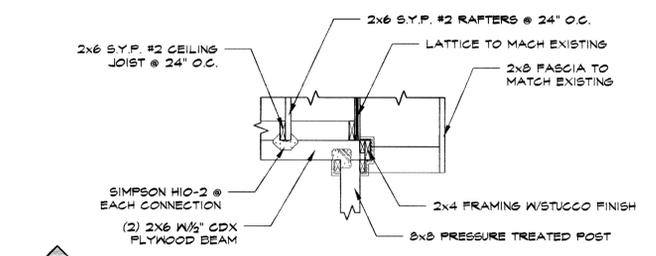
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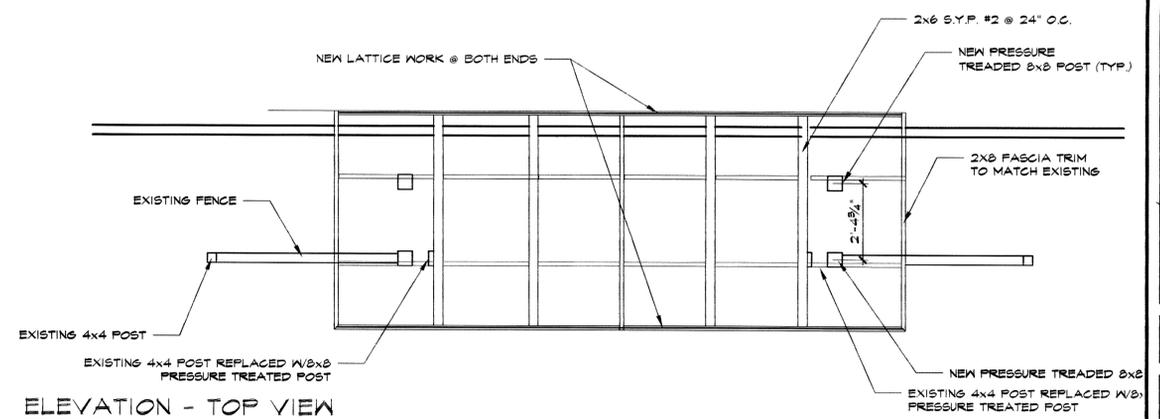
**ELEVATION - FRONT VIEW**  
SCALE: 3/8" = 1'-0"



**COLUMN LAYOUT - FOOTINGS**  
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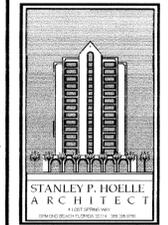


**S-4 SECTION @ COLUMN CONNECTION**  
A3.0 SCALE: 1/2" = 1'-0"



**ELEVATION - TOP VIEW**  
SCALE: 3/8" = 1'-0"

REVISION	BY

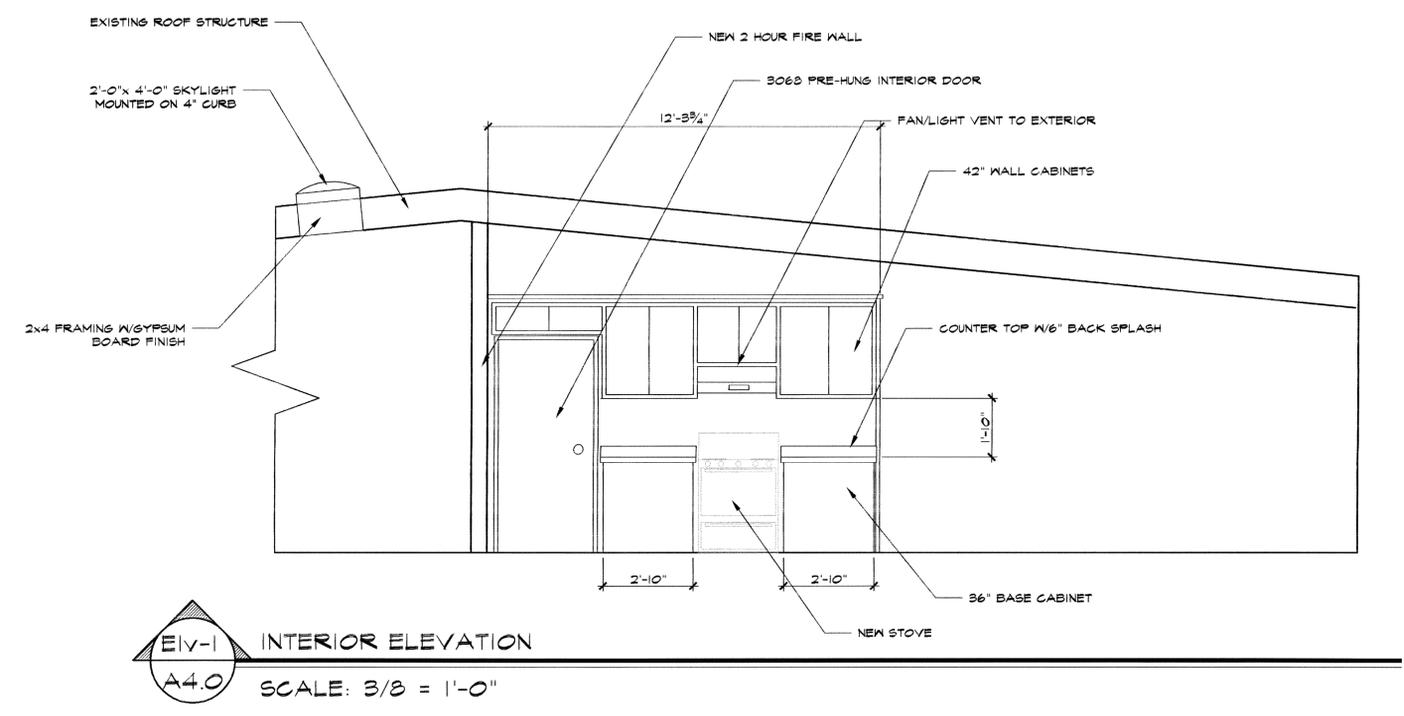


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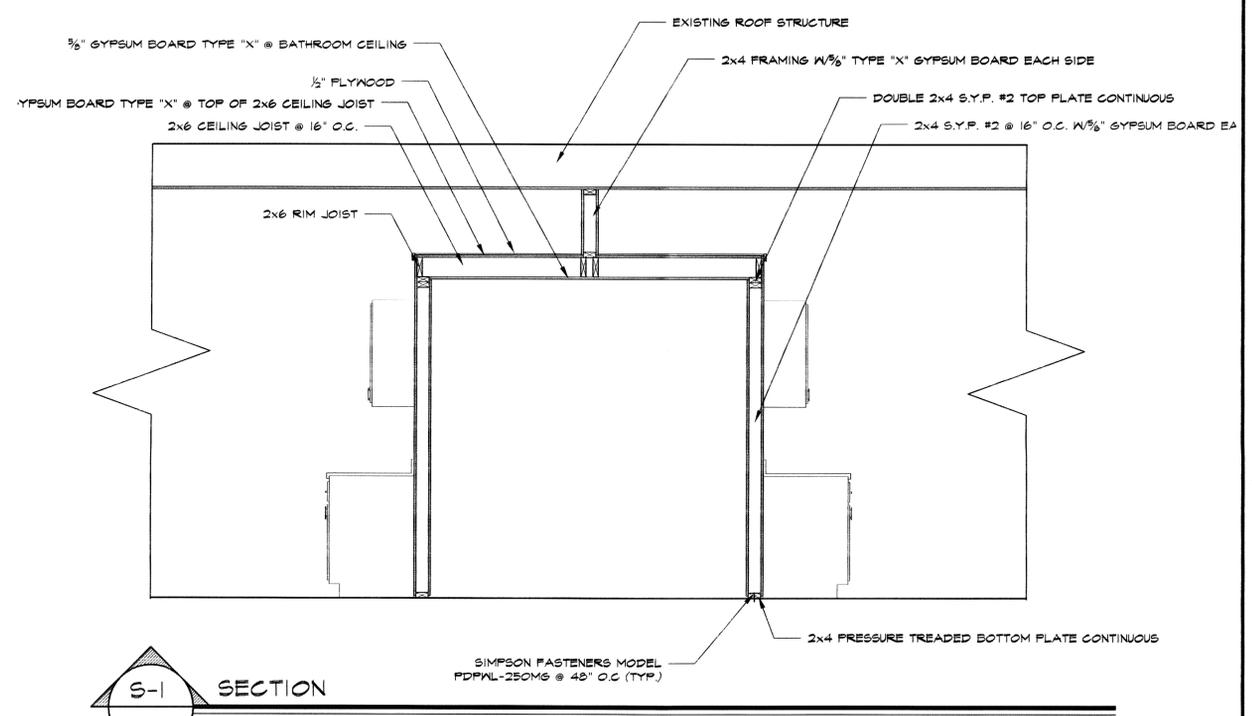
**SECTION & DETAILS**  
**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

**SEAL**  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITHSTAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010 EDITION

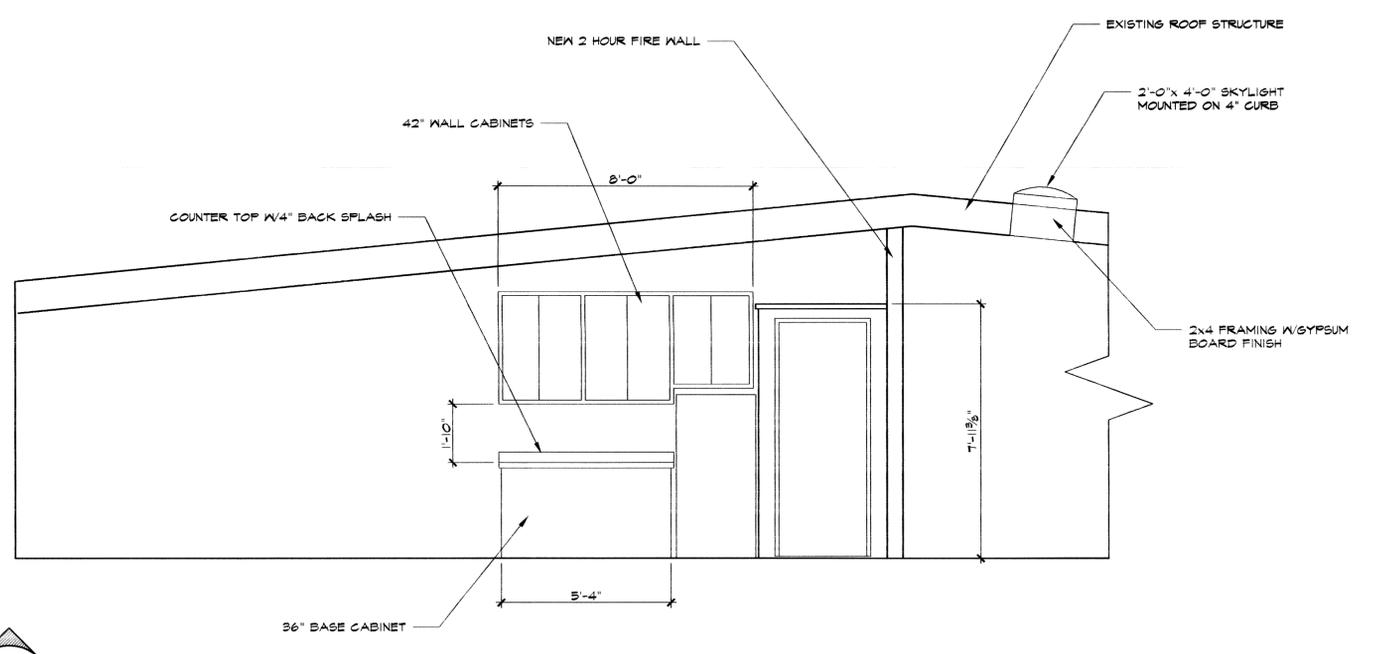
DATE: 09/24/12  
 DRAWN BY: DHEATH  
 JOB NUMBER: 090812-18



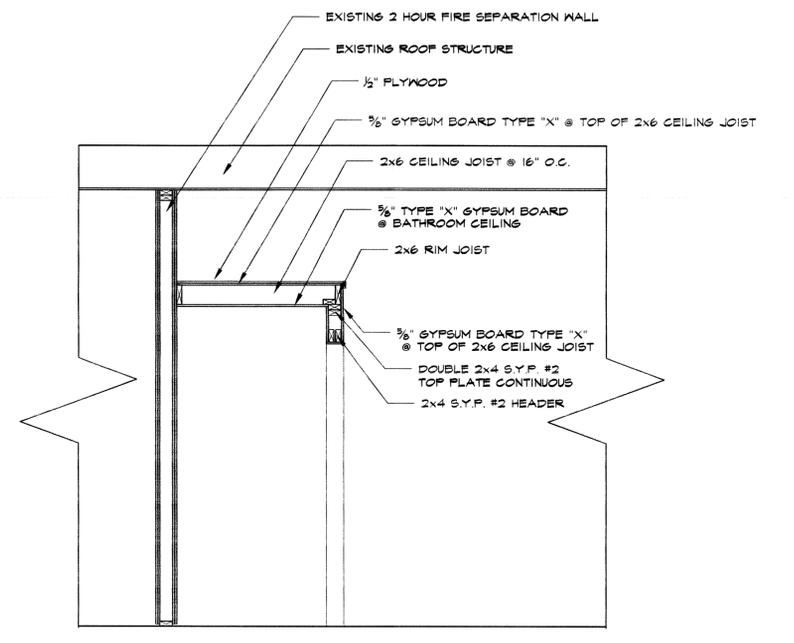
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**A4.0**  
**INTERIOR ELEVATION**  
 SCALE: 3/8" = 1'-0"



**S-1**  
**A4.0**  
**SECTION**  
 SCALE: 1/2" = 1'-0"

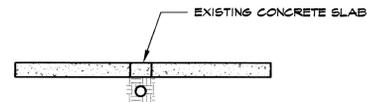


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**A4.0**  
**INTERIOR ELEVATION**  
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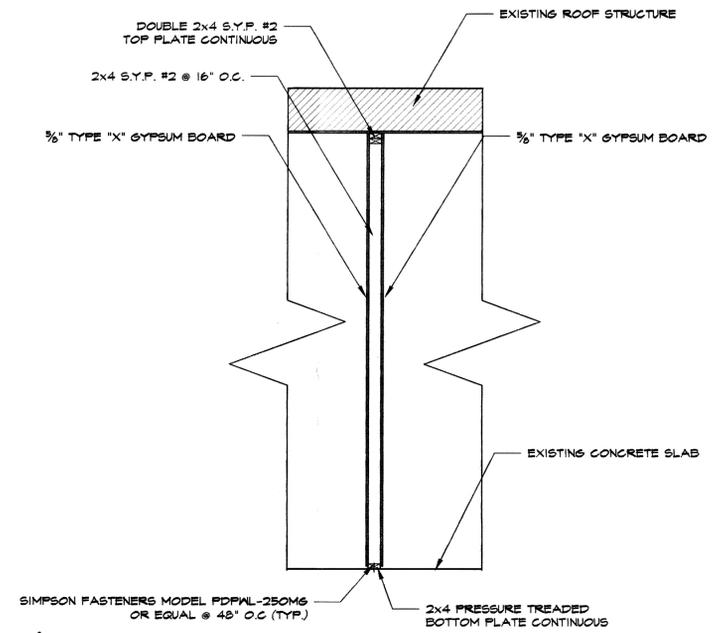


**S-2**  
**A4.0**  
**SECTION**  
 SCALE: 1/2" = 1'-0"

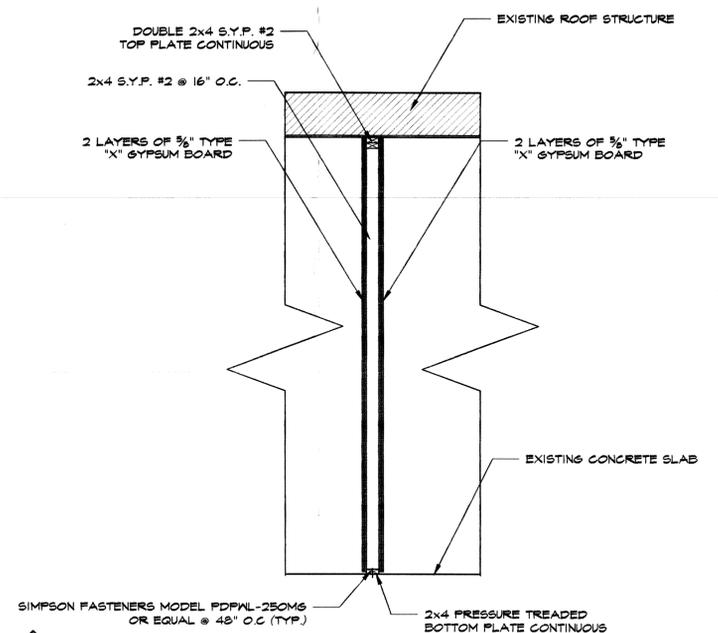
1. STRAIGHT SAW CUT (OR SLIGHTLY UNDERCUT) TRENCH OPENING REMOVE ALL DUST AND LOOSE DEBRIS.
2. INSTALL DRAIN LINES AS REQUIRED
3. INSTALL CLEAN, TREATED COMPACTED FILL
4. INSTALL JOE VISQUEEN, LAP SPLICE 6"
5. CLEAN & MOISTEN THE EDGES OF EXISTING CONCRETE FLOOR SLUSH EDGES WITH 1/8 TO 1/4 INCH THICK LAYER OF NEAT CEMENT GROUT OR EPOXY BONDING AGENT.
6. FILL HOLE WITH 2500 P.S.I. CONCRETE MIN. MATCH EXISTING



**D-1** DETAIL @ FLOOR CUT  
**A4.1** SCALE: 1/2" = 1'-0"

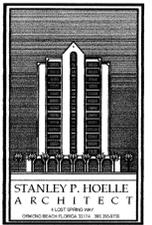


**S-1** SECTION @ 1 HOUR FIRE SEPARATION WALL  
**A4.1** SCALE: 1/2" = 1'-0"



**S-2** SECTION @ 2 HOUR FIRE SEPARATION WALL  
**A4.1** SCALE: 1/2" = 1'-0"

REVISION	BY



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**SECTION & DETAILS**  
**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

**SEAL**  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010 EDITION

*Stanley P. Hoelle*  
 STANLEY P. HOELLE  
 ARCHITECT, MAR0002033  
 4 LOST SPRING WAY  
 ORLANDO BEACH FL 32714

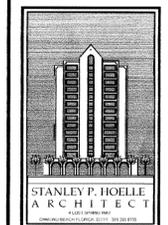
DATE: 09/24/12

DRAWN BY: DHEATH

JOB NUMBER: 090812-18

**A4.1**  
 OF - SHEETS

REVISION	BY



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**ELECTRICAL PLAN**  
**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

**SEAL**  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 145 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010 EDITION

STANLEY P. HOELLE  
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 ORLANDO BEACH FL 32174

DATE: 09/24/12

DRAWN BY: DHEATH

JOB NUMBER: 090812-18

**E1.0**  
 OF - SHEETS

**ELECTRICAL SYMBOLS**

**LIGHTING/EXHAUST FANS**

- WALL MOUNT SCONCE FIXTURE
- CAN LIGHT FIXTURE
- CEILING MOUNT LIGHT FIXTURE
- WALL MOUNT LIGHT FIXTURE
- PADDLE FAN
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBO
- INTERCOM
- FLUORESCENT LIGHT FIXTURE
- UNDER CABINET LIGHTING
- ELECTRICAL PANEL
- FLOOD LIGHTS, WALL MOUNT
- EMERGENCY (2 TUBE SURFACE MTD.)

**SWITCHES**

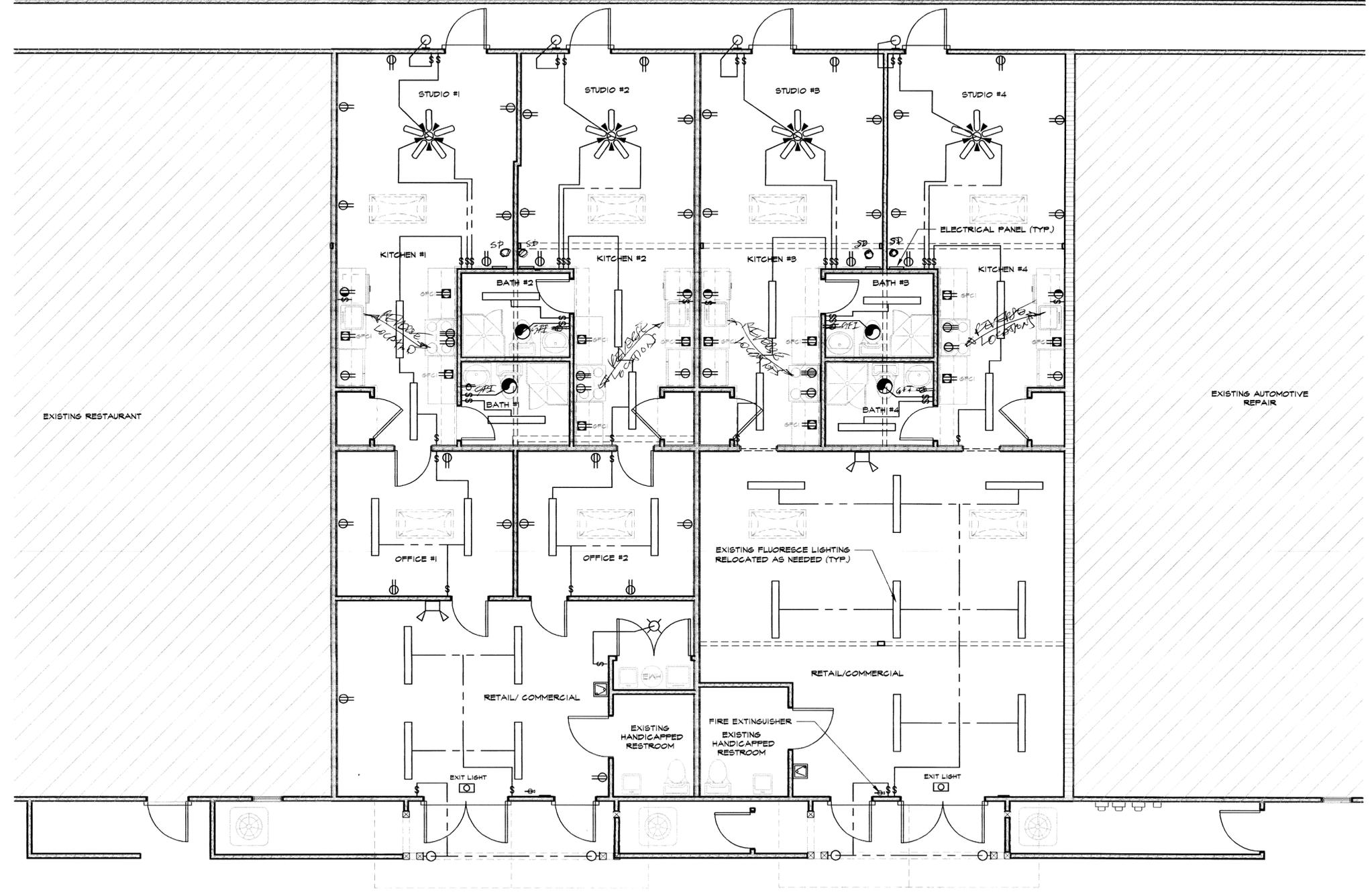
- SWITCH
- 3-WAY SWITCH.
- 4-WAY SWITCH.
- DIMMER SWITCH.
- LIGHT SWITCH.

**OUTLETS**

- 120 V CONV DUPLEX OUTLET
- 120 V CONV DUPLEX OUTLET HALF HOT/HALF SWITCH
- 220V OUTLET
- 240V WITH A/C DISCONNECT
- GFI GROUND FAULT INTERRUPTED DUPLEX OUTLET
- WP GFI WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET
- JUNCTION BOX

**GENERAL ELECTRICAL**

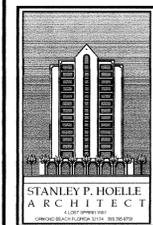
- DOORBELL
- GARAGE DOOR OPENER
- SMOKE DETECTOR HARD WIRE INTO ELECTRICAL W/BATTERY BACKUP. DETECTORS
- TELEPHONE JACK
- VACUUM (POWER OUTLET)
- THERMOSTAT



**ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

*Handwritten signature and date: 10-20*

REVISION	BY



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**TED & MARGE BARNHILL**  
912 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

**SEAL**  
THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010 EDITION

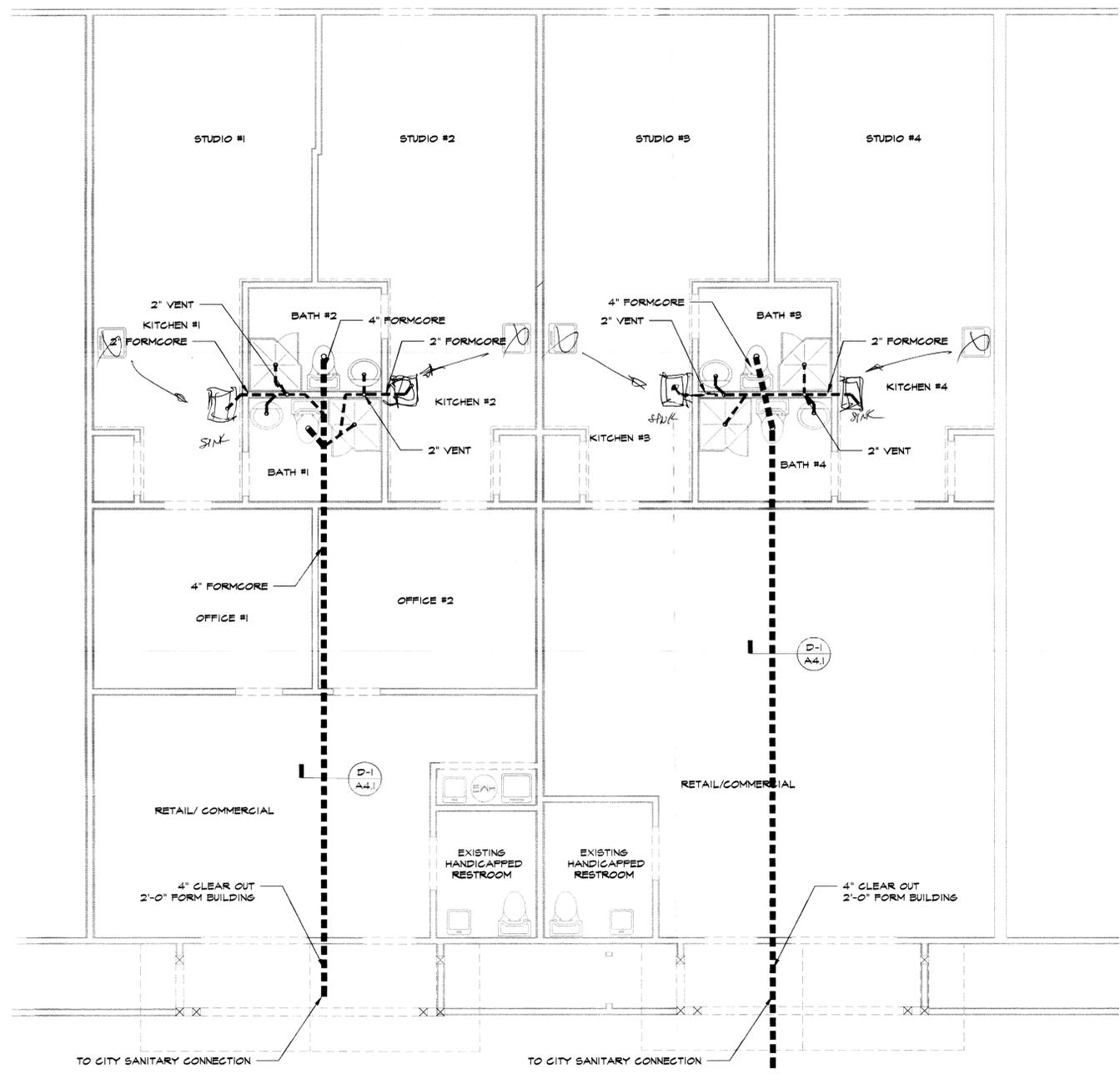
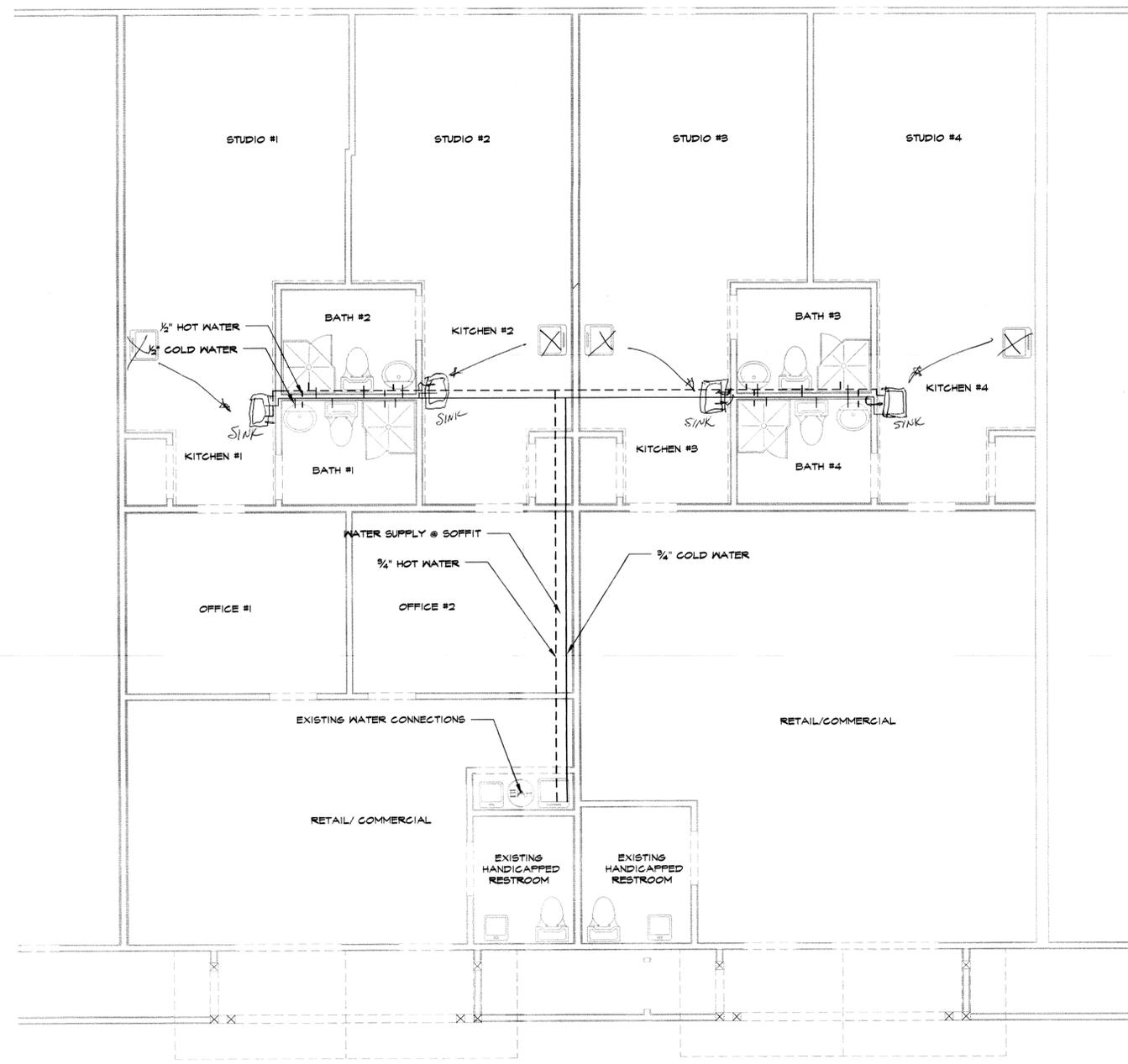
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ORLANDO BEACH FL 32174

DATE:  
09/24/12

DRAWN BY:  
DHEATH

JOB NUMBER:  
090812-18

P1.0  
OF - SHEETS



REV.  
DHEATH  
10-2-12

**FOUNDATION NOTES**

1. ALL SITE PREPARATION AND EXCAVATION WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION.
2. THE BUILDING SITE SHOULD BE EXCAVATED TO THE DEPTH AND EXTENT INDICATED IN THE SOILS REPORT. ALL SUB GRADES SHALL BE APPROVED IN WRITING BY THE SOILS ENGINEER PRIOR TO BACK FILLING.
3. BOTTOM OF FOOTINGS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORT 2500 P.S.F.
4. CENTER LINE OF FOOTINGS SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS.

**CONCRETE NOTES**

1. CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS:
  - A. FOUNDATIONS 3000 P.S.I.
  - B. SLAB-ON-GRADE 3000 P.S.I.
2. ALL CONCRETE SHALL BE READY MIX, HAVE A MINIMUM COMPRESSIVE STRENGTH OF:
  - A. 3000 P.S.I. AT 28 DAYS AND HAVE A MINIMUM OF 517 LBS OF CEMENT PER CUBIC YARD.
3. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-1990 EDITION), THE ACI DETAILING MANUAL (ACI 315-1994 EDITION) AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-2003 EDITION).
4. SUBMIT ALL REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION.
5. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE 2001 ACI SPECIFICATIONS.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF SLAB IN ALL SLAB ON GRADE. CONTRACTOR TO PROVIDE SPACERS, BOLTS ETC. AS REQUIRED TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE.
7. ALL REINFORCING STEEL TO BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60 EXCEPT THAT TIES MAY BE DOMESTIC STEEL CONFORMING TO ASTM A-615 GRADE 60.
  - A. REINFORCING BARS:
    - i. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL, FOOTINGS PROVIDE MATCHING HORIZONTAL BARS X 5'-0" BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.
    - ii. WHERE COLUMNS ARE AN INTEGRAL PART OF THE CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.
    - iii. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.
  - B. CONTRACTOR OR SUB CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHOR BOLTS, INSERT, ETC. AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVES, OPENINGS OR INSERTS MAY BE PLACED IN BEAMS OR SLABS UNLESS APPROVED BY THE ARCHITECT AND SHOWN ON SHOP DRAWINGS.

**NOTES: PLUMBING**

- 1) PROVIDE PLUMBING FIXTURES, AS SELECTED BY PRACTICAL CONSTRUCTION. COMPLETE WITH ALL TRIM TRAPS, STOP VALVES, SUPPLIES AND ESCUTCHEONS.
- 2) ALL PLUMBING SHALL BE IN STRICT ACCORDANCE WITH THE FLORIDA BUILDING CODES PLUMBING 2010
- 3) SOIL WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC.
- 4) ALL WATER PIPING SHALL BE TYPE "L" & "M" WITH 95-5 SOLDERED JOINTS OR C.P.V.C.
- 5) COPPER PIPING UNDERGROUND AND IN CONTACT WITH DISSIMILAR METALS SHALL BE COATED WITH TAR ENAMEL ANWA-C-205 OR EQUAL.
- 6) PROVIDE INDIVIDUAL WATER STOPS AT ALL WATER CLOSETS, LAVATORIES AND KITCHEN SINK INSTALLATIONS.
- 7) RUN ALL PIPING CONCEALED IN WALL, FLOORS, ABOVE CEILINGS OR BELOW GRADE.
- 8) VERIFY ALL ROUGH IN REQUIREMENTS WITH THE FIXTURES THAT ARE SELECTED.
- 9) COORDINATE ALL WORK WITH TRADES.
- 10) PROVIDE FULL SIZE PIPING FROM HOT WATER P4T VALVE TO EXTERIOR.
- 11) WATER PIPING RUN THROUGH CONCRETE OR MASONRY SHALL BE WRAPPED WITH 10 MIL VINYL PLUMBING TAPE.
- 12) HOT WATER PIPING SHALL BE INSULATED IN ACCORDANCE WITH STATE ENERGY CODES OR FLORIDA BUILDING CODE PLUMBING.
- 13) ELECTRIC WATER HEATER
- 14) TANK TYPE WATER CLOSET VOLUME: 1.5 GALLONS.
- 15) WATER-FLOW RATE
  - A. SHOWER HEADS: 2.5 G.P.M.
  - B. PRIVATE FACILITIES: 2.2 G.P.M.

**GENERAL NOTES:**

1. SUBCONTRACTOR ARE RESPONSIBLE FOR ALL REQUIREMENTS OUTLINED IN THE NFPA, FBC, LOCAL CODES AND ORDINANCES.
2. ALL STRUCTURAL, ELECTRICAL AND MECHANICAL WORK SHALL COMPLY WITH THE GOVERNING CODES AS ADMINISTERED BY THE LOCAL BUILDING OFFICIALS AND SHALL BE CONSIDERED AS PART OF THESE CONSTRUCTION DOCUMENTS.
3. ANY CHANGES TO OR DEVIATION FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT WRITTEN CONSENT FROM ARCHITECT OR GENERAL CONTRACTOR.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. ALL INSTALLATIONS SHALL BE ACCURATELY FIELD MEASURED BEFORE FABRICATION.
5. ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED ELECTRICIAN ONLY. ALL WORK SHALL CONFORM TO 2008 EDITION OF NATIONAL ELECTRIC CODES
6. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURE OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.
7. SUBCONTRACTORS SHALL CARRY INSURANCE THAT WILL PROTECT THE OWNER FROM CLAIMS FROM DAMAGES FOR PERSONAL INJURIES, INCLUDING DEATH, WHICH MAY ARISE IN CONNECTION WITH THIS PROJECT.
8. GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL KEEP SITE AND BUILDING CLEAR AND OF DEBRIS.
9. ALL PLUMBING WORK SHALL BE CARRIED OUT BY A LICENSED PLUMBER, ALL EQUIPMENT AND FIXTURES TO CONFORM TO FLORIDA BUILDING CODES PLUMBING WITH 2010 BUILDING CODES.
10. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUBMIT CERTIFICATE OF OCCUPANCY, APPROVED BY THE BUILDING DEPARTMENT, TO THE OWNER.
11. FOOTING HAVE BEEN DESIGNED FOR SOIL PRESSURES OF 2500 PSF. MEETING THIS DESIGN PRESSURE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FOUNDATION DESIGN IN THE ABSENCE OF DATA ADEQUATE TO DETERMINE THE NATURE AND CHARACTERISTICS OF THE SOIL.
12. ALL CONCRETE SHALL BE 5,000 PSI OR BETTER AT 28 DAYS
13. ALL FILL UNDER CONCRETE SLABS TO BE 95 PERCENT COMPACTED EARTH, TAMPED.
14. MASONRY CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT LAYOUT OF THE BUILDING AND SHALL ESTABLISH ACCURATE FLOOR ELEVATIONS. MASONRY REINFORCING TO COMPLY WITH ACI 318-32, CONCRETE AND MASONRY STRUCTURES.
15. THESE DRAWINGS ARE INTENDED TO INDICATE THE SCOPE AND GENERAL EXTENT OF THE CONSTRUCTION WORK REQUIRED. SPECIFIC DETAILS, MATERIALS, FINISHES AND EQUIPMENT ARE TO BE PROVIDED BY THE CONTRACTOR AND AGREED UPON BY THE OWNER, UNLESS NOTED.
16. IF PROPERLY LICENSED, REGISTERED OR CERTIFIED CONTRACTOR IS NOT HIRED FOR THIS PROJECT THE OWNER IS TO BE CONSIDERED THE "CONTRACTOR" FOR THE PURPOSE OF THESE AND ALL RELATED DOCUMENTS.
17. STEEL REINFORCING BARS, ASTM #16, GRADE 60, MINIMUM SPICE LAP OF 23 INCHES.
18. STEEL COVERAGE: FOOTINGS AND SLABS, AGAINST EARTH (B) INCHES.
19. MORTAR SHALL CONFORM WITH ASTM C-41 FOR MASONRY CEMENT AND ASTM C-150 FOR PORTLAND CEMENT. MORTAR SHALL BE TYPE "M".

**MINIMUM DESIGN LOADS**

OCCUPANCY OR USE	UNIFORM (PSF)	CONCENTRATED (LBS)
FLOORS	80	2,000
ROOFS	20	300
STAIRS	100	A
HANDRAILS	50	200
GUARDRAILS	50	200
BALCONIES	100	-
STORAGE	250 HEAVY 125 LIGHT	-
-	-	-

A. MINIMUM CONCENTRATED LOAD ON STAIR TREADS (ON AREA OF 4 SQUARE INCHES) IS 300 POUNDS

**INTERIOR FINISHES**

- 803.1 INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723 SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEX.
- CLASS A: FLAME SPREAD INDEX 0-25, SMOKE-DEVELOPED INDEX 0-450
- CLASS B: FLAME SPREAD INDEX 26-75, SMOKE-DEVELOPED INDEX 0-450
- CLASS C: FLAME SPREAD INDEX 76-200, SMOKE-DEVELOPED INDEX 0-450
- OCCUPANCY CLASSIFICATION LOW-HAZARD STORAGE GROUP "S-2"
- INTERIOR FINISH CLASSIFICATION AS FOLLOWS:
- CLASS B: EXIT ENCLOSURES AND EXIT PASSAGEWAYS
- CLASS C: CORRIDORS
- CLASS C: ROOMS AND ENCLOSED SPACES

**NOTES WIND LOADS**

THESE PLANS CONFORM TO THE REQUIREMENTS OF SECTION 1609 OF THE 2010 F.B.C. FOR A BASE WIND SPEED OF 120 MPH, IMPORTANCE FACTOR 1.0, EXPOSURE B, ENCLOSED BUILDING, INTERNAL PRESSURE COEFFICIENT 0.18.

ALL OPENINGS SHALL BE PROTECTED PER SECTION 1609 OF THE 2010 FLORIDA BUILDING CODES.

COMPONENTS AND CLADDINGS WIND PRESSURES (PSF) (PRESSURES BASED ON WHOLE BUILDING ANALYSIS AND ARE HIGHEST PRESSURES OBTAINED AND ARE APPLIED TO THE LARGEST CALCULATED AREAS.)

**WIND DESIGN DATA**

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENT OF ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES. IT HAS BEEN DESIGNED WITH THE FOLLOWING PARAMETERS:

BASIC WIND SPEED:	140 MPH
EXPOSURE CATEGORY:	B
IMPORTANCE FACTOR:	1.0
BUILDING CLASSIFICATION:	ENCLOSED
INTERNAL PRESSURE COEFFICIENT (SCPI):	+/- 0.18
VELOCITY DESIGN WIND PRESSURE:	25.06 PSF

MAIN WIND FORCE RESISTING SYSTEM DESIGN PRESSURE:	
ROOF:	+ 11.41 PSF -15.13 PSF
WALLS:	+ 18.86 PSF -17.00 PSF

COMPONENTS AND CLADDINGS DESIGN PRESSURE:	
ROOF:	+ 19.27 PSF -43.07 PSF
WALLS:	+ 22.94 PSF -30.04 PSF

ALL CONNECTIONS HAVE BEEN CHECKED TO WITHSTAND ALL AFFLIABLE LOADS.

**TABLE 1609.1.2 WIND - BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURE PANELS**  
*abc.d*

FASTENER TYPE	FASTENERS SPACINGS		
	PANEL SPAN < 4 Feet.	4 FEET < PANEL SPAN < 6 FEET.	6 FEET < PANEL SPAN < 8 FT.
#8 WOOD SCREW-BASE ANCHOR WITH 2-INCH EMBEDMENT LENGTH	16	10	8
#10 WOOD SCREW-BASE ANCHOR WITH 2-INCH EMBEDMENT LENGTH	16	12	9
1/2" LAG SCREW-BASE ANCHOR WITH 2-INCH EMBEDMENT LENGTH	16	16	16

5/16" Inch = 25.4 mm | Foot = 305 mm | POUND = 4.448 N | MILE PER HOUR = 0.447 m/s

a. THIS TABLE IS BASED ON A V ASD, DETERMINED IN ACCORDANCE WITH SECTION 1609.3.1 OF 140 MPH AND A 45-FOOT MEAN ROOF HEIGHT.

b. FASTENERS SHALL BE INSTALLED AT OPPOSING END OF THE WOOD STRUCTURAL PANEL. FASTENERS SHALL BE LOCATED A MINIMUM OF 1 INCH FROM THE EDGE OF THE PANEL.

c. ANCHORS SHALL PENETRATE THROUGH THE EXTERIOR WALL COVERING WITH AN EMBEDMENT LENGTH OF 2 INCHES MINIMUM INTO THE BUILDING FRAME. FASTENERS SHALL BE LOCATED A MINIMUM OF 2 1/2 INCHES FROM THE EDGE OF CONCRETE BLOCK OR CONCRETE.

d. WHERE PANELS ARE ATTACHED TO MASONRY OR MASONRY/ STUCCO, THEY SHALL BE ATTACHED USING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM WITHDRAWAL CAPACITY OF 1500 LB (667N KN)

**TERMITE PROTECTION NOTES**

PER FBC 1516.1 TERMITE PROTECTION. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITICIDE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

**SHEET INDEX**

**ARCHITECTURAL:**

CVR	COVER SHEET - SITE PLAN
P1C1	EXISTING STRUCTURE
A1.0	FLOOR PLAN - EXISTING
A2.0	FLOOR PLAN - PROPOSED
A2.1	FLOOR PLAN - DIMENSION & NOTED
A3.0	ELEVATION
A3.1	ELEVATION
A4.0	SECTIONS
A5.0	DETAILS
A5.1	DETAILS
E1.0	ELECTRICAL PLAN - PROPOSED
P1.0	PLUMBING PLAN - PROPOSED

**PROJECT INFORMATION**

- BUILDING CODES:**
- FLORIDA BUILDING CODE BUILDING, 2010 EDITION
  - FLORIDA BUILDING CODE RESIDENTIAL, 2010 EDITION
  - FLORIDA EXISTING BUILDING CODE, 2010 EDITION
  - FLORIDA PLUMBING CODE, 2010 EDITION
  - FLORIDA MECHANICAL CODE, 2010 EDITION
  - NATIONAL ELECTRICAL CODES 2008 EDITION.
  - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-05 2005 EDITION)
  - MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-2005 EDITION)
  - MANUAL OF STANDARD PRACTICE FOR WELDING REINFORCED STEEL, INSERT & CONNECTIONS IN REINFORCED CONCRETE CONSTRUCTION AWS, D1.4-98, 2005 EDITION.
  - SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301-2003 EDITION.
  - BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-08, 2008 EDITIONS)

**CLASSIFICATION OF WORK:**  
SECTION 404 ALTERATION-LEVEL 2

**TYPE OF CONSTRUCTION:**  
TYPE I & II

**OCCUPANCY GROUP:**  
SECTION 310 RESIDENTIAL GROUP "R"

**BUILDING AREA:**  
SEE FLOOR PLANS

**ARCHITECT:**  
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ORMOND BEACH, FLORIDA, 32174  
Contact: STANLEY HOELLE

**DRAFTING:**  
STRICTLY CAD  
252 THIRD AVE - SUITE 203  
DAYTONA BEACH, FLORIDA, 32114  
Contact: DAVID HEATH

**FIRE PROTECTION SYSTEM**

FIRE ALARM AND DETECTION SYSTEM SECTION 407

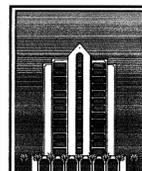
407.1 CONSTRUCTION DOCUMENTS. CONSTRUCTION DOCUMENTS FOR FIRE ALARM SYSTEM SHALL BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOWN IN DETAIL, THAT IT WILL CONFORM TO THE PROVISIONS OF THIS CODE, FLORIDA FIRE PREVENTION CODE, RELEVANT LAWS, ORDINANCE, RULES AND REGULATIONS AS DETERMINED BY THE BUILDING OFFICIAL.

EXISTING AUTOMATIC SPRINKLER SYSTEM.

1. A FLOOR PLAN WHICH INDICATES THE USE OF ALL ROOMS.
2. LOCATION OF ALARM-INITIATING AND NOTIFICATION APPLIANCE.
3. ALARM CONTROL AND TROUBLE SIGNALING EQUIPMENT.
4. ANNUNCIATION
5. POWER CONNECTION.
6. BATTERY CALCULATIONS.
7. CONDUCTOR TYPE AND SIZES.
8. VOLTAGE DROP CALCULATION.
9. MANUFACTURES MODEL NUMBER, INCLUDING THE CORRECTION OF ERRORS IN PLANS.
10. DETAILS OF CEILING HEIGHT.
11. THE INTERFACE OF FIRE SAFETY WITH OTHER SYSTEMS.

407.2 WHERE REQUIRED, A MINIMUM OF ONE MANUAL FIRE ALARM BOX SHALL BE PROVIDED IN AN APPROVED LOCATION TO INITIATE FIRE ALARM SIGNAL FOR FIRE ALARM SYSTEMS EMPLOYING AUTOMATIC FIRE DETECTORS OR WATER DATE FLOW DETECTION DEVICE. WHERE OTHER SECTIONS OF THIS CODE ALLOW ELIMINATION OF FIRE ALARM BOXES DUE TO SPRINKLER, A SINGLE FIRE BOX SHALL BE INSTALLED.

**REVISION BY**

STANLEY P. HOELLE  
ARCHITECT

These plans have been checked by the seal of the ARCHITECT to meet the specifications of the client. The ARCHITECT does not assume any liability for errors and omissions on these plans. The ARCHITECT will not be held responsible or liable for errors and omissions on these plans. The ARCHITECT is not responsible for the construction of the building. The drawing and its reproduction are the property of the ARCHITECT. No part of these plans may be reproduced in any way without the written consent of the ARCHITECT.

**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

**SEAL**  
THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7-10 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE. THIS IS WITH THE FLORIDA BUILDING CODES 2010

**RECEIVED**  
JUN 12 2009

**DATE RECEIVED**  
CITY OF FLAGLER BEACH, FLORIDA  
REVIEWED FOR CODE COMPLIANCE  
105.4 CONDITIONS OF THE PERMIT

STANLEY P. HOELLE  
ARCHITECT, #480020233

DATE: 06/05/13

DRAWN BY: JHEATH

JOB NUMBER: 040313-14

**CVR**  
OF - SHEETS



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



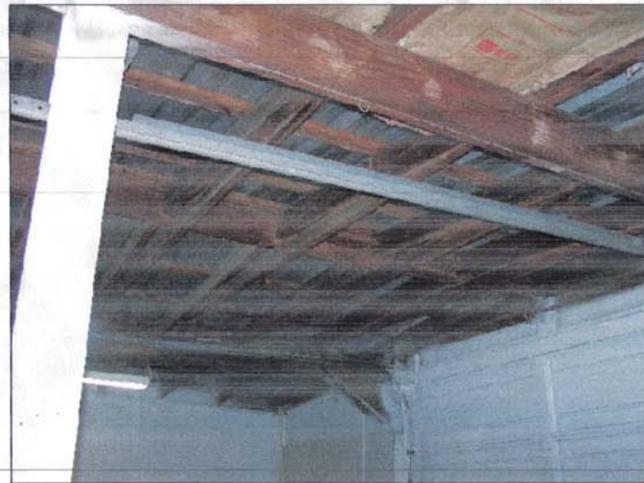
Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

SCALE: NONE



Eiv.

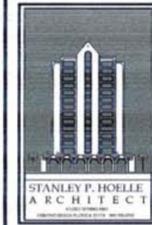
SCALE: NONE



Eiv.

SCALE: NONE

REVISION	BY



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EXISTING STRUCTURE  
**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

SEAL  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7-10 MINIMUM DESIGN LOADS FOR THE BUILDING AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010

*Stanley P. Hoelle*  
 6-12-13

STANLEY P. HOELLE  
 ARCHITECT, FARD0009533  
 4 LOT SPRING WAY  
 ORLANDO BEACH FL, 32114

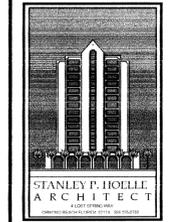
DATE:  
 06/05/13

DRAWN BY:  
 DHEATH

JOB NUMBER:  
 040313-14

**PICT**  
 OF - SHEETS

REVISION	BY



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**FLOOR PLAN - EXISTING**  
**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

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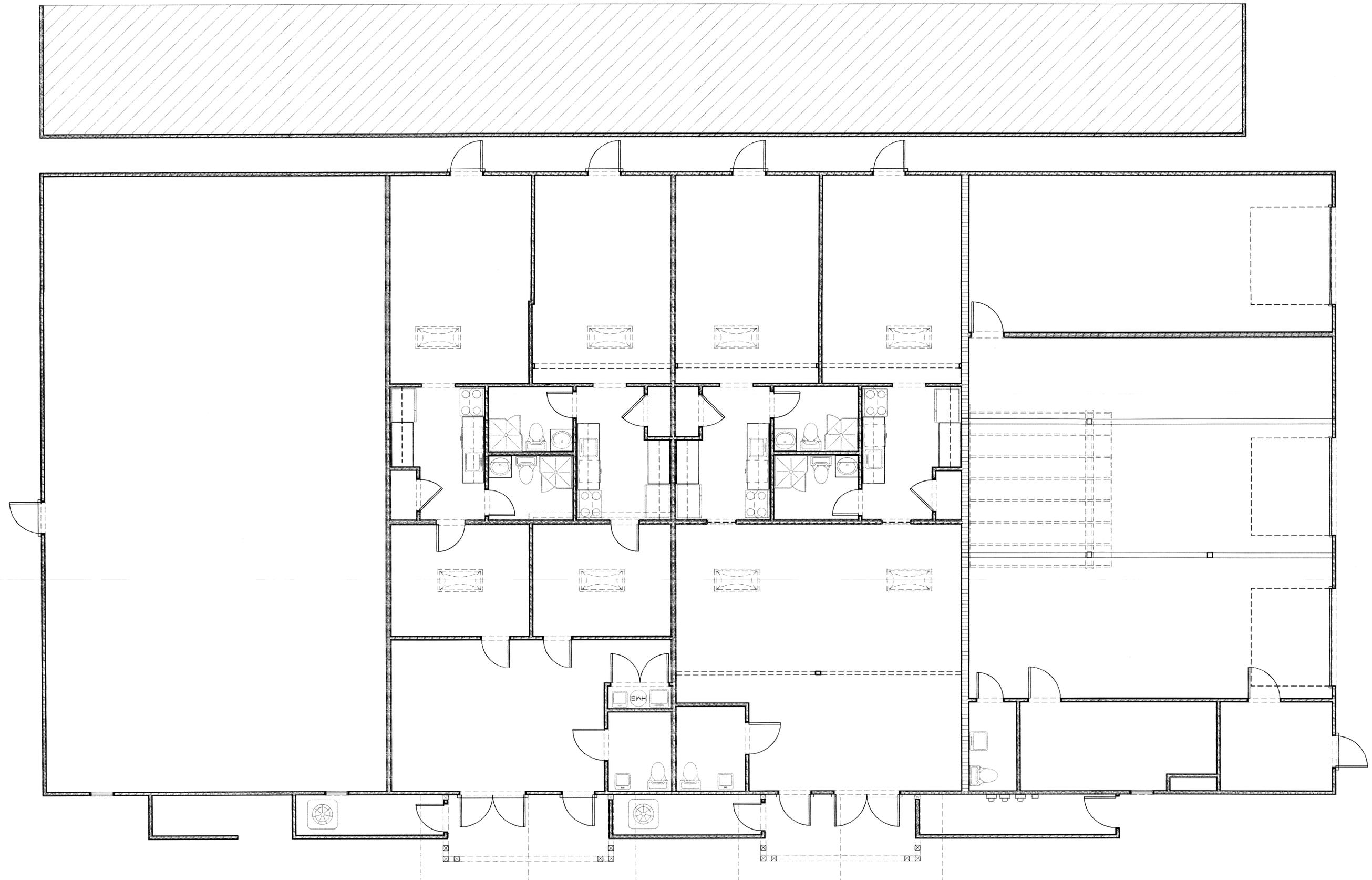
*[Signature]*  
STANLEY P. HOELLE  
ARCHITECT, HANGING#00033  
4 LOFT SPRING WAY  
ORLANDO BEACH FL 32174

DATE:  
06/05/13

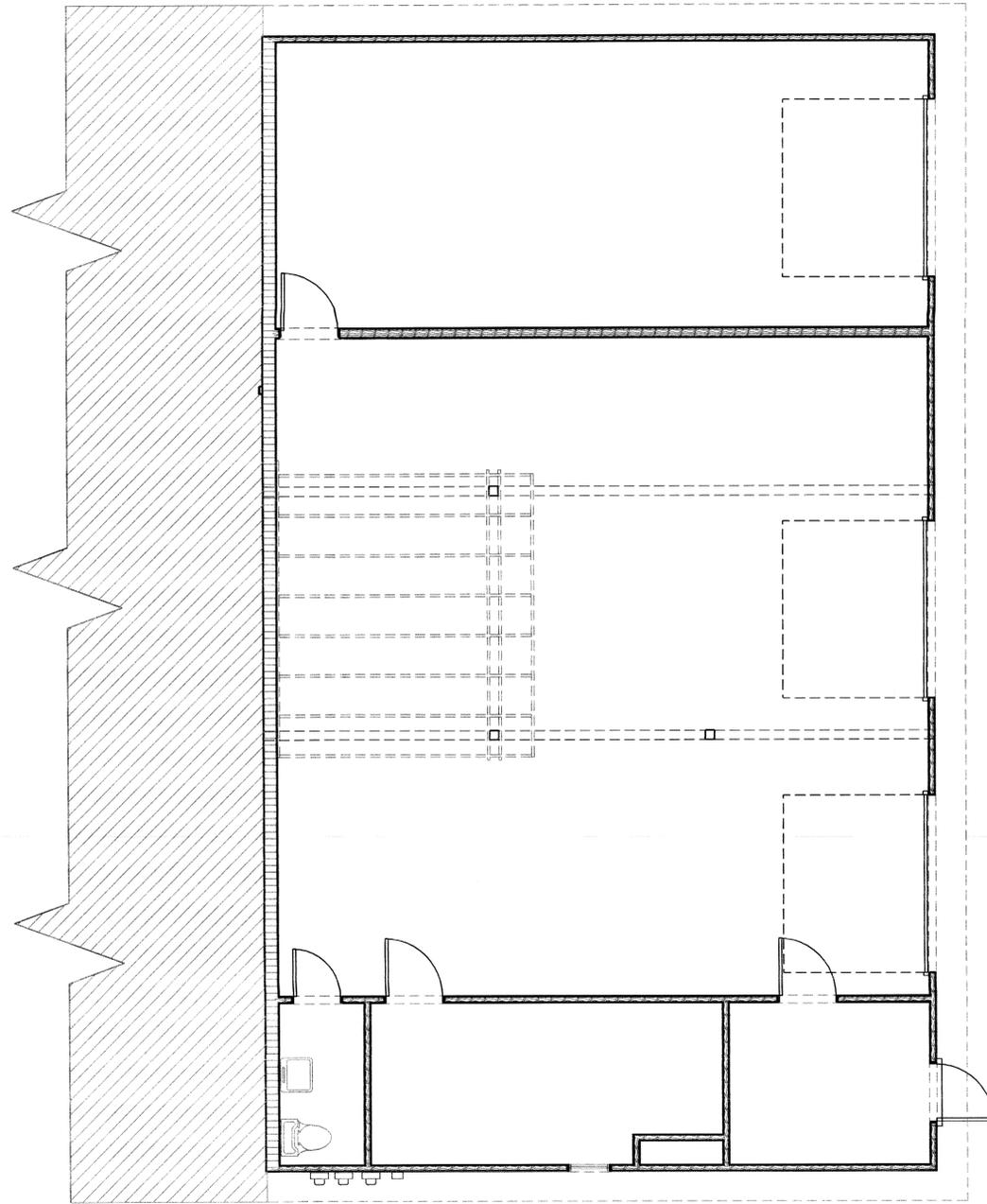
DRAWN BY:  
DHEATH

JOB NUMBER:  
040313-14

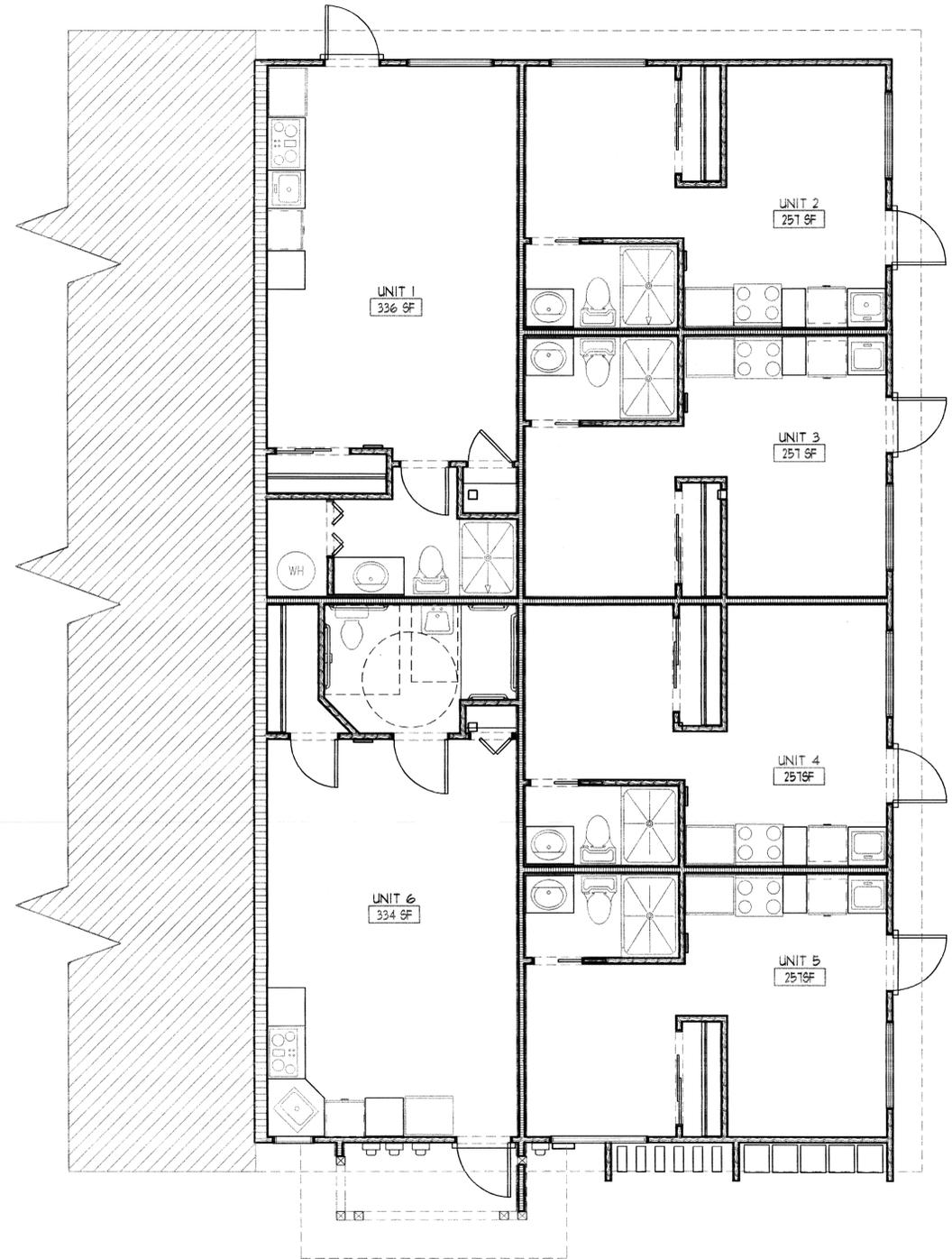
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OF - SHEETS



FLOOR PLAN - EXISTING  
SCALE: 1/4"=1'-0"

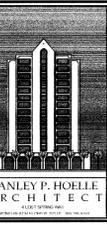


FLOOR PLAN - EXISTING  
SCALE: 1/4"=1'-0"



FLOOR PLAN - PROPOSED  
SCALE: 1/4"=1'-0"

REVISION	BY



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*[Signature]*  
STANLEY P. HOELLE  
ARCHITECT, FARD000029233  
4 LOST SPRING WAY  
ORLANDO BEACH FL. 32174

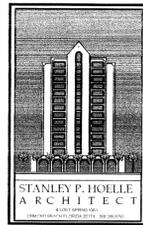
DATE:  
06/05/13

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DHEATH

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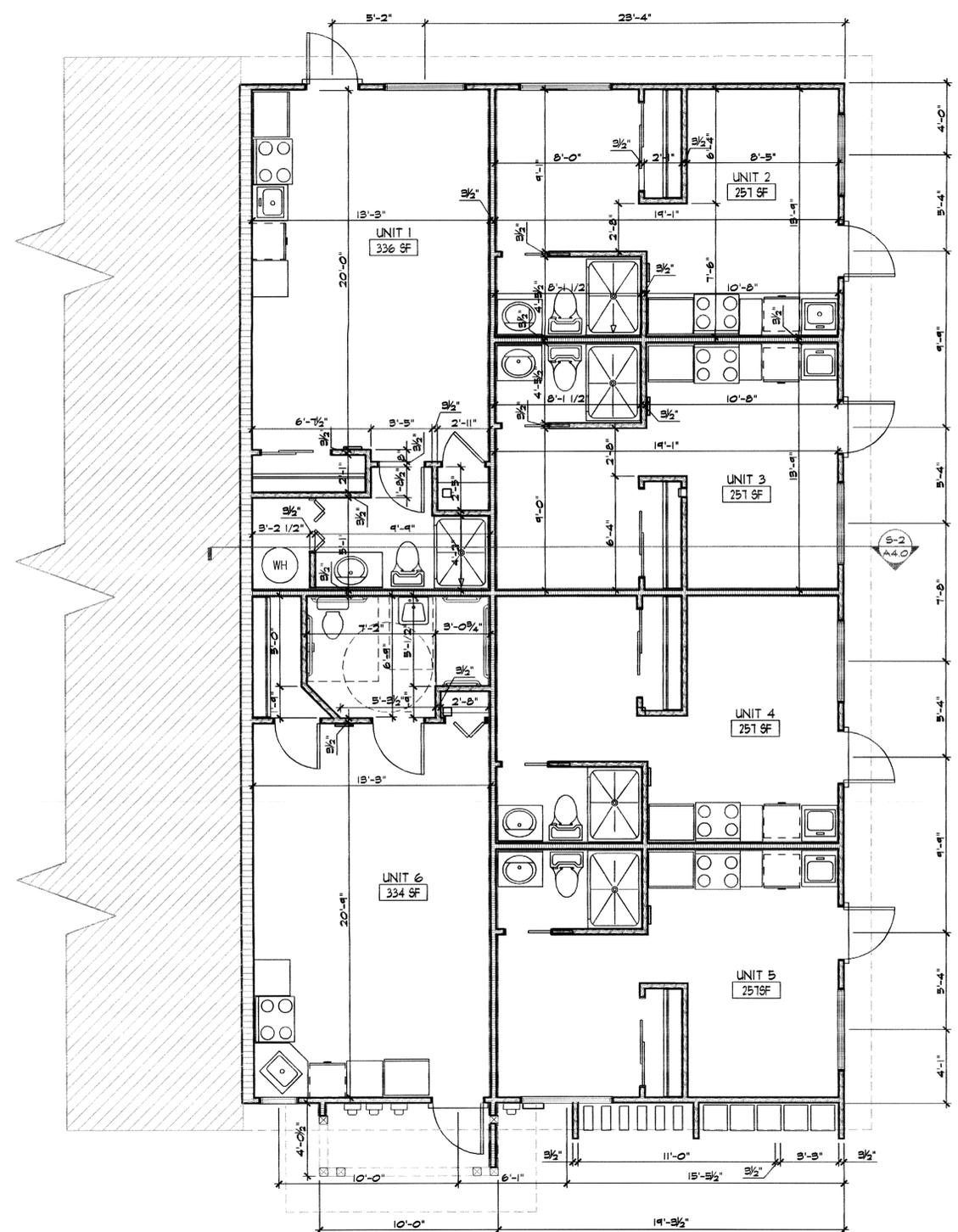
STANLEY P. HOELLE  
ARCHITECT, WAREHOUSING  
4 LOT SPRING WAY  
ORLANDO BEACH FL 32174

DATE:  
06/05/13

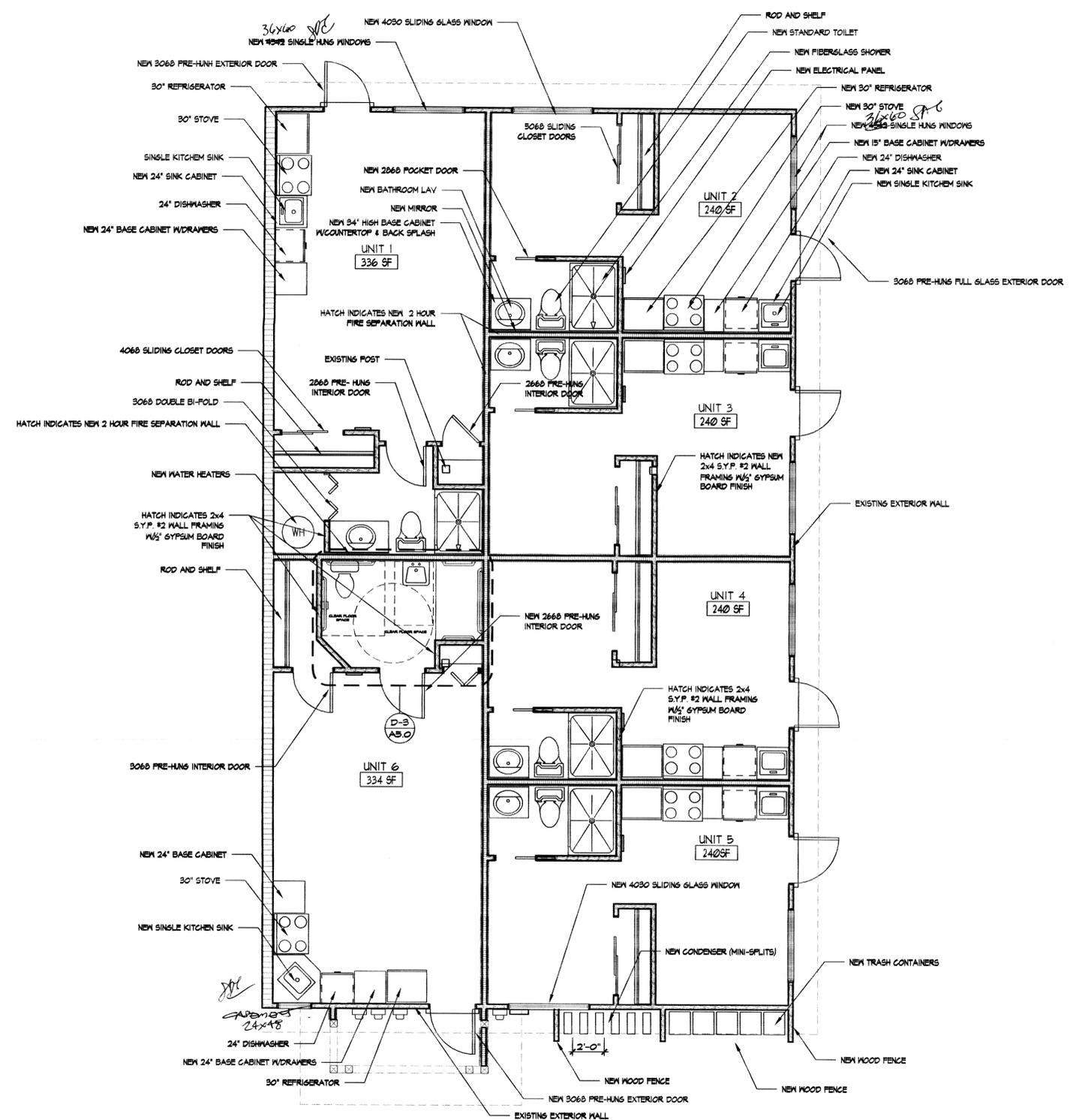
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**A2.1**  
OF - SHEETS

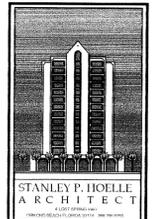


FLOOR PLAN - PROPOSED - DIMENSION  
SCALE: 1/4"=1'-0"

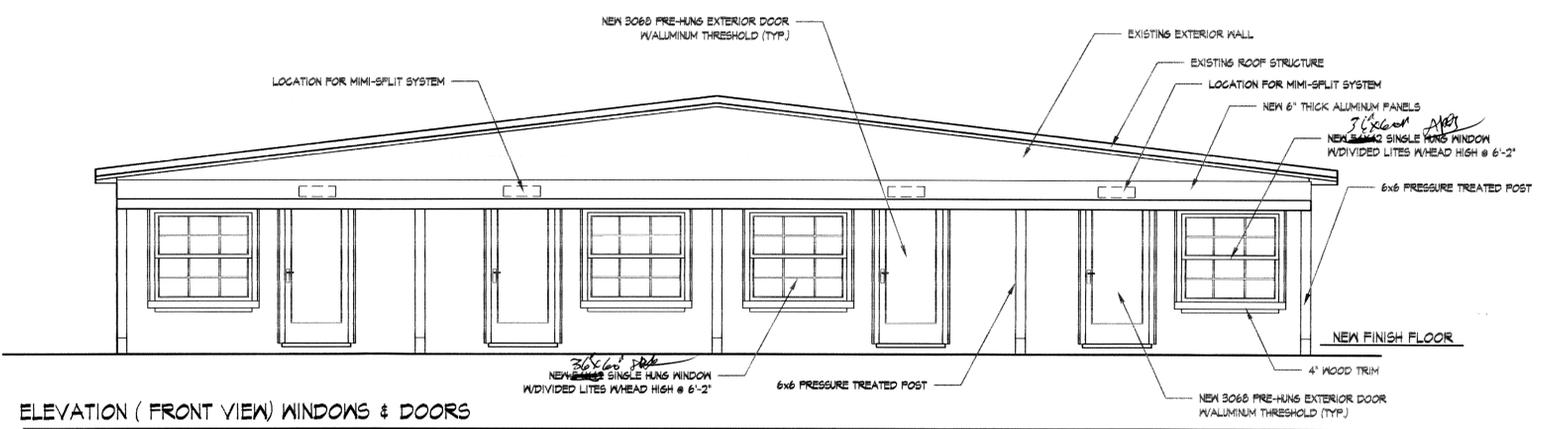


FLOOR PLAN - PROPOSED - NOTED  
SCALE: 1/4"=1'-0"

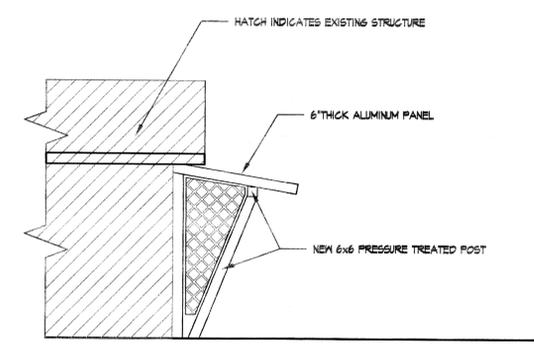
REVISION	BY



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ELEVATION ( FRONT VIEW) WINDOWS & DOORS  
SCALE: 1/4"=1'-0"



ELEVATION ( SIDE VIEW)  
SCALE: 1/4"=1'-0"

**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

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STANLEY P. HOELLE  
ARCHITECT, NARS0029033  
4 LOST SPRING WAY  
ORLANDO BEACH FL 32114

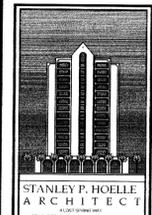
DATE:  
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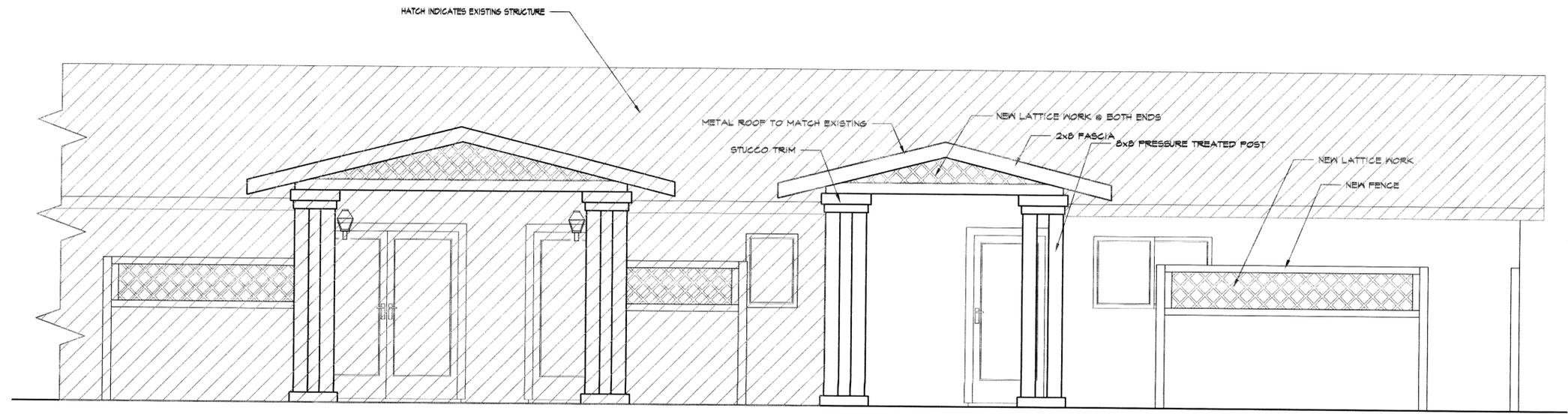
**A3.0**  
OF - SHEETS

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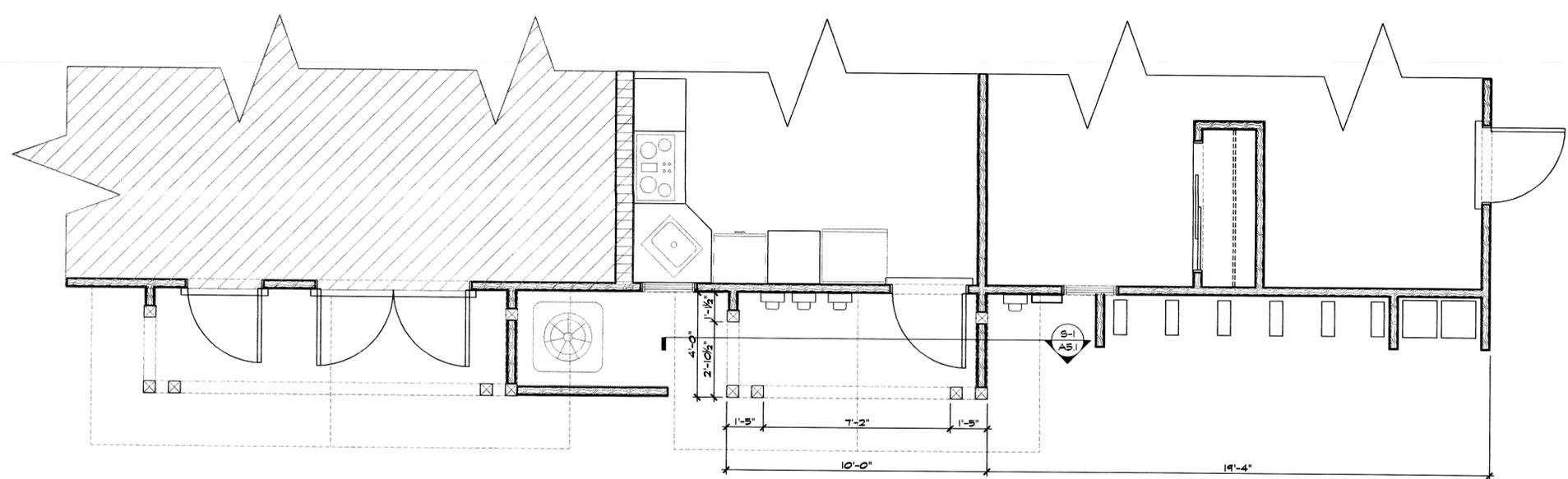


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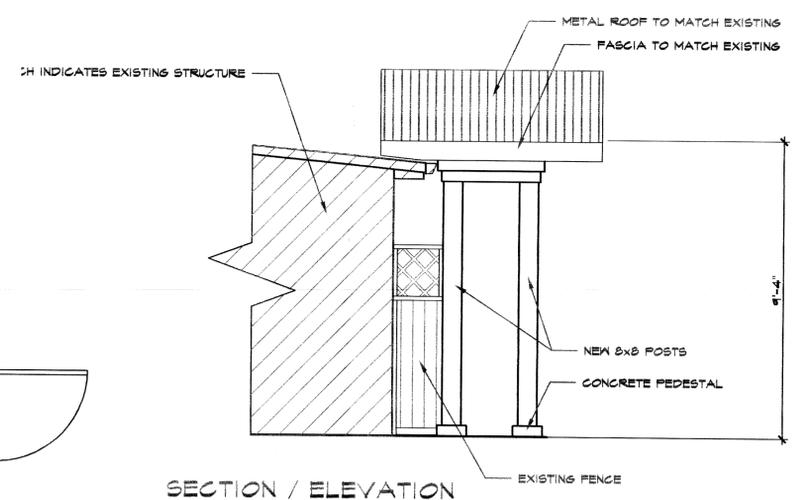
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**ELEVATION - LEFT VIEW**  
SCALE: 3/8" = 1'-0"



**FLOOR PLAN LEFT ELEVATION**  
SCALE: 3/8" = 1'-0"



**SECTION / ELEVATION**  
SCALE: 3/8" = 1'-0"

**TED & MARGE BARNHILL**  
312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

**SEAL**  
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STANLEY P. HOELLE  
ARCHITECT, F.A.S.C.E. 000000033  
4 LOST SPRING WAY  
ORLANDO BEACH FL 32114

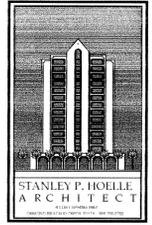
DATE:  
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DHEATH

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OF - SHEETS

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312 SOUTH THIRD STREET  
FLAGLER BEACH, FLORIDA

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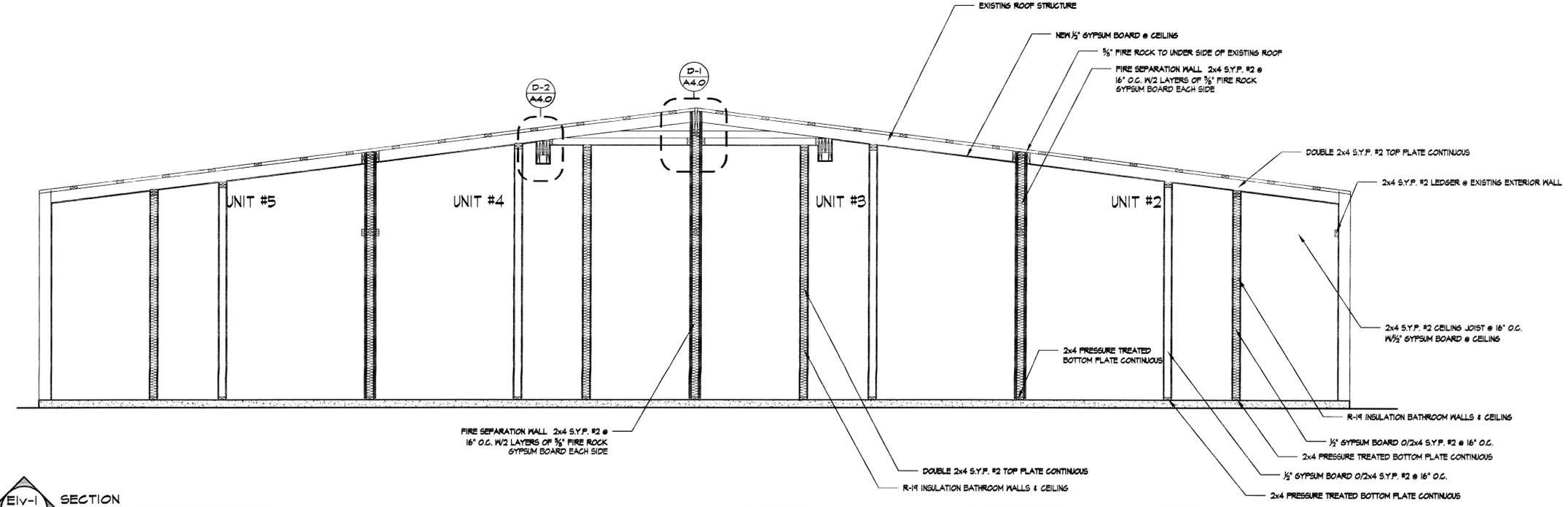
*Stanley P. Hoelle*  
STANLEY P. HOELLE  
ARCHITECT, #ARD0009233  
4 LOFT SPRING WAY  
ORLANDO BEACH FL 32174

DATE:  
06/05/13

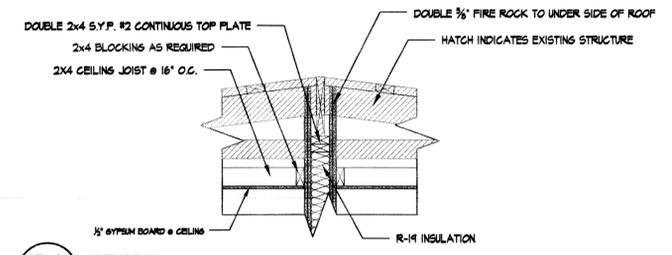
DRAWN BY:  
DHEATH

JOB NUMBER:  
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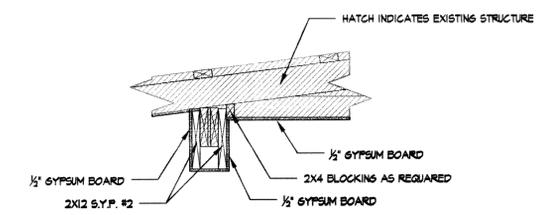
**A4.0**  
OF - SHEETS



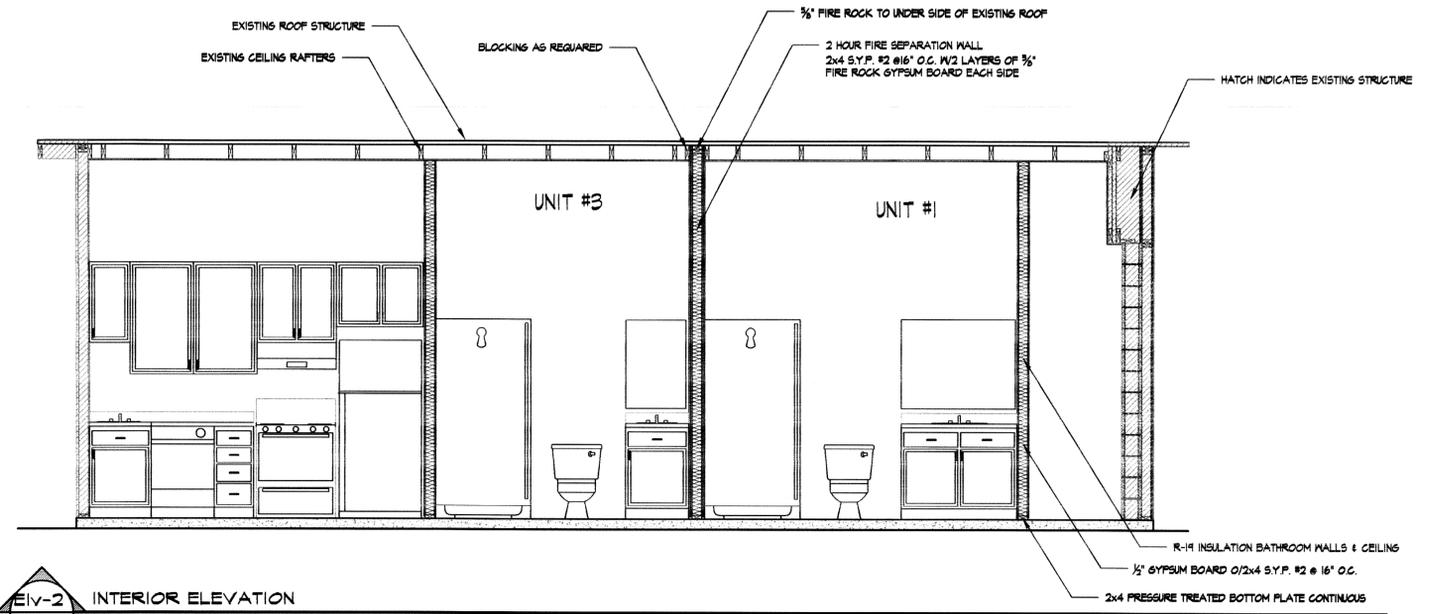
**EIV-1 SECTION**  
A4.0 SCALE: 3/8" = 1'-0"



**D-1 DETAIL**  
A4.0 SCALE: 3/4" = 1'-0"

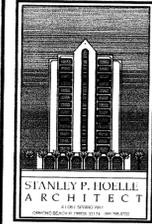


**D-2 DETAIL**  
A4.0 SCALE: 3/4" = 1'-0"



**EIV-2 INTERIOR ELEVATION**  
A4.0 SCALE: 3/8" = 1'-0"

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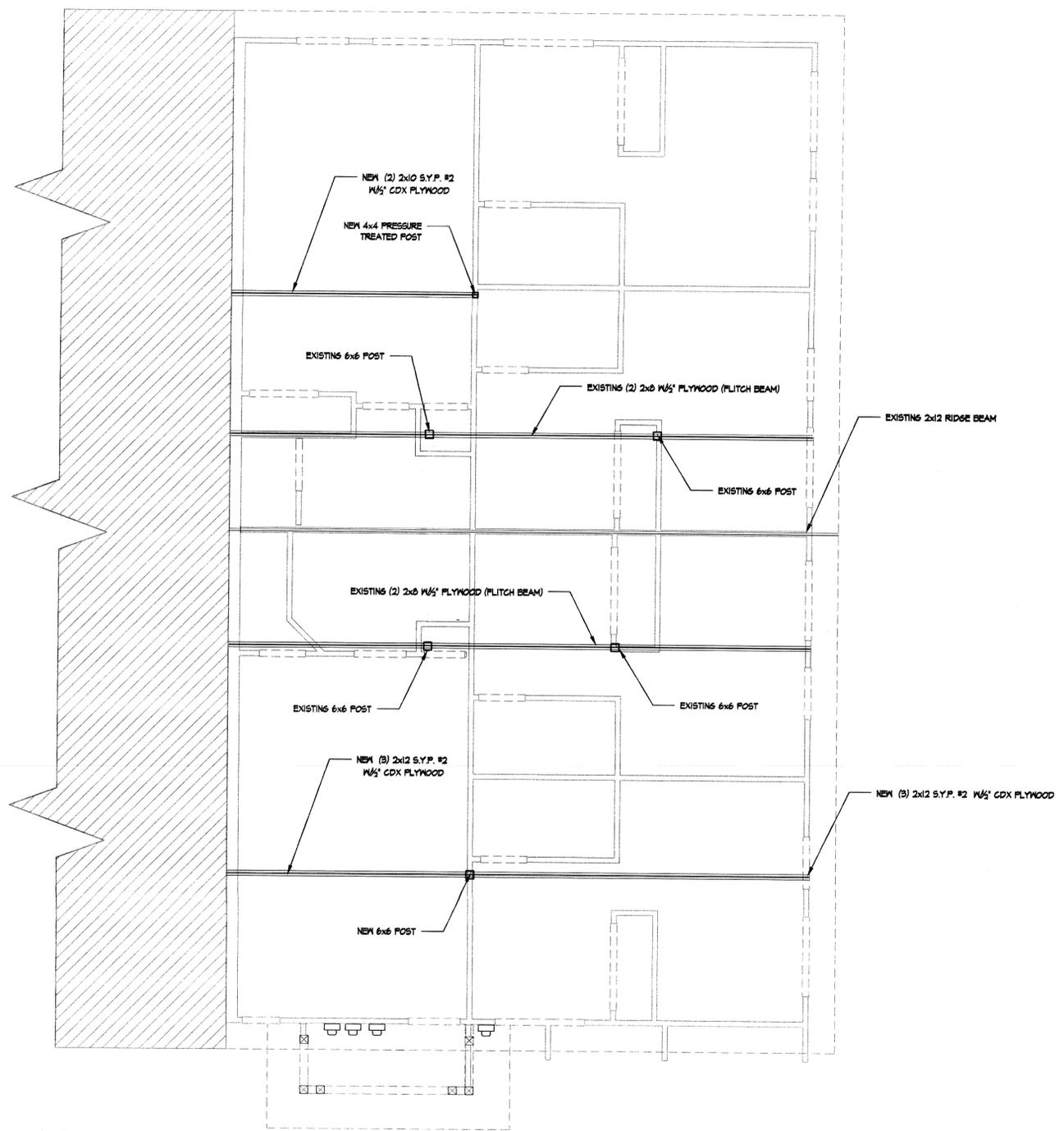
STANLEY P. HOELLE  
ARCHITECT, HARBOR0033  
4 LOST SPRING WAY  
ORMOND BEACH FL 32174

DATE:  
06/05/13

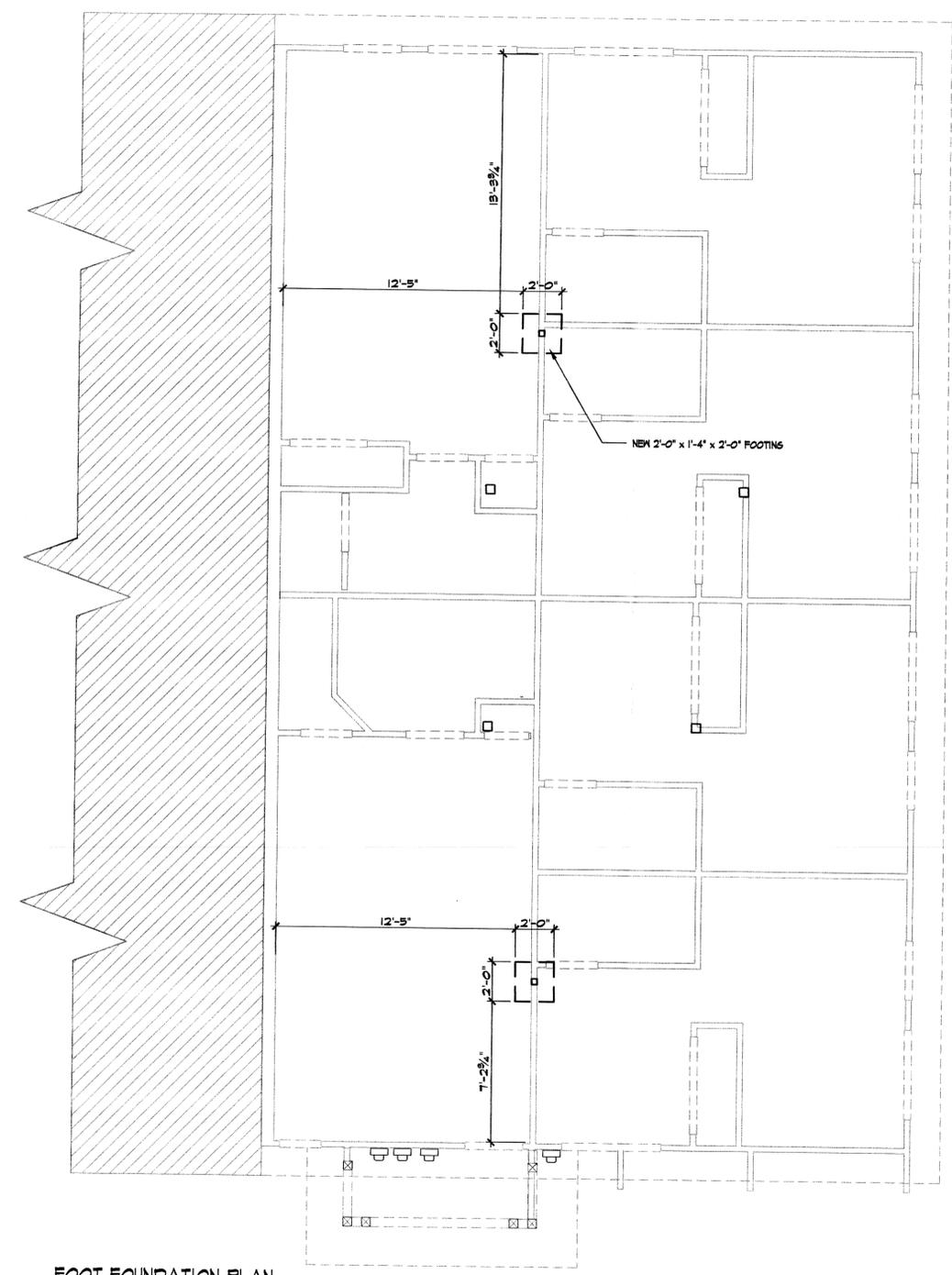
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040313-14

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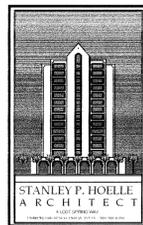


**EXISTING BEAM LOCATION**  
SCALE: 1/4"=1'-0"



**FOOT FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

REVISION	BY



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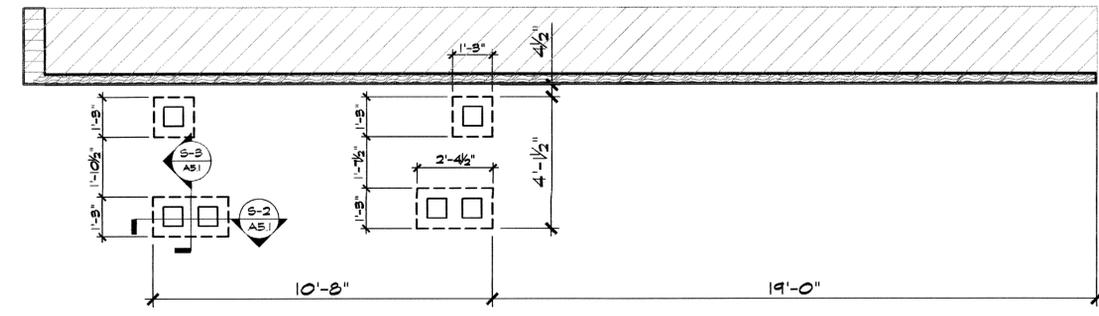
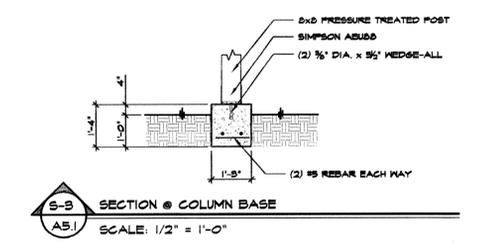
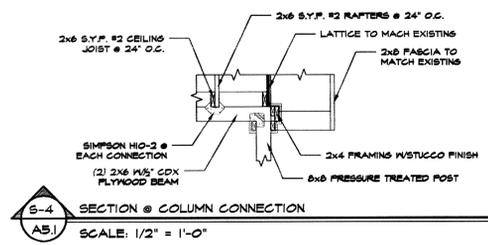
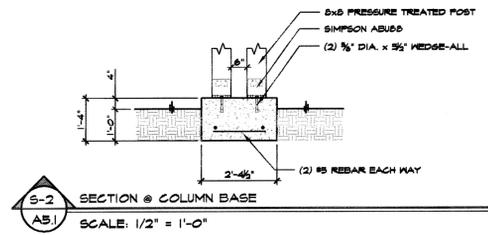
*[Signature]*  
 STANLEY P. HOELLE  
 ARCHITECT HANSBERRY33  
 4 LOST SPRING WAY  
 ORLANDO BEACH FL 32814

DATE:  
 06/05/13

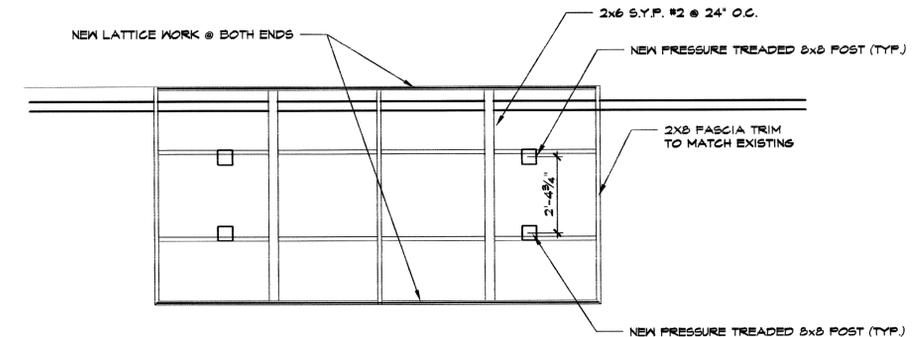
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 040313-14

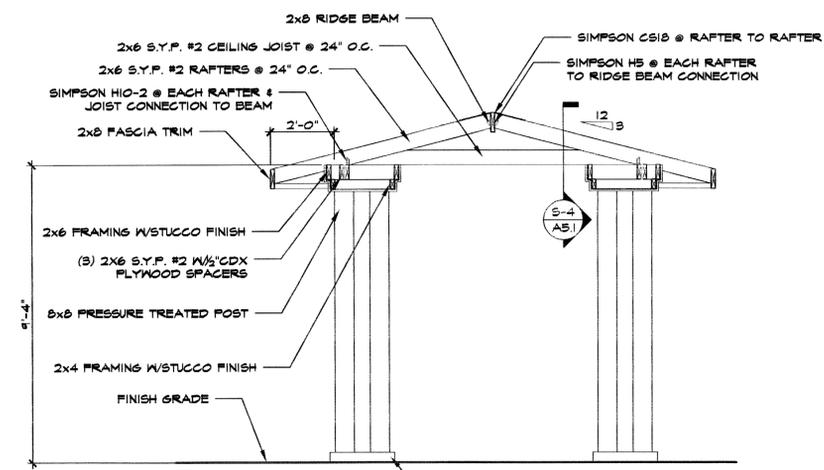
**A5.1**  
 OF - 9 SHEETS



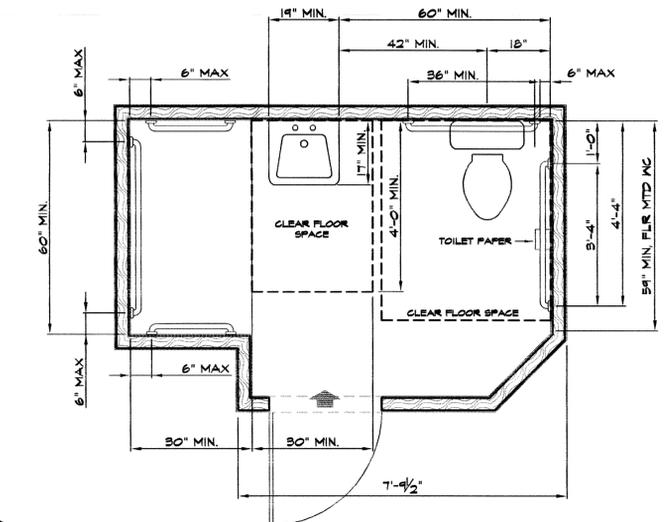
**COLUMN LAYOUT - FOOTINGS**  
 SCALE: 3/8" = 1'-0"



**ELEVATION - TOP VIEW**  
 SCALE: 3/8" = 1'-0"



**S-1 SECTION**  
 A5.1 SCALE: 3/8" = 1'-0"

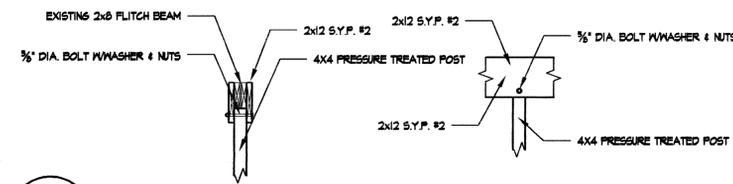


**D-3 DETAIL @ HANDICAPPED BATHROOM**  
 A5.0 SCALE: 1/2" = 1'-0"

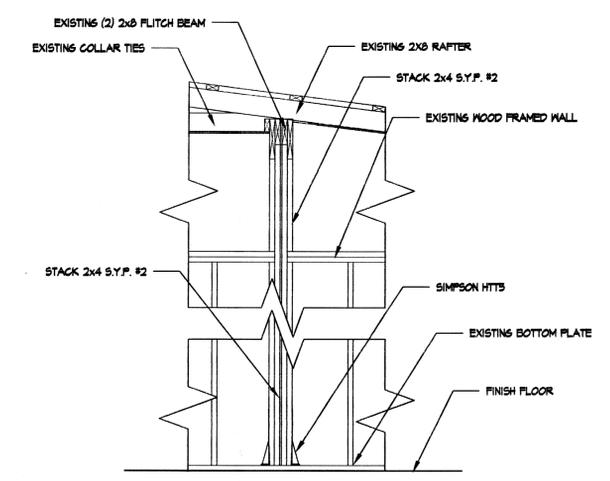
**WOOD HEADER CHART**  
 HEADER SPANS FOR EXTERIOR BEARING WALLS  
 (MAXIMUM HEADER SPANS FOR DOUGLASS FIR-LARCH, HEM-FIR, SOUTHERN PINE, AND SPRUCE-PINE-FIR AND REQUIRED NUMBER OF JACK STUDS)

HEADERS SUPPORT	SIZE	BUILDING WIDTH B (ft)					
		20		25		36	
ROOF CEILING	2-2x4	3-6	1	3-2	1	2-10	1
	2-2x6	5-5	1	4-6	1	4-2	1
	2-2x8	6-10	1	5-10	2	5-4	2
	2-2x10	8-5	2	7-9	2	6-6	2
	2-2x12	9-9	2	8-5	2	7-6	2
	3-2x6	8-4	1	7-5	1	6-6	1
	3-2x10	10-6	1	9-1	2	8-2	2
	3-2x12	12-2	2	10-7	2	9-5	2
	4-2x6	9-2	1	8-4	1	7-6	1
	4-2x10	11-8	1	10-6	1	9-5	2
	4-2x12	14-1	1	12-2	2	10-11	2

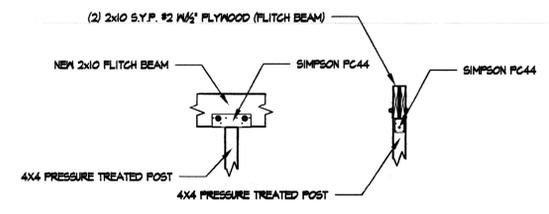
NOTES:  
 NJ-NUMBER OF JACK STUDS REQUIRED TO SUPPORT EACH END, WHERE THE NUMBER OF REQUIRED JACK STUDS EQUALS 1, THE HEADER MAY BE SUPPORTED BY A FRAMING ANCHOR ATTACHED TO THE FULL-HEIGHT WALL STUD.  
 1. SPANS ARE GIVEN IN FEET AND INCH (1/4-IN).  
 2. TABULATED VALUES ASSUME #2 GRADE LUMBER.  
 3. BUILDING WIDTH IS MEASURED PERPENDICULAR TO THE RIDGE, FOR WIDTHS BETWEEN THOSE SHOWN, SPANS MAY BE INTERRELATED.  
 4. MAXIMUM LOADS: ROOF DEAD LOAD OF 20 psf AND LIVE LOAD OF 20 psf, FLOOR DEAD LOAD OF 10 psf AND LIVE LOAD OF 40 psf, AND WALL DEAD LOAD OF 11 psf.



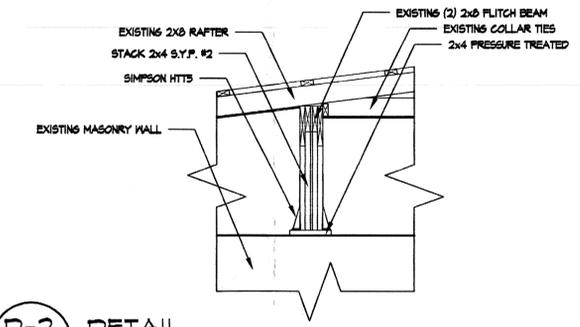
**D-4** DETAIL  
**A5.2** SCALE: 1/2" = 1'-0"



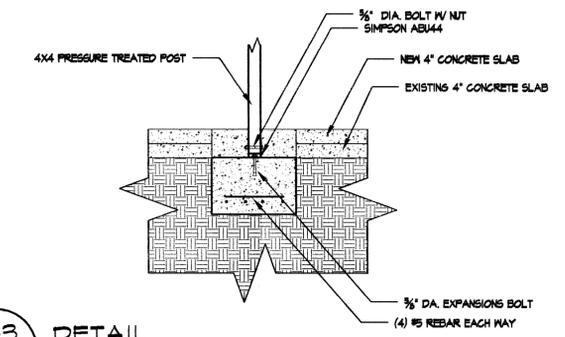
**D-1** DETAIL  
**A5.2** SCALE: 1/2" = 1'-0"



**D-5** DETAIL  
**A5.2** SCALE: 1/2" = 1'-0"



**D-2** DETAIL  
**A5.2** SCALE: 1/2" = 1'-0"



**D-3** DETAIL  
**A5.2** SCALE: 1/2" = 1'-0"

REVISION	BY



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**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

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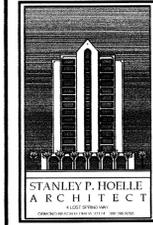
*[Signature]*  
 STANLEY P. HOELLE  
 ARCHITECT, #A000000033  
 4 LOST SPRING WAY  
 ORMOND BEACH FL, 32114

DATE:  
 09/20/11

DRAWN BY:  
 DHEATH

JOB NUMBER:  
 040313-14

REVISION	BY



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 912 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

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*[Signature]*  
 STANLEY P. HOELLE  
 ARCHITECT, 448009033  
 4 LOST SPRING WAY  
 ORSOND BEACH FL 32174

DATE: 06/05/13

DRAWN BY: DHEATH

JOB NUMBER: 040313-14

**DE1.0**  
 OF - SHEETS

### ELECTRICAL SYMBOLS

#### LIGHTING/EXHAUST FANS

- WALL MOUNT SCONCE FIXTURE
- CAN LIGHT FIXTURE
- CEILING MOUNT LIGHT FIXTURE
- WALL MOUNT LIGHT FIXTURE
- PADDLE FAN
- PADDLE FAN W/LIGHT KIT
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBO
- INTERCOM
- FLUORESCENT LIGHT FIXTURE
- UNDER CABINET LIGHTING
- ELECTRICAL PANEL
- FLOOD LIGHTS, WALL MOUNT
- EMERGENCY (2 TUBE, SURFACE MTD.)

#### SWITCHES

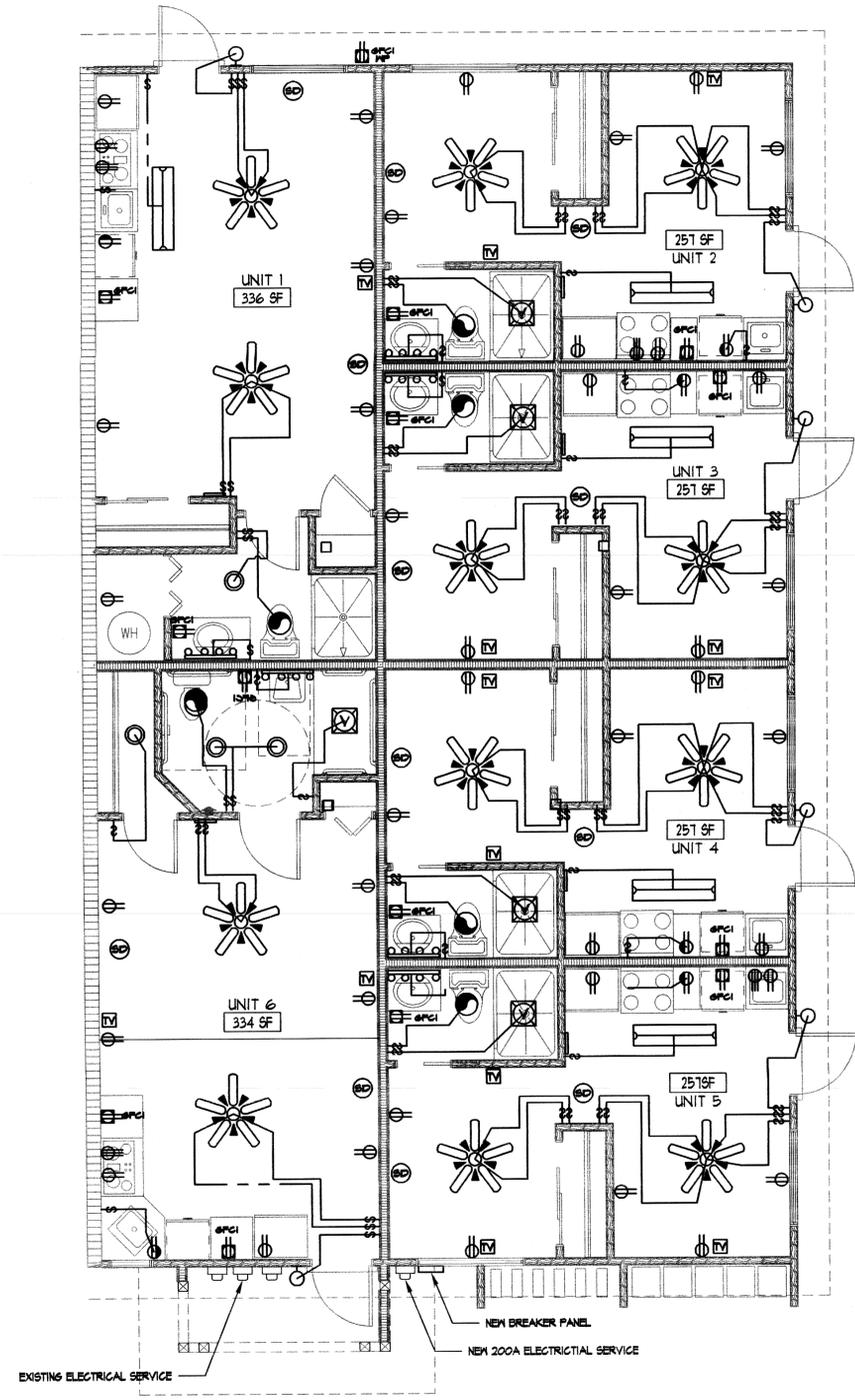
- SWITCH
- 3-WAY SWITCH.
- 4-WAY SWITCH.
- DIMMER SWITCH.

#### OUTLETS

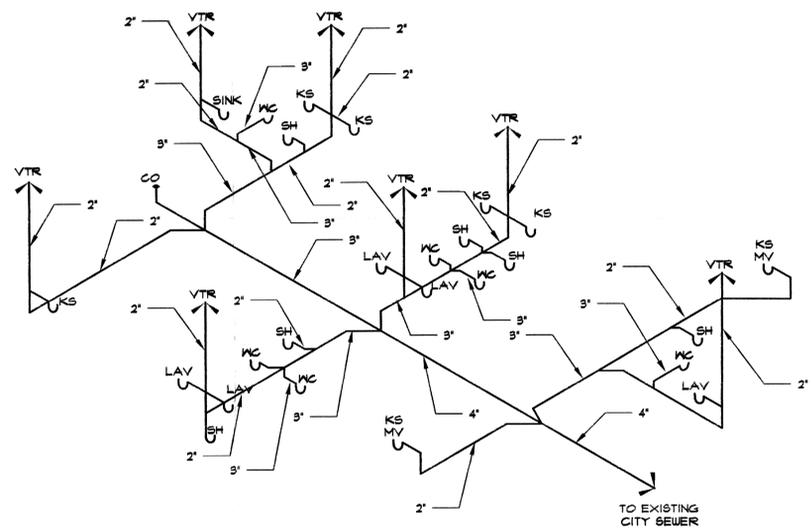
- 110 V CONV DUPLEX OUTLET
- 110 V CONV DUPLEX OUTLET HALF HOT/HALF SWITCH
- 220V OUTLET
- 220V WITH A/C DISCONNECT
- GROUND FAULT INTERRUPTED DUPLEX OUTLET
- WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET
- JUNCTION BOX

#### GENERAL ELECTRICAL

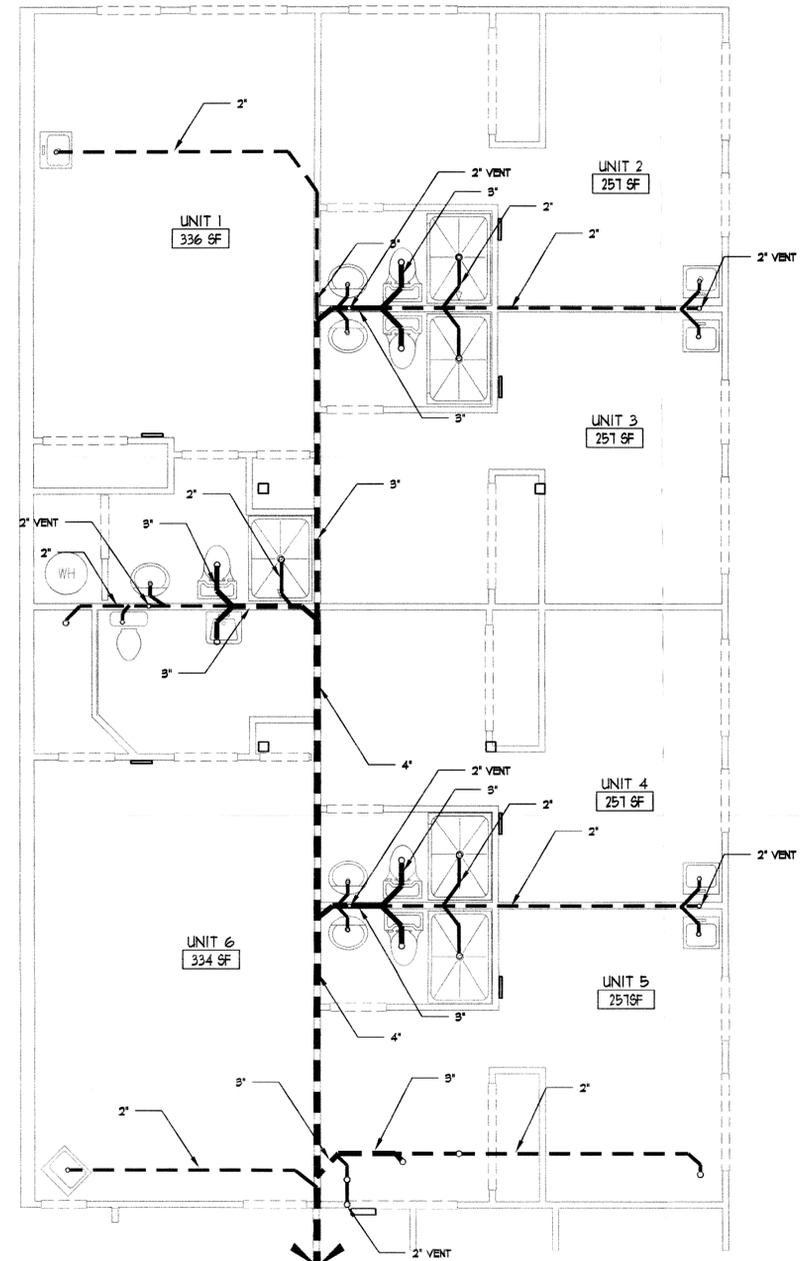
- DOORBELL
- GARAGE DOOR OPENER
- SMOKE DETECTOR HARD WIRE INTO ELECTRICAL, W/BATTERY BACKUP, DETECTORS
- TELEPHONE JACK
- VACUUM (POWER OUTLET)
- THERMOSTAT



FLOOR PLAN - ELECTRICAL  
 SCALE: 1/4"=1'-0"

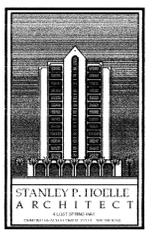


PLUMBING - ISOMETRIC  
 SCALE: 1/4"=1'-0"



TO EXISTING 4" SEWER  
 FLOOR PLAN - PLUMBING - SANITARY  
 SCALE: 1/4"=1'-0"

REVISION	BY



These plans have been drawn to the best of the Architect's ability to meet the specifications of the client. The Architect does not warrant the accuracy of all dimensions, details and specifications. The Architect's responsibility is limited to the design and construction of the plumbing and sanitary systems shown on these plans. The Architect is not responsible for the construction of the plumbing and sanitary systems shown on these plans without the written consent of the Architect.

**TED & MARGE BARNHILL**  
 312 SOUTH THIRD STREET  
 FLAGLER BEACH, FLORIDA

SEAL  
 THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7-10 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 140 MPH WIND FORCE THIS IS WITH THE FLORIDA BUILDING CODES 2010

*[Signature]*  
 STANLEY P. HOELLE  
 ARCHITECT #ARB00029333  
 4 LOST SPRING WAY  
 ORYOND BEACH FL 32114

DATE:  
 06/05/13

DRAWN BY:  
 DHEATH

JOB NUMBER:  
 040313-14



## 37 Zoning District Schedule of Lot, Density, Yard, Height &amp; Lot Coverage Requirements

Zoning District	Min. Lot Size (Sq. Ft.)	Min. Lot Width at Building Setback Line (Feet)	Min. Lot Depth (Feet)	Density Sq. Ft. Per Dwelling Unit	Min. Front Yard (Feet)	Min. Side Yard (Feet) (See Note 1)	Min. Rear Yard (Feet) (See Note 2)	Max. Building Height (Feet)	Max. Lot Coverage (% of Total Area of Lot)
Preservation (See Note 3)									
Conservation (See Note 4)									
SFR Single-family Residential (See Note 5)	7500	75 (except for lots of record)	100	7500	25	10% of lot width (See also Note 6)	10	35	40 (See Note 7)
LDR Low Density Residential (See Note 5)	7500	75 (except for lots of record)	100	7500 for single-family 3750 for two family	25	10% of lot width	10	35	40
MDR Medium Density Residential (See Note 5)	Single-family Lot 7500	75 (except for lots of record)	100	7500	25	10% of lot width	10	35	40
MDR	Two Family Lot 7500	75	100	3750	25	10% of lot width with 5' minimum	10	35	40
MDR	Townhouse Project Lot Size 10,000	100	90	3000	25	10% of lot width with 10' minimum	25	35	40
MDR	Multi-Family Project Lot Size 9000	100	75	3000	25	10% of lot width with 10' minimum	25	35	30
MDR	Other Uses 7500	75	100	3000	25	10% of lot width with 10' minimum	25	35	30
TC Tourist Commercial	4000	50	80	650	25	Minimum of 10 Ft.	10	35	90 (See Note 12)
GC General Commercial	4000	50	80	N/A, except when use is residential, then MDR Schedule 2 area/dwelling unit (sq. ft.) shall apply.	25 if parking provided: 10 if not	None, except along A1A is 10% of lot width	10	35	90
HC Highway Commercial	21,780	150	N/A	N/A	20	10 (See Note 8)	15 (See Note 9)	35	65
LI Light Industrial	10,000	100	100	N/A	30	35/15	30	35	40

55 Note 1. For corner lots minimum setback, see Section 2.05.03.1.

56 Note 2. Twenty-five (25) feet if abutting street.

57 Note 3. All development shall be consistent with the Comprehensive Plan's Preservation  
58 Overlay.

59 Note 4. All development shall be consistent with the Comprehensive Plan's Limited  
60 Development Overlay and Section 2.07.00 of this Code.

61 Note 5. In computing the setback requirements in all residential zoning districts,  
62 landowners may combine one (1) or more lots of record to construct a single residential  
63 unit on the lot. All setbacks shall be computed from the perimeter of the property.

64 Note 6. On those single-family residential lots which are irregular in shape, said setback  
65 shall be determined by using the mid-point of the lot to determine width and then such  
66 side setback shall be determined as ten (10) percent of the lot width.

67 Note 7. In the Mirror Lake Watershed Overlay District no more than fifty (50) percent of  
68 a property shall be deemed impervious including all but not limited to structures,  
69 driveways, pools, sidewalks, accessory uses, landscape enhancements or appurtenances.  
70 The building official may and can require additional testing or engineering, at the  
71 expense of the applicant.

72 Note 8. Except where side yard is a corner lot wherein the minimum side yard shall be  
73 twenty (20) feet.

74 Note 9. Except where rear yard adjoins a residential zoned district wherein a minimum  
75 setback of thirty (30) feet shall be required.

76 Note 10. Also refer to the requirements of Section 2.04.02.12, Combined Use Building  
77 Regulations and the Downtown A1A Retail Corridor Design Guidelines.

78 Note 11. Also refer to the requirements of Section 2.04.02.12, Combined Use Building  
79 Regulations and the Downtown Mixed-Use Overlay District Guidelines.

80 Note 12. Single-family residential use shall have a maximum lot coverage of 40 percent.

81 \*\*\*

82 **SECTION THREE. Codification.** It is the intent of the City Commission of the City of  
83 Flagler Beach that the provisions of this Ordinance shall be codified. The codifier is  
84 granted broad and liberal authority in codifying the provisions of this Ordinance.

85  
86 **SECTION FOUR. Conflicts.** Conflicts. In any case where a provision of this Ordinance  
87 is found to be in conflict with a provision of any other ordinance of this City, the  
88 provision which establishes the higher standards for the promotion and protection of the  
89 health and safety of the people shall prevail.

90  
91 **SECTION FIVE. Effective date.** This Ordinance shall take effect immediately upon  
92 adoption as provided by the Charter of the City of Flagler Beach.

93  
94 PASSED ON FIRST READING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2013.

95  
96 PASSED AND ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2013.

97  
98  
99 CITY OF FLAGLER BEACH, FLORIDA  
100 CITY COMMISSION

101  
102  
103 \_\_\_\_\_  
104 Linda Provencher, Mayor

105 ATTEST:  
106 \_\_\_\_\_  
107 Penny Overstreet, City Clerk

108  
109