

City of Flagler Beach

Planning and Architectural Review Board

Tuesday, October 1, 2013 at 5:30 p.m.

City Hall Commission Chambers

Agenda

1. Call the meeting to order.
2. Call the roll.
3. Pledge of Allegiance.
4. Approve the minutes of the Regular Meeting of September 3, 2013.
5. Old Business:
 - A. Discussion and recommendation of an ordinance of the City of Flagler Beach, Florida, amending Section 2.04.02.9, Zoning Schedule Two Lot, Yard and Bulk Regulation, of the *Land Development Regulations* to add dimensional requirements for single- and two-family dwelling units and reduce the side yard setbacks for other uses in the TC, Tourist Commercial zoning district; providing for codification, conflicts, and an effective date.
6. New Business:
 - A. Application #VAR 13-10-01
Variance to allow a residential structure setback 15' from the west property line and setback 1' from the north property line.
Applicant: Daniel Fredrick Kreglo
2205 South Daytona Avenue
Property Owner: Daniel Fredrick Kreglo
 - B. Application #AP 13-10-01
Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations.
Applicant: John D. Minaberry, President Keystone Homes
1335 South Central Avenue
Property Owner: James Hilary and Amy Wuchner McBrayer
 - C. Application #SP 13-10-01
Site Plan Review for Boardwalk and Overlook Structures.
Applicant: City of Flagler Beach
East Side of Ocean Shore Boulevard between 5th Street North and 9th Street South
Property Owner: City of Flagler Beach
7. PARB Member Comments.
8. Adjournment.



RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript, or you may buy a CD of the meeting for \$3.00 at the City Clerk's office. Copies of CDs are only made upon request. The City is not responsible for any mechanical failure of the recording equipment.

In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext. 235 at least 72 hours prior to the meeting.

Please take notice that individual Elected Officials of the City of Flagler Beach may attend this meeting. Those Elected Officials who attend will not take any action or take any vote at this committee meeting. This is not an official meeting of the Flagler Beach City Commission. This notice is being provided to meet the spirit of the Sunshine Law to inform the public that Elected Officials may be present at this committee meeting.

Posted September 25, 2013

Planning and Building Department

P.O. Box 70 • 116 3rd Street South, Flagler Beach, Florida 32136 • Phone (386) 517-2000 • Fax (386) 517-2016

FLAGLER BEACH PLANNING AND ARCHITECTURAL REVIEW BOARD
TUESDAY, SEPTEMBER 3, 2013 AT 5:30 P.M
MINUTES

PRESENT: Lea Stokes, Roseanne Stocker, Joseph Pozzuoli, Dan Bayerl

STAFF: Planner Chad Lingenfelter, Attorney Virginia Cassady, Deputy City Clerk Kate Settle

ABSENT: Alice Baker, Don Deal, Cathy Feind

1. CALL THE MEETING TO ORDER: Ms. Stocker called the meeting to order at 5:30 p.m.
2. CALL THE ROLL: Ms. Settle called the roll.
3. PLEDGE OF ALLEGIANCE. Dan Bayerl led the pledge to the flag.
4. APPROVE THE MINUTES OF THE REGULAR MEETING OF AUGUST 6, 2013: **Motion** by Lea Stokes, seconded by Dan Bayerl, to approve the minutes. The **motion** carried unanimously.
5. NEW BUSINESS:
 - A. APPLICATION #OE 13-09-01
OUTDOOR ENTERTAINMENT TO ALLOW AMPLIFIED AND NON-AMPLIFIED EVENTS CONSISTING OF MUSIC, SPOKEN WORDS AND/OR OTHER FORMS OF ENTERTAINMENT ON THE SUBJECT PROPERTY IN THE GC, GENERAL COMMERCIAL ZONING DISTRICT.
APPLICANT: TYLER ECKER FOR BREAK-AWAYZ @ THE BEACH
819 NORTH OCEAN SHORE BOULEVARD
PROPERTY OWNER: D & N MGMT., LLC

Mr. Lingenfelter reviewed the history of the item. Tyler and Neal Ecker described the location of where they intend to have live music and the location of the speakers. The location of the speaker located over the pool table area was discussed at length. The Noise Ordinance was reviewed with the applicants by staff. The public hearing was opened. The following citizens came forward to express their concerns, opinions and suggestions: Christie Michael, Lynn Tyler and Jessica Tyler. Discussion continued and included not giving the outdoor entertainment permit until the CO issued; sound barrier materials; completion of landscaping. The Board reviewed the discussion. **Motion** by Lea Stokes, seconded by Joseph Pozzuoli, that we approve the application for outdoor entertainment with the understanding that all of the site improvements required for the issuance of a CO are complete, including the six foot fence on the west side property line, the landscaping along the south side property line and that the live entertainment be contained to the east side of the building and that one speaker, facing east, with

no live entertainment be allowed on the south side deck. The **motion** carried unanimously.

6. OLD BUSINESS:

- A. DISCUSSION AND RECOMMENDATION OF AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING SECTION 2.06.06 OF THE LAND DEVELOPMENT REGULATIONS TO MODIFY THE LIST OF SITE PLAN REVIEW FINDINGS INTO MULTI-FAMILY AND MOTEL STRUCTURE STANDARDS; AMENDING SECTIONS 8.00.01, 8.00.11, AND 8.04.12 OF THE LAND DEVELOPMENT REGULATIONS TO EXCLUDE TWO-FAMILY DWELLING UNITS FROM ARCHITECTURAL APPROVALS; AMENDING SECTION 8.00.15 OF THE LAND DEVELOPMENT REGULATIONS TO MODIFY THE LIST OF REASONS FOR SITE PLAN DENIAL BY THE PLANNING AND ARCHITECTURAL REVIEW BOARD; ADDING SECTION 8.05.00 TO THE LAND DEVELOPMENT REGULATIONS TO PROVIDE THE STANDARDS AND CONDITIONS ESSENTIAL TO ENSURE THAT SITE PLAN APPLICATIONS CONTAIN SUFFICIENT INFORMATION FOR REVIEW AND APPROVAL; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE: Ms. Stocker read the item into the record. Mr. Lingenfelter reported the City Commission passed the ordinance on first reading with changes on July 11th. He was directed by the City Manager to approach the PAR Board with a recent project that is near completion in the City but because of the nature being a "renovation;" it did not require PAR Board or Commission review. He asked if a similar situation would occur would they like to see this type of project included in the ordinance that will be going before the Commission for second reading. Ms. Stokes spoke of why the project is under such scrutiny by the public and the perception of another project being a rather small but the fees attached being much more than the most current project. Mr. Lingenfelter explained one was considered an expansion while the other was not going outside the footprint of the building and therefore, considered a renovation. Discussion included PAR Board reviewing duplexes, parking requirements and the Central Business Exclusion; permitting for another type of business; the business becoming a multi-family building, not condos; and the proposed fee schedule. The public hearing was opened. No comments were received. The public hearing was closed. **Motion** by Joseph Pozzuoli, seconded by Lea Stokes, that a change or conversion of commercial to a multi-family become a major site plan review but it has a tiered application fee because it is an existing structure. The **motion** carried unanimously.
- B. DISCUSSION AND RECOMMENDATION OF AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING SECTION 2.04.02.9, ZONING SCHEDULE TWO LOT, YARD AND BULK REGULATION, OF THE LAND DEVELOPMENT REGULATIONS TO ADD DIMENSIONAL REQUIREMENTS FOR SINGLE-FAMILY DWELLING UNITS IN THE TC, TOURIST COMMERCIAL ZONING DISTRICT; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE: Ms. Stocker read the

item into the record. Mr. Lingenfelter spoke of his meetings with Attorney Smith when drafting the current language regarding a structure being built in Tourist Commercial with a Single Family Use. Their decision was to add the following wording: "Single Family Residential Use shall have a maximum lot coverage of 40%." He explained what the wording does and does not do. The public hearing was opened. No comments were received. The public hearing was closed. Motion by Lea Stokes, seconded by Dan Bayerl, to approve this as presented by staff.

7. PARB MEMBER COMMENTS: No comments were received.

8. ADJOURNMENT: **Motion** by Lea Stokes, seconded by Dan Bayerl, to adjourn at 6:56 p.m. The **motion** carried unanimously.

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ORDINANCE 2013-13

AN ORDINANCE OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING SECTION 2.04.02.9, ZONING SCHEDULE TWO LOT, YARD AND BULK REGULATION, OF THE LAND DEVELOPMENT REGULATIONS TO ADD DIMENSIONAL REQUIREMENTS FOR SINGLE- AND TWO-FAMILY DWELLING UNITS AND REDUCE THE SIDE YARD SETBACKS FOR OTHER USES IN THE TC, TOURIST COMMERCIAL ZONING DISTRICT; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the Planning and Architectural Review Board has reviewed the proposed legislation and provided recommendations to the City Commission; and

WHEREAS, the City Commission of the City of Flagler Beach held a duly noticed public hearing on the proposed amendment set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments, and after complete deliberation, hereby finds the zoning amendment consistent with the *City of Flagler Beach Comprehensive Plan*, and that sufficient, competent, and substantial evidence supports the zoning amendment set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Flagler Beach, Florida.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA, AS FOLLOWS:

SECTION ONE. The findings set forth in the recitals above are hereby adopted as legislative findings of the City Commission pertaining to this Ordinance.

SECTION TWO. Article II, "Zoning," of the *City of Flagler Beach Land Development Regulations* is hereby amended as set forth below:

ARTICLE II. ZONING

Section 2.04.02.9. Zoning Schedule Two Lot, Yard and Bulk Regulation.

38 Zoning District Schedule of Lot, Density, Yard, Height & Lot Coverage Requirements

Zoning District	Min. Lot Size (Sq. Ft.)	Min. Lot Width at Building Setback Line (Feet)	Min. Lot Depth (Feet)	Density Sq. Ft. Per Dwelling Unit	Min. Front Yard (Feet)	Min. Side Yard (Feet) (See Note 1)	Min. Rear Yard (Feet) (See Note 2)	Max. Building Height (Feet)	Max. Lot Coverage (% of Total Area of Lot)
Preservation (See Note 3)									
Conservation (See Note 4)									
SFR Single-family Residential (See Note 5)	7500	75 (except for lots of record)	100	7500	25	10% of lot width (See also Note 6)	10	35	40 (See Note 7)
LDR Low Density Residential (See Note 5)	7500	75 (except for lots of record)	100	7500 for single-family 3750 for two family	25	10% of lot width	10	35	40
MDR Medium Density Residential (See Note 5)	Single-family Lot 7500	75 (except for lots of record)	100	7500	25	10% of lot width	10	35	40
MDR	Two Family Lot 7500	75	100	3750	25	10% of lot width with 5' minimum	10	35	40
MDR	Townhouse Project Lot Size 10,000	100	90	3000	25	10% of lot width with 10' minimum	25	35	40
MDR	Multi-Family Project Lot Size 9000	100	75	3000	25	10% of lot width with 10' minimum	25	35	30
MDR	Other Uses 7500	75	100	3000	25	10% of lot width with 10' minimum	25	35	30
<u>TC Tourist Commercial</u>	<u>Single- or Two-Family Lot 7500</u>	<u>75 (except for lots of record)</u>	<u>100</u>	<u>7500 for Single-Family 3750 for Two-Family</u>	<u>25</u>	<u>10% of lot width</u>	<u>10</u>	<u>35</u>	<u>40 (See Note 7)</u>
TC Tourist Commercial	Non Single- or Two-Family Lot 4000	50	80	650	25	Minimum of 40 <u>7.5'</u>	10	35	90
GC General Commercial	4000	50	80	N/A, except when use is residential, then MDR Schedule 2 area/dwelling unit (sq. ft.) shall apply.	25 if parking provided; 10 if not	None, except along A1A is 10% of lot width	10	35	90
HC Highway Commercial	21,780	150	N/A	N/A	20	10 (See Note 8)	15 (See Note 9)	35	65
LI Light Industrial	10,000	100	100	N/A	30	35/15	30	35	40

57 Note 1. For corner lots minimum setback, see Section 2.05.03.1.

58 Note 2. Twenty-five (25) feet if abutting street.

59 Note 3. All development shall be consistent with the Comprehensive Plan's Preservation
60 Overlay.

61 Note 4. All development shall be consistent with the Comprehensive Plan's Limited
62 Development Overlay and Section 2.07.00 of this Code.

63 Note 5. In computing the setback requirements in all residential zoning districts,
64 landowners may combine one (1) or more lots of record to construct a single residential
65 unit on the lot. All setbacks shall be computed from the perimeter of the property.

66 Note 6. On those single-family residential lots which are irregular in shape, said setback
67 shall be determined by using the mid-point of the lot to determine width and then such
68 side setback shall be determined as ten (10) percent of the lot width.

69 Note 7. In the Mirror Lake Watershed Overlay District no more than fifty (50) percent of
70 a property shall be deemed impervious including all but not limited to structures,
71 driveways, pools, sidewalks, accessory uses, landscape enhancements or appurtenances.

72 The building official may and can require additional testing or engineering, at the
73 expense of the applicant.

74 Note 8. Except where side yard is a corner lot wherein the minimum side yard shall be
75 twenty (20) feet.

76 Note 9. Except where rear yard adjoins a residential zoned district wherein a minimum
77 setback of thirty (30) feet shall be required.

78 Note 10. Also refer to the requirements of Section 2.04.02.12, Combined Use Building
79 Regulations and the Downtown A1A Retail Corridor Design Guidelines.

80 Note 11. Also refer to the requirements of Section 2.04.02.12, Combined Use Building
81 Regulations and the Downtown Mixed-Use Overlay District Guidelines.

82 ***

83 **SECTION THREE. Codification.** It is the intent of the City Commission of the City of
84 Flagler Beach that the provisions of this Ordinance shall be codified. The codifier is
85 granted broad and liberal authority in codifying the provisions of this Ordinance.

86
87 **SECTION FOUR. Conflicts.** Conflicts. In any case where a provision of this Ordinance
88 is found to be in conflict with a provision of any other ordinance of this City, the
89 provision which establishes the higher standards for the promotion and protection of the
90 health and safety of the people shall prevail.

91

92 **SECTION FIVE. Effective date.** This Ordinance shall take effect immediately upon
93 adoption as provided by the Charter of the City of Flagler Beach.

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95 PASSED ON FIRST READING THIS ____ DAY OF _____, 2013.

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97 PASSED AND ADOPTED THIS ____ DAY OF _____, 2013.

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CITY OF FLAGLER BEACH, FLORIDA
CITY COMMISSION

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Linda Provencher, Mayor

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ATTEST:

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Penny Overstreet, City Clerk

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City of Flagler Beach

TO: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #VAR 13-10-01 – 2205 South Daytona Avenue Variance

DATE: September 25, 2013

Applicant and Property Owner: Daniel Fredrick Kreglo, 2805 South Daytona Avenue, Flagler Beach, Florida 32136

Property: 2205 South Daytona Avenue – 19-12-32-4400-00020-0420

Future Land Use: Low Density Residential

Zoning District: R-1(MLWO), Single-Family Residential (Mirror Lake Watershed Overlay)

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Section 8.04.16., Variances*, the applicant is requesting variances from the *City of Flagler Beach Land Development Regulations Section 2.04.02.9. Zoning District Schedule Two: Lot, Density, Yard, Height and Lot Coverage Requirements* to permit a ten (10) foot front yard variance to allow a residential structure setback 15 feet from the west property line and a 3.5 foot side yard variance to allow a residential structure setback one (1) foot from the north property line. The subject property is zoned as R-1(MLWO), Single-Family Residential (Mirror Lake Watershed Overlay), contains approximately 0.16 acre, and is generally located southeast of the intersection of 22nd Street South and South Daytona Avenue. The subject property is occupied with a 1,628 square foot single-family dwelling.

Analysis

The Planning and Architectural Review Board shall recommend such variances as will not be contrary to the public interest and where, owing to special conditions a literal enforcement of the provisions of this ordinance will result in unnecessary and undue hardships. In order to recommend any variance from the terms of this ordinance the Planning and Architectural Review Board must and shall find each of the following criteria is met by the applicant, and the Board's written findings shall be sent to the City Commission. The applicant prepared responses to each of the prescribed criteria and are as follows:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;

“The special conditions and circumstances which are peculiar to this property

are a uniquely Unusual Pre-existing building on irregular lot that takes away from the desirability of the neighborhood. The proposed changes will bring the property to current standards of the homes in the area."

2. That the special conditions and circumstances do not result from the action of the applicant;

"I am not responsible for the special conditions and circumstances. This property was purchased by applicant on August 1st 2013 in poor condition with the hope and intention of bringing it to the standards of the rest of the neighborhood."

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district;

"I do not feel that granting this variance will give me any special privileges due to the unique situation of the home and irregularity of the lot I do not believe a similar situation could exist."

4. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant;

"I fell it would be an unnecessary and undue hardship if the home could not be properly and adequately renovated to fit in with the neighborhood and the needs of the family. This renovation will drastically improve the look and functionality of the home and no longer be an eye-sore to the community."

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

"I am asking for the minimal variance necessary to successfully turn this eye-sore into a home that fits into this community: as shown by these drawings."

6. That the grant of the variance will be in harmony with the general intent and purpose of this ordinance, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

"The granting of the variance can only be good for the aesthetics and property values of the neighborhood. One of Flagler Beaches biggest eye-sores will be fixed and no longer bring down the property values of this area."

The subject property is a lot of record that was platted on February 20, 1947. The irregular shape of this lot was dictated by the convergence of 50 foot wide lots platted perpendicular to the ocean and the north line of Section 19. The subject property is approximately 42 feet wide at the midpoint. Therefore the side yard setbacks in the R-1 zoning district are ten percent (10%) of the lot width, or 4.2 feet for the subject property.

The applicant's application includes drawings that depict new exterior walls proposed along the present front building line but within the front yard setback, a gable roof on walls that are within the front and north side yard setbacks, and a post and beam structure for the trusses within the north side yard setback. This would result in a single-family dwelling unit with 2,008 square feet of living area. According to Section 2.06.08.0(3), Regulation of Nonconforming Structures., "[n]o nonconforming structure shall be enlarged, increased or expanded in a way that increases the structure's

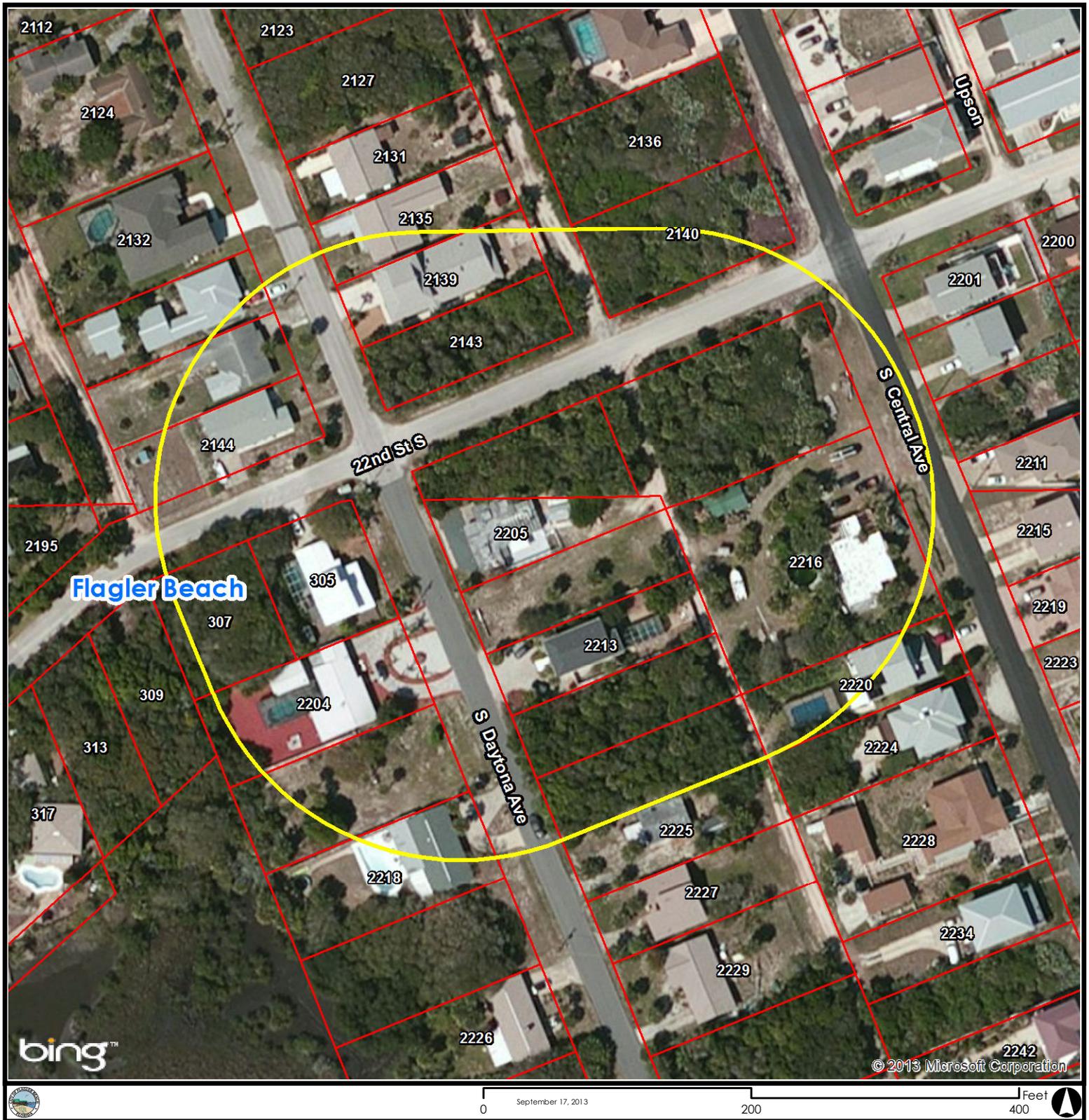
nonconformity," "[w]hen any nonconforming structure is destroyed by any means to an extent greater than seventy-five (75) percent of the structure's assessed value the structure shall not be rebuilt unless rebuilt in full compliance with all provisions of this Land Development Code," and "[n]ormal maintenance, repair and incidental alteration of a nonconforming structure is permitted, provided such maintenance, repair and incidental alteration does not enlarge, increase or expand the structure's nonconformity. A nonconforming residential structure may be altered in any way to improve interior livability, provided, however, that no structural alterations shall be made which would increase the number of dwelling units." The applicant is proposing to enlarge the nonconforming structure in a way that would place more living area within the front yard setback but no closer to the west property line than the present west wall, substantially renovating the structure with demolition that may exceed 75 percent of the present assessed value, and the proposed renovation exceeds the allowed repair and incidental alteration. Therefore, the applicant is requesting variances to convert the nonconforming structure into a modern single-family dwelling.

After reviewing the applicant's submittal, staff concurs with the applicant's responses to the criteria.

Recommendation

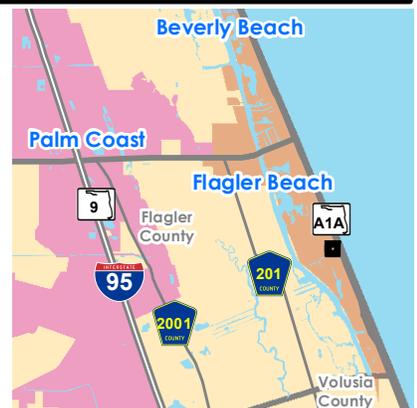
Staff recommends that the Planning and Architectural Review Board recommend that the City Commission approve the requested variances for the subject property to allow a residential structure setback 15 feet from the west property line and setback one (1) foot from the north property line.

- Enclosures:**
- Location Map
 - Variance Application Packet
 - Survey
 - Proposed Site Plan
 - Existing Elevations and Floor Plan
 - Proposed Elevations and Floor Plan



Legend

-  200 Foot Radius of 2205 South Daytona Avenue
-  Incorporated Areas
-  Parcels



Sources: Flagler County Property Appraiser's Office and Florida Department of Transportation

The data contained in this map is provided "as is" without warranty or any representation of accuracy, timeliness, or completeness. The burden for determining accuracy, timeliness, completeness, merchantability, and fitness for, or the appropriateness for, the use rests solely with the requester. The City of Flagler Beach makes no warranties, expressed or implied, as to the appropriate use of the data contained in this map. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and is in a constant state of maintenance, correction, and update.



City of Flagler Beach
 P.O. Box 70 105 S. 2nd Street
 Flagler Beach, Florida 32136
 Phone (386) 517-2000 Fax (386) 517-2016

Zoning Variance – (ZV)

DATE: 9/3/13

PETITION NO.:

Pursuant to Section 8.05.13 of the Land Development Regulations, I hereby request a variance of the Zoning Code as described below:

PETITIONER: Daniel Fredrick Kreglo

ADDRESS: 2205 S. Daytona Ave PHONE NO.: 610 513 4763

OWNER OF SUBJECT PROPERTY: Daniel Fredrick Kreglo

ADDRESS: _____ PHONE NO.:

PETITIONER'S RELATION TO SUBJECT PROPERTY: Owner

ADDRESS/LEGAL DESCRIPTION: Section 19 Township 12 Range 32E Flagler County Fl

LOT: 42 BLOCK: 2 SUBDIVISION: Mobhs ZONING DISTRICT:

SECTION(S) OF THE CODE TO BE APPLIED FOR VARIANCE REQUEST: 2.04.02.9

ATTACH A JUSTIFICATION STATEMENT ADDRESSING ALL SIX CRITERIA FOR THIS VARIANCE REQUEST AS FOLLOWS: (See Attachment "A" Variance Standards.)

- | | |
|-------------------------------------|------------------------------|
| 1. Special conditions/circumstances | 4. Hardship |
| 2. Actions of Applicant | 5. Minimum variance |
| 3. Special privilege | 6. General intention purpose |

THIS IS TO CERTIFY THAT I AM THE OWNER OF THE SUBJECT PROPERTY DESCRIBED IN THIS VARIANCE PETITION. I HAVE READ THIS PETITION AND THE STATEMENTS CONTAINED HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNATURE OF PETITIONER: [Signature] DATE: 9/5/13



Owner Authorization

Property Address: 2205 S. Daytona Ave
Flagler Beach FL 32136

Parcel Id: 18-12-32-2750-0023A-0040

AS OWNER, I AUTHORIZE Dan Kreglo TO ACT AS MY AGENT IN THIS MATTER.
PRINT NAME, ADDRESS AND PHONE NUMBER OF REPRESENTATIVE, IF APPLICABLE.

NAME: Dan Kreglo ADDRESS: 2205 S. Daytona Ave

PHONE: 610-513-4763

STATE OF FLORIDA,
County of Flagler

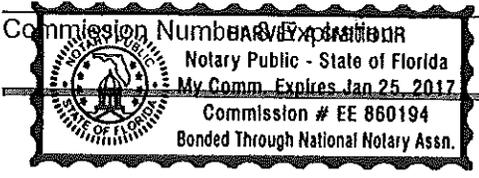
Subscribed and Sworn to (or affirmed) before me by

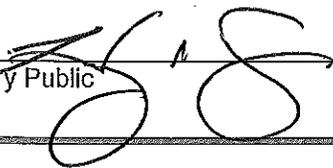

SIGNATURE OF OWNER

Daniel Kreglo
OWNER'S NAME (Print/Type)

2205 S. Daytona Ave Flagler Beach
ADDRESS (Street, City) & Phone Number 32136

This 4 day of SEPT, 2013. Who is personally known to me or has produced
FL DL as identification.




Notary Public

A. Settlement Statement

U.S. Department of Housing
and Urban Development

OMB No. 2502-0265

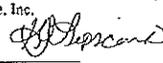
B. Type of Loan							
1. <input type="checkbox"/> FHA	2. <input type="checkbox"/> FmHA	3. <input type="checkbox"/> Conv Units	6. File Number FL12001691	7. Loan Number	8. Mortgage Ins Case Number		
4. <input type="checkbox"/> VA	5. <input type="checkbox"/> Conv Ins	6. <input type="checkbox"/> Seller Finance					
C. Note: This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "(p.o.e.)" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.							
D. Name & Address of Borrower Daniel Kreglo 605 West Main Street Pomona Park, FL 32181			E. Name & Address of Seller SunTrust Mortgage, Inc. 901 Semmes Ave Richmond, VA 23244		F. Name & Address of Lender CASH		
G. Property Location 2205 S Daytona Ave, Flagler Beach, FL 32136 2205 S Daytona Ave Flagler Beach, FL 32136				H. Settlement Agent Name McCalla Raymer, LLC 110 SE 6th Street, Ste #2400 Ft. Lauderdale, FL 33301 Tax ID: 58-2145201 Underwritten By: Stewart Title			I. Settlement Date 7/31/2013 Fund: 7/31/2013
J. Summary of Borrower's Transaction				K. Summary of Seller's Transaction			
100. Gross Amount Due from Borrower				400. Gross Amount Due to Seller			
101. Contract Sales Price	\$92,500.00			401. Contract Sales Price	\$92,500.00		
102. Personal Property				402. Personal Property			
103. Settlement Charges to borrower	\$464.50			403.			
104.				404.			
105.				405.			
Adjustments for items paid by seller in advance				Adjustments for items paid by seller in advance			
106. City property taxes				405. City property taxes			
107. County property taxes				407. County property taxes			
108. Assessment Taxes				408. Assessment Taxes			
109. School property taxes				409. School property taxes			
110. MUD taxes				410. MUD taxes			
111. Other taxes				411. Other taxes			
112.				412.			
113.				413.			
114.				414.			
115.				415.			
116.				416.			
120. Gross Amount Due From Borrower	\$92,964.50			420. Gross Amount Due to Seller	\$92,500.00		
200. Amounts Paid By Or in Behalf Of Borrower				500. Reductions in Amount Due to Seller			
201. Deposit or earnest money	\$10,000.00			501. Excess Deposit			
202. Principal amount of new loan(s)				502. Settlement Charges to Seller (line 1400)	\$7,341.38		
203. Existing loan(s) taken subject to				503. Existing Loan(s) Taken Subject to			
204. Loan Amount 2nd Lien				504. Payoff of first mortgage loan			
205.				505. Payoff of second mortgage loan			
206.				506.			
208.				508.			
209.				509.			
Adjustments for items unpaid by seller				Adjustments for items unpaid by seller			
210. City property taxes				510. City property taxes			
211. County property taxes 01/01/13 thru 07/30/13	\$1,207.84			511. County property taxes 01/01/13 thru 07/30/13	\$1,207.84		
212. Assessment Taxes				512. Assessment Taxes			
213. School property taxes				513. School property taxes			
214. MUD taxes				514. MUD taxes			
215. Other taxes				515. Other taxes			
216.				516.			
217.				517.			
218.				518.			
219.				519.			
220. Total Paid By/For Borrower	\$11,207.84			520. Total Reduction Amount Due Seller	\$8,549.22		
300. Cash At Settlement From/To Borrower				600. Cash At Settlement To/From Seller			
301. Gross Amount due from borrower (line 120)	\$92,964.50			601. Gross Amount due to seller (line 420)	\$92,500.00		
302. Less amounts paid by/for borrower (line 220)	\$11,207.84			602. Less reductions in amt due seller (line 520)	\$8,549.22		
303. Cash From Borrower	\$81,756.66			603. Cash To Seller	\$83,950.78		
<p>Section 5 of the Real Estate Settlement Procedures Act (RESPA) requires the following:</p> <ul style="list-style-type: none"> • HUD must develop a Special Information Booklet to help persons borrowing money to finance the purchase of residential real estate to better understand the nature and costs of real estate settlement services; • Each lender must provide the booklet to all applicants from whom it receives or for whom it prepares a written application to borrow money to finance the purchase of residential real estate; • Lenders must prepare and distribute with the Booklet a Good Faith Estimate of the settlement costs that the borrower is likely to incur in connection with the settlement. These disclosures are mandatory. 				<p>Section 4(a) of RESPA mandates that HUD develop and prescribe this standard form to be used at the time of loan settlement to provide full disclosure of all charges imposed upon the borrower and seller. These are third party disclosures that are designed to provide the borrower with pertinent information during the settlement process in order to be a better shopper.</p> <p>The Public Reporting Burden for this collection of information is estimated to average one hour per response, including the time for reviewing instructions searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information.</p> <p>This agency may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.</p> <p>The information requested does not feed itself to confidentiality.</p>			

ALL TAXES/HOA/SEWER/UTILITY/SPECIAL ASSESSMENTS
 ETC SHOWN ON HUD & TITLE ARE FINAL. NO FURTHER PAYMENTS
 WILL BE DISBURSED BY SUNTRUST

I. Settlement Charges				Paid From	Paid From
				Borrower's	Seller's
				Funds at	Funds at
				Settlement	Settlement
700. Total Sales/Broker's Commission based on price	\$92,500.00	@ 5.5 % =	\$5,087.50		
Division of Commission (line 700) as follows:					
701. \$2,312.50	to	ReMax Property Center			
702. \$2,775.00	to	Atlantic Ocean Realty			
703. Commission Paid at Settlement			\$0.00		\$5,087.50
800. Items Payable in Connection with Loan					
801. Loan Origination Fee	%	to			
802. Loan Discount	%	to			
803. Appraisal Fee		to			
804. Credit Report		to			
805. Lender's Inspection Fee		to			
806. Mortgage Insurance Application		to			
807. Assumption Fee		to			
900. Items Required by Lender To Be Paid In Advance					
901. Interest from	7/31/2013	to	8/11/2013 @ \$0/day		
902. Mortgage Insurance Premium for months		to			
903. Hazard Insurance Premium for years		to			
1000. Reserves Deposited With Lender					
1001. Hazard insurance	months @	per month	\$0.00		
1002. Homeowner's insurance	months @	per month	\$0.00		
1003. City property taxes	months @	per month	\$0.00		
1004. County property taxes	months @	per month	\$0.00		
1005. Assessment Taxes	months @	per month	\$0.00		
1006. School property taxes	months @	per month	\$0.00		
1007. MUD taxes	months @	per month	\$0.00		
1008. Other taxes	months @	per month	\$0.00		
1011. Aggregate Adjustment					
1100. Title Charges					
1101. Settlement or closing fee	to		\$450.00		
1102. Abstract or title search	to				
1103. Title examination	to				
1104. Title insurance binder	to				
1105. Document preparation	to				
1106. Notary fees	to				
1107. Attorney fees	to				
(includes above items numbers:)			
1108. Title Insurance	to				\$531.88
(includes above items numbers:)			
1109. Lender's coverage	\$0.00/\$0.00				
1110. Owner's coverage	\$92,500.00/\$531.88				
1111. Escrow Fee	to				
1112. SELLER ALL INCLUSIVE FEE (MR \$250.00/STG \$650.00)	to				\$900.00
1200. Government Recording and Transfer Charges					
1201. Recording Fees	Deed \$14.50; Mortgage; Ref \$14.50	to	\$14.50		\$14.50
1202. City/County Tax/Stamp	Deed; Mortgage	to			
1203. State tax/stamps	Deed \$647.50; Mortgage	to			\$647.50
1204. Tax certificates	to				
1205. Courier/Messenger Fee	to				
1300. Additional Settlement Charges					
1301. Survey	to				
1302. Pest Inspection	to				
1303. LIEN SEARCH	to	PSP Permit Searches Plus			\$160.00
1400. Total Settlement Charges (enter on lines 103, Section J and 502, Section K)			\$464.50		\$7,341.38

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a completed copy of pages 1, 2 and 3 of this HUD-1 Settlement Statement.


 Daniel Kreglo

SunTrust Mortgage, Inc.

 By

SETTLEMENT AGENT CERTIFICATION

The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused the funds to be disbursed in accordance with this statement.

Settlement Agent _____ Date _____
 Warning: It is a crime to knowingly make false statements to the United States on this or any other similar form. Penalties upon conviction can include a fine and imprisonment. For details see: Title 18 U.S. Code Section 1001 and Section 1010.

ALL TAXES/HOA/SEWER/UTILITY/SPECIAL ASSESSMENTS

ETC SHOWN ON HUD & TITLE ARE FINAL. NO FURTHER PAYMENTS

WILL BE DISBURSED BY SUNTRUST



Bank

Domestic Wire Transfer

Initiator: Linda L. Johnson

Date: 07/31/2013

Initiator's Ph #: (386) 698-2959

Reference Number: 0431

Approver's Name*: Cheryl R Wolfe

Wire Status: Pending Branch Approval

Wire Amount*	Customer's Bank Code*	Branch Bank Code*	Branch #*
\$81,756.66	004-TD BANK N.A.	004-TD BANK N.A.	401

Same Day Deposit?*

No

Wire Type*	Account Type
Wire Transfer	Personal

ORIGINATOR

Customer Name*	Customer Account Number*
Daniel F Kreglo	4784344122

BENEFICIARY

Beneficiary Name*	Beneficiary Account Number*
Reo Escrow Account	1000131229725
Beneficiary Address 1*	Beneficiary Address 2*
110 SE 6TH ST SUITE 2400	
Beneficiary City*	Beneficiary State / Zip Code
FORT LAUDERDALE	FL 33301

RECEIVING BANK

Receiving Bank Name*	ABA Number*
Suntrust Bank Inc	061000104

SPECIAL INSTRUCTIONS

Further Credit Bank Name

Further Credit Comments (Max 140 Characters)

ADDRESS 2205 SOUTH DAYTONA AVE FLAGLER BEACH
DANIEL KREGLO

CUSTOMER REQUESTING

APPROVED BY

Daniel F Kreglo (Signature)

(Signature)

Six Variance Standards

- 1) The special conditions and circumstances which are peculiar to this property are a uniquely Unusual Pre-existing building on irregular lot that takes away from the desirability of the neighborhood. The proposed changes will bring the property to current standards of the homes in the area.

- 2) I am not responsible for the special conditions and circumstances. This property was purchased by applicant on August 1st 2013 in poor condition with the hope and intention of bringing it to the standards of the rest of the neighborhood.

- 3) I do not feel that granting this variance will give me any special privileges due to the unique situation of the home and irregularity of the lot I do not believe a similar situation could exist.

- 4) I feel it would be an unnecessary and undue hardship if the home could not be properly and adequately renovated to fit in with the neighborhood and the needs of my family. This renovation will drastically improve the look and functionality of the home and no longer be an eye-sore to the community.

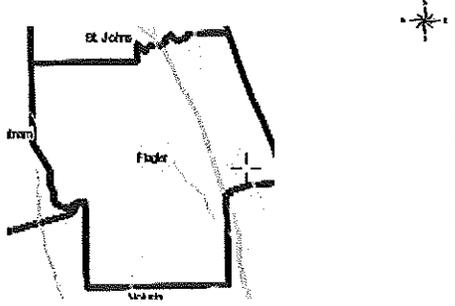
- 5) I am asking for the minimal variance necessary to successfully turn this eye=sore into a home that fits into this community: as shown by these drawings.

- 6) The granting of the variance can only be good for the ascetics and property values of the neighborhood. One of Flagler Beaches biggest eye-sores will be fixed and no longer bring down the property values of this area.



 State Parks
 County & Other Parks

Flagler County Property Appraiser			
Parcel: 18-12-32-2750-0022A-0090 Acres: 0			
Name:	ANDERTON GEORGE E &	Land Value	49,000
Site:	2205 CENTRAL AVE S	Building Value	63,520
Sale:	\$325,000 on 08-2004 Vacant=N Qual=Q	Misc Value	512
Mail:	GLORIA L H&W	Just Value	113,032
	6227 PARADISE POINT DR	Assessed Value	113,032
	PALMETTO BAY, FL 33157	Exempt Value	0
		Taxable Value	113,032



The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS ---THIS IS NOT A SURVEY---

Date printed: 09/05/13 : 13:04:57

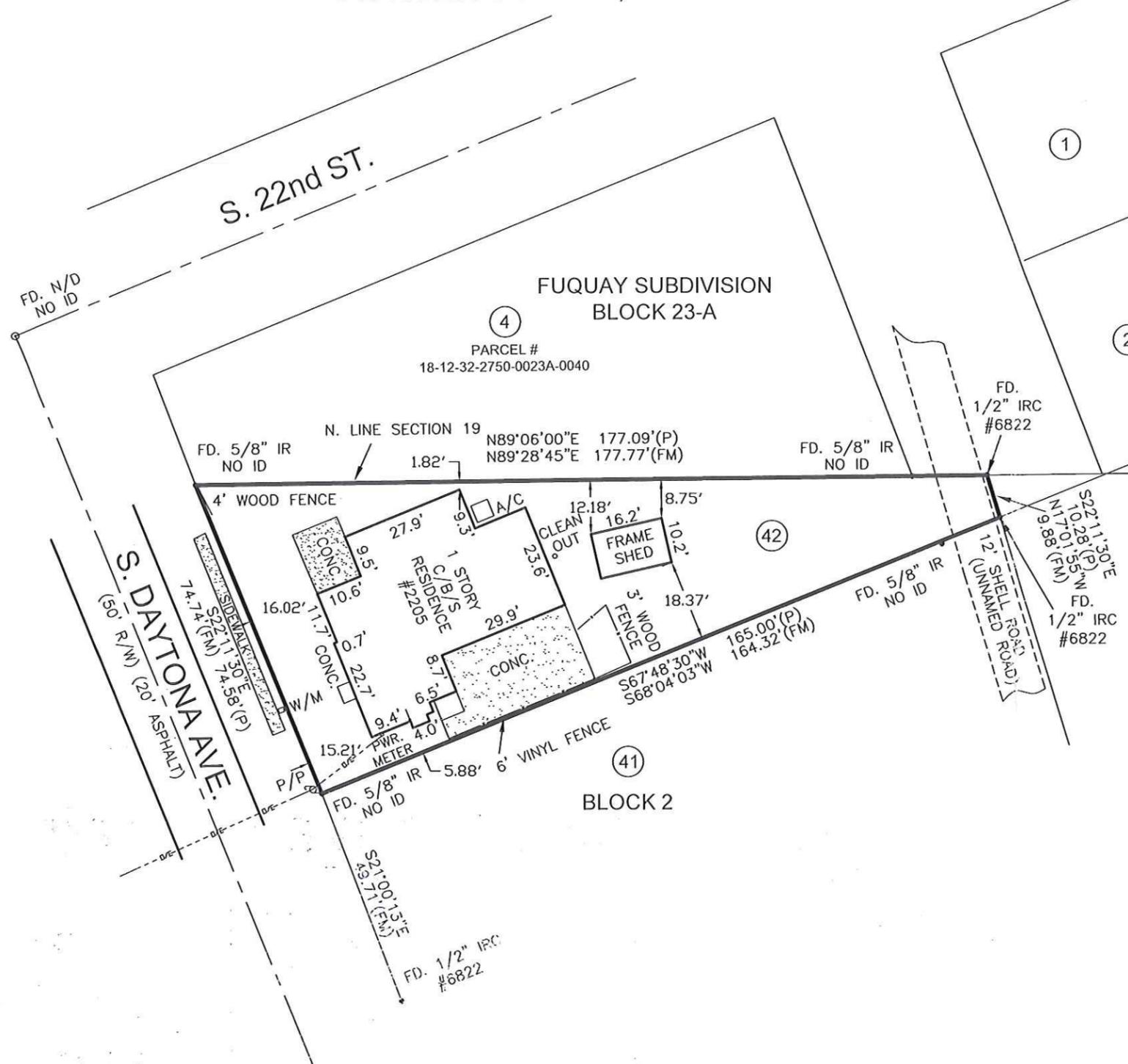
SECTION 19, TOWNSHIP 12 SOUTH, RANGE 32 EAST
FLAGLER COUNTY, FLORIDA

NOTE:

THIS PLAT AND/OR SKETCH OF SURVEY IS CERTIFIED TO AND PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES AND/OR INDIVIDUALS SHOWN HEREON, ON THE MOST CURRENT DATE SHOWN, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN HEREON THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY. THIS SURVEY /SKETCH IS PREPARED WITHOUT BENEFIT OF ABSTRACT OR TITLE SEARCH UNLESS OTHERWISE NOTED. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS SURVEY DRAWING IS THE PROFESSIONAL OPINION OF THIS SURVEYOR AND MAPPER AND THE FIRM, WHICH WAS PREPARED UTILIZING THE BEST AVAILABLE INFORMATION AND AS SUCH DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE HELD LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED TO THE SURVEYOR, WHICH WAS USED AS A BASIS IN THE PREPARATION OF THIS SURVEY DRAWING.

NOTES:

1. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT OF WAY AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
2. NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. NO UNDERGROUND IMPROVEMENTS OR INSTALLATIONS OR OTHER INTERIOR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN, AS PER THE REQUEST OF THE CLIENT.
4. UNLESS NOTED, LEGAL DESCRIPTION FURNISHED BY CLIENT.
5. FEATURES SHOWN BY SYMBOL AS INDICATED IN THE LEGEND ARE NOT TO SCALE.
6. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE SEARCH, A TITLE SEARCH MAY REVEAL ADDITIONAL INFORMATION AFFECTING THE PARCEL AS SHOWN.
7. WHERE APPLICABLE, MONUMENT DIAMETERS, ETC.. AND/OR LS OR LB NUMBERS ARE SHOWN NEAR RESPECTIVE SYMBOL ABOVE, UNLESS SHOWN IN LEGEND.
8. BEARINGS ASSUMED FROM PLAT, DEED, LEGAL DESCRIPTION.
9. UNLESS SHOWN, ONLY THOSE VISIBLE FEATURES IN THE IMMEDIATE VICINITY OF THE ABOVE DESCRIBED PARCEL BOUNDARY HAVE BEEN LOCATED.
10. SUBJECT PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAN AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, CITY OF FLAGLER BEACH COMMUNITY #120087, PANEL #12035C0253 D, DATED JULY 17, 2006. THIS FLOOD INSURANCE RATE MAP IS NOT A SURVEY AND NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF SAID MAP.



ABBREVIATIONS:			
A/C = AIR CONDITIONER	ELEV. = ELEVATION	N/W = NAIL AND WASHER	S = SOUTH
(C) = CALCULATED	F.F. = FINISHED FLOOR	O.R. = OFFICIAL RECORDS	S/T = SEPTIC TANK
CL = CENTERLINE	FD. = FOUND	O/H = OVERHANG	S.F. = SQUARE FEET
CLF = CHAIN LINK FENCE	(FM) = FIELD MEASURED	O/E = OVERHEAD ELECTRIC LINE	TYP. = TYPICAL
CONC. = CONCRETE	I.D. = IDENTIFICATION	PG. = PAGE	W = WEST
CSL = CONCRETE SLAB	IP = IRON PIPE	(P) = PLAT (MAP) DIMENSION	W/F = WOOD FENCE
CB = CONCRETE BLOCK	IR = IRON ROD	P/P = POWER POLE	W/M = WATER METER
CM = CONCRETE MONUMENT	IR&C = IRON ROD AND CAP	P.C. = POINT OF CURVATURE	Δ = DELTA ANGLE
(D) = DEED OR DESCRIPTION	LS = LICENSED SURVEYOR	F.F. = FINISHED FLOOR	L = LENGTH OF CURVE
D/U = DRAINAGE/UTILITY EASEMENT	LB = LICENSED SURVEY BUSINESS	P.O.B. = POINT OF BEGINNING	R = RADIUS
E = EAST	N = NORTH	P/L = PROPERTY LINE	T = TANGENT DISTANCE
E/P = EDGE OF PAVEMENT	N/D = NAIL AND DISK	R/W = RIGHT-OF-WAY	C.B. = CHORD BEARING
ESM'T. = EASEMENT			CH. = CHORD DISTANCE

EFIRD SURVEYING GROUP, INC.

475 S. BLUE LAKE AVENUE
DELAND, FLORIDA 32724

PHONE: (386) 740-4144 FAX: (386) 740-4155

e-mail: lefird@bellsouth.net

Certificate Of Authorization Licensed Business Number 7230

Boundary Survey

I HEREBY CERTIFY THIS SURVEY DRAWING TO BE CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND COMPLIES IN FORM WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, F.A.C. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Survey Date: 7/2/13	Drawing Number 13--0378	Scale: 1"=30' Drawn By: JM
------------------------	----------------------------	-------------------------------

For:
DANIEL F. KREGLO

LARRY F. EFIRD JR. 7/2/2013
Professional Surveyor & Mapper No 5823

DESCRIPTION: (PER ORB 1908 PG. 1522)

LOT 42, BLOCK 2, MOBBS SUBDIVISION, A SUBDIVISION, ACCORDING TO THE PLAT OR MAP THEROF, AS RECORDED IN PLAT BOOK 3, PAGE 130, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

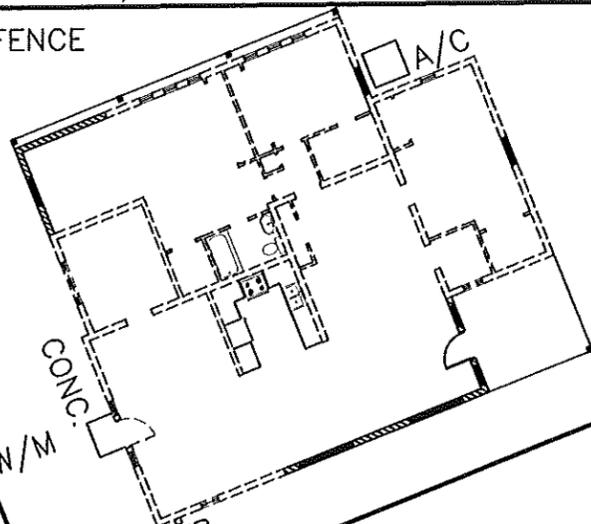
S. 22nd ST.

FUQUAY SUBDIVISION
BLOCK 23-A

4
PARCEL #
18-12-32-2750-0023A-0040

N. LINE SECTION 19
N89°06'00"E 177.09'(P)
N89°28'45"E 177.77'(FM)

4' WOOD FENCE



16.2'
10.2'
FRAME SHED

42

S67°48'30"W 165.00'(P)
S68°04'03"W 164.32'(FM)

12' (UNNAMED ROAD)

S22°11'30"E
10.28'(P)
N17°01'55"W
9.88'(FM)

1

S. DAYTONA AVE.
(50' R/W) (20' ASPHALT)

74.74'
S22°11'30"E 74.58'(P)
SIDEWALK

P/W/M
PWR. METER
P/P

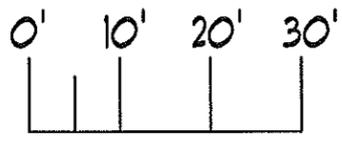
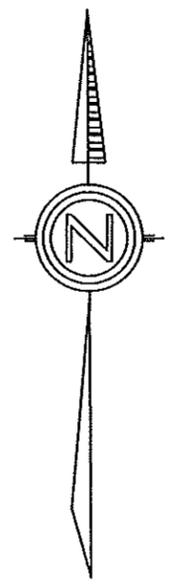
S21°00'13"E
49.71'(FM)

FD. 1/2" IRC
#6822

41
BLOCK 2

6983 LOT
2184 SQF EXISTING RESIDENCE
166 EXISTING SHED
33% OF LOT COVERAGE

6983 LOT
2184 SQF EXISTING RESIDENCE
31% OF LOT COVERAGE

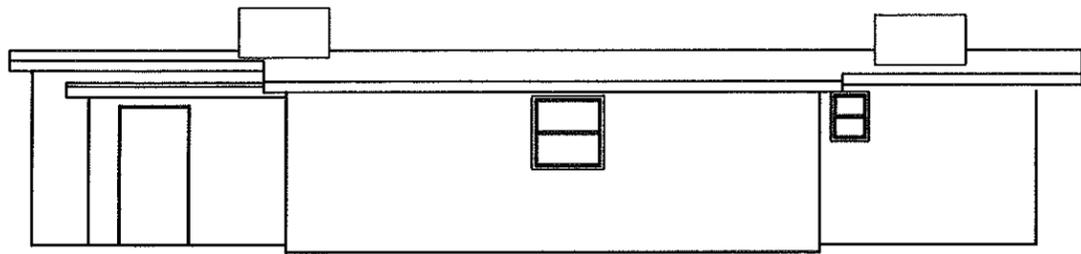


PRELIMINARY
PROPOSED
SITE PLAN

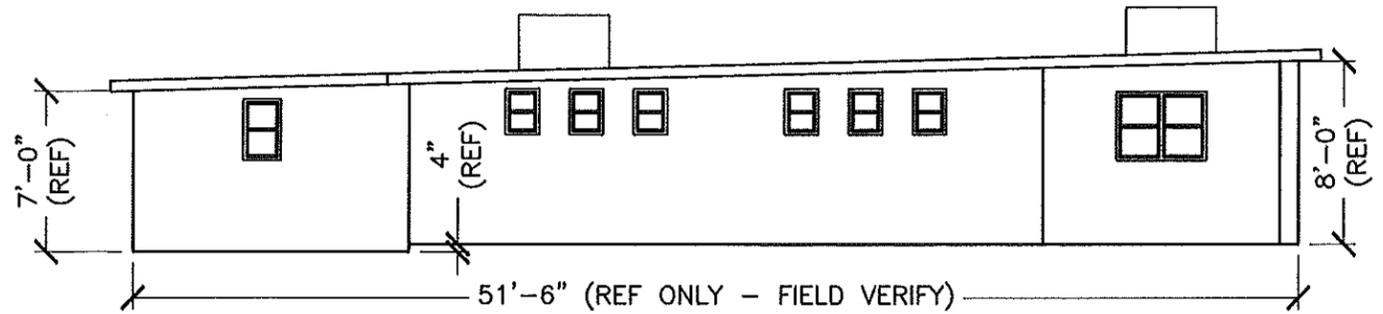
D & D
RESTORATION INC.
386-546-4053

KREGLO RENOVATION

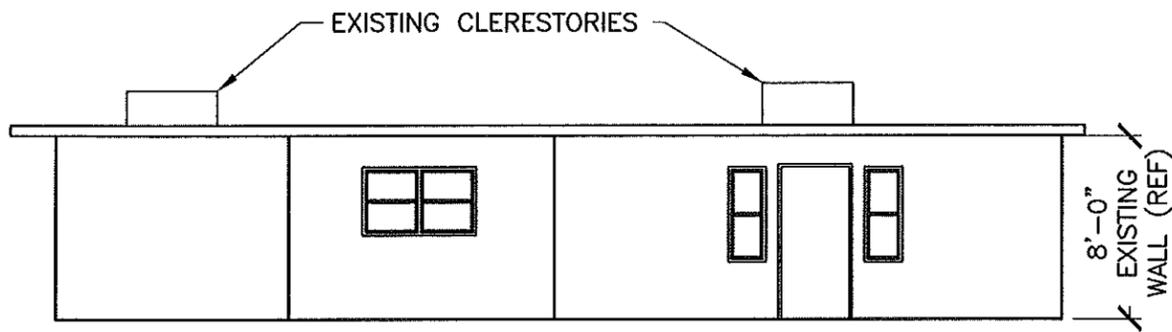
Sam 8/13 1" = 20'



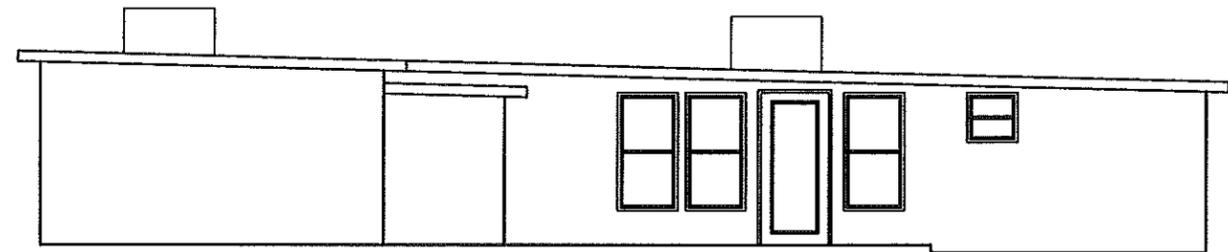
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



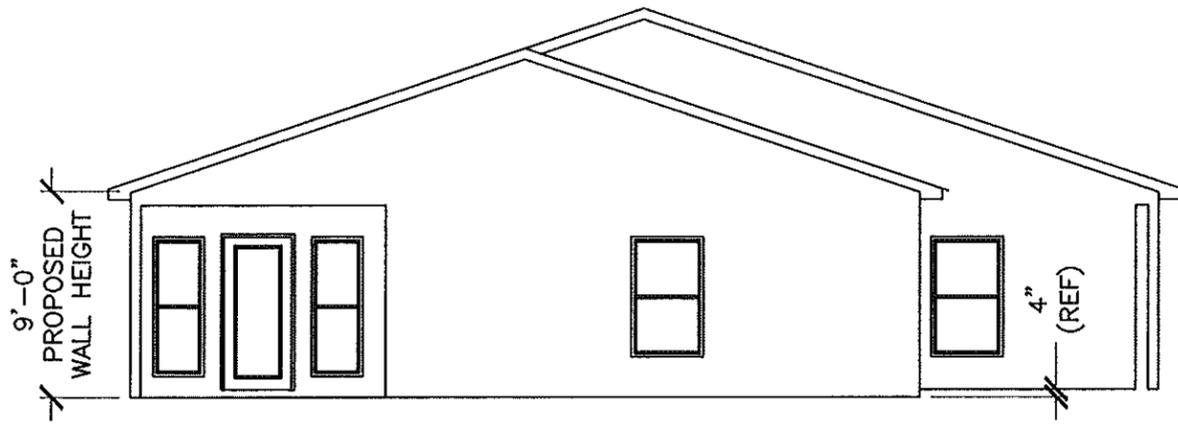
SOUTH ELEVATION

NOTES:

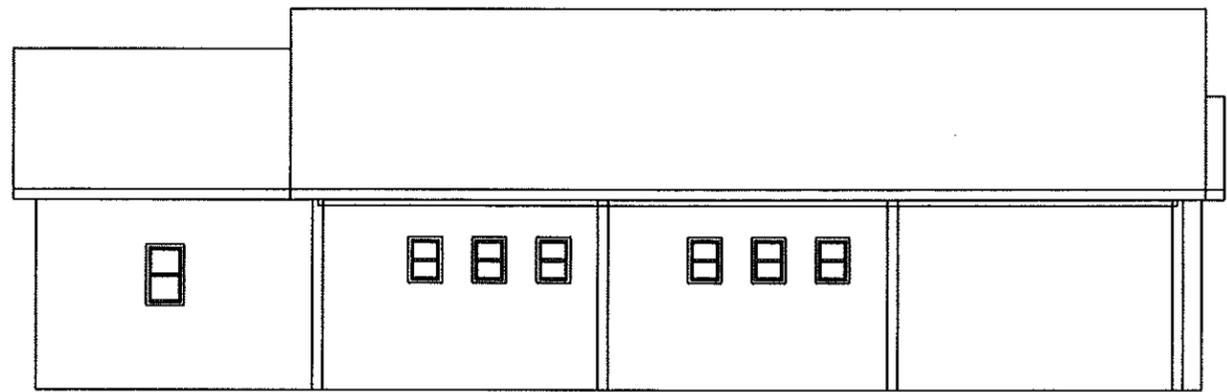
1. MINIMUM SOIL BEARING SHALL BE ASSUMED AT 2,000 P.S.F.
2. ALL UPLIFT CONNECTORS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
3. TRUSS MANUFACTURER TO PROVIDE ENGINEERING SPECIFICATION FOR ALL TRUSS UPLIFT CONNECTORS.

EXISTING
ELEVATIONS

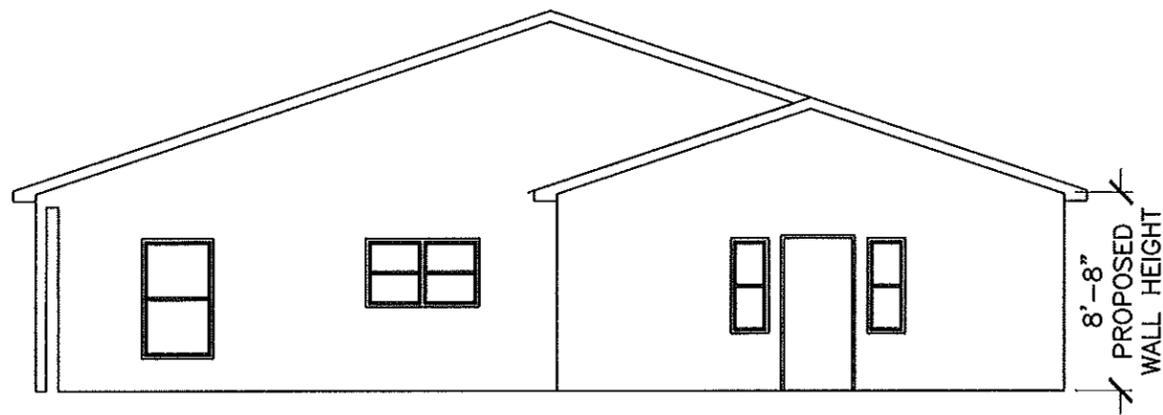
D & D		
RESTORATION INC.		
386-546-4053		
KREGLO RENOVATION		
Sam	8/13	1/8"=1'-0"



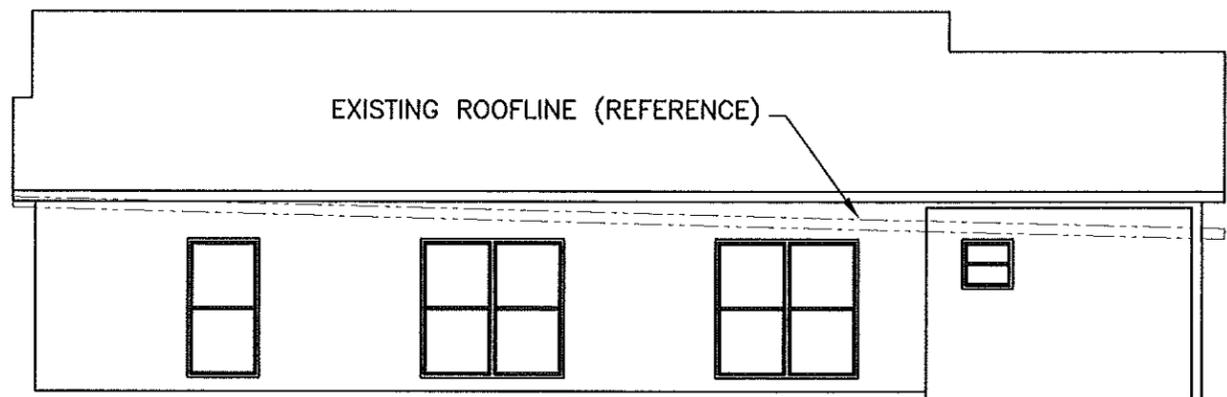
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



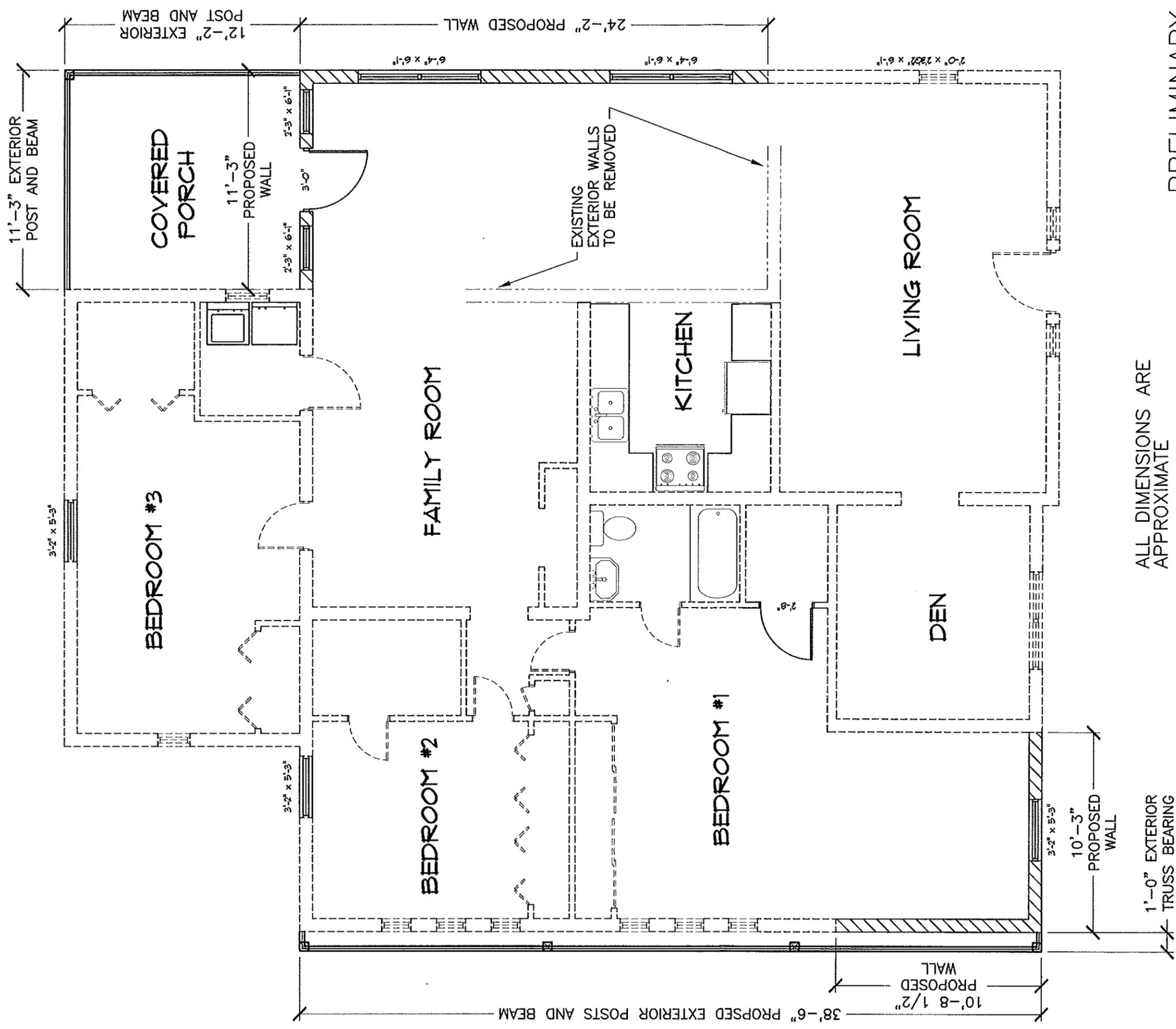
SOUTH ELEVATION

NOTES:

1. MINIMUM SOIL BEARING SHALL BE ASSUMED AT 2,000 P.S.F.
2. ALL UPLIFT CONNECTORS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
3. TRUSS MANUFACTURER TO PROVIDE ENGINEERING SPECIFICATION FOR ALL TRUSS UPLIFT CONNECTORS.

PRELIMINARY
PROPOSED
ELEVATIONS

D & D		
RESTORATION INC.		
386-546-4053		
KREGLO RENOVATION		
Sam	8/13	1/8"=1'-0"



ALL DIMENSIONS ARE APPROXIMATE
FIELD VERIFY ALL PROPOSED DIMENSIONS

PRELIMINARY PROPOSED FLOOR PLAN

2008 SQF PROPOSED HEATED
137 SQF PROPOSED COVERED PORCH
39 SQF PROPOSED TRUSS BEARING BEAM AREA
2184 SQF PROPOSED TOTAL UNDER ROOF

D & D	
RESTORATION INC.	
386-546-4053	
KREGLO RENOVATION	
Sam	8/13 3/16"=1'-0"



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #AP 13-10-01 – Appeal of a Decision of the City Planner in the Enforcement and Interpretation of the Tree Replacement Regulations

DATE: September 25, 2013

Applicant: Mr. John D. Minaberry, President, Keystone Homes, 1339 West Granada Boulevard, Ormond Beach, Florida 32174

Property Owner: James Hilary and Amy Wuchner McBrayer, 10361 US Highway 231, Utica, Kentucky 42376 9341

Property: 1335 South Central Avenue – 18-12-32-2750-00001-0150

Future Land Use: Low Density Residential

Zoning District: R-1, Single-Family Residential

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article II., Zoning*, the applicant is appealing the decision of the City Planner in the enforcement and interpretation of the tree replacement regulations to mitigate 52 inches of Palm trees that were removed for the construction of a single-family dwelling.

Analysis

The applicant has been issued a building permit for a single-family dwelling unit on an 50 foot wide property. A driveway permit and tree removal permit were also granted in conjunction with the structures. The building permit was issued with a condition that 52 inches of Palm trees be relocated, replaced, or a payment of \$2,600 be paid in lieu of relocation or replacement must be made prior to a certificate of occupancy. The payment in lieu of relocation or replacement was calculated based upon the schedule in Section 2.06.09(11)B.(i), *Land Development Regulations*. On February 22, 2013, staff observed that 67 inches had been removed from the property. Any iteration of the tree replacement may be made with six (6) inch diameter trees, measured two (2) feet above grade, to reduce the due payment.

Pursuant to Section 2.06.09.(12), Tree and Vegetation Removal; Tree Protection, "Any person required to obtain a permit and who is adversely affected by a decision of any city official or employee in the enforcement or interpretation of this article, may appeal such decision to the Planning and Architectural Review Board, which, by a majority vote, may affirm, reverse, or modify the adverse decision, (the Planning and

Architectural Review Board shall have the authority to grant minor variances of no more than twenty (20) percent of any building setback line where such variance will preserve a tree which otherwise may be required to be removed in the absence of such variance) and any decision of the Planning and Architectural Review Board may be appealed to the City Commission, who may consider the entire matter de novo, and by a majority vote, may fix anew the condition for removal of trees or vegetation, or may affirm, reverse or modify any decision made by any city official or city board prior thereto. Notice of appeal shall be made in writing to the City Clerk within thirty (30) days of the decision being appealed from. Any decision of the City Commission is subject to review as provided by law."

The applicant is appealing the requirement issued by the City Planner to mitigate the 52 inches of Palm trees removed from the subject property. The applicant removed only the trees necessary for the single-family dwelling and the associated improvements. Subsequently, a 15 inch Palm tree was also removed that was not shown on the survey but found in the field on October 18, 2012. Additionally, the applicant eradicated the Brazilian Peppers that had been allowed to grow on the subject property.

Enclosures:

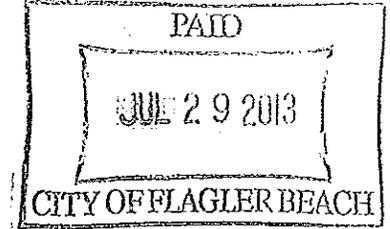
- Letter from Applicant, July 25, 2013
- Letter from City Manager, August 2, 2013
- Letter from Applicant, September 6, 2013
- Boundary/Topographic/Tree Location Survey, September 20, 2012



*"CC: Elected Official
Campbell
McFadden
Ahead"*

July 25, 2013

City of Flagler Beach
City Commissioners
P.O. Box 70
Flagler Beach, FL 32136



Re: Tree Fund payment for the property at: 1335 S. Central Ave, Flagler Beach, FL
Permit # 20121053

Dear Commissioners:

On October 29, 2012 Keystone Homes was granted a Single Family Residence permit for the address listed above. At the time the permit was granted, the planners did not require payment for trees removed in the footprint of the home foundation or driveway. There was no discussion at the time of permitting that this could be a possible additional cost to Keystone Homes.

When we applied for the Certificate of Occupancy, I was informed that the planners had implemented a new requirement for tree removal and that an additional \$2600.00 was being charged to Keystone Homes for trees removed within the footprint and driveway of the home built.

I am appealing the planner's decision requiring the additional \$2600.00 for the Tree Fund on the basis that Keystone Homes had no Notice of Change which occurred midway through our build. Because of not being forewarned, Keystone Homes incurred the extra cost in lieu of the customer, because we did not have proper Notice to include it in the contract amount.

At this time, I am requesting a refund of the \$2600.00 paid by Keystone Homes for permit number 20121053 for the home at 1335 S. Central Ave, Flagler Beach, FL.

We also paid a sum of \$10,776.68 to the City of Flagler Beach for the Building Permit. The extra money for the Tree Bank was excess of the permit cost.

Thank you for your consideration in this regard.

Sincerely,

John D. Minaberry, President
Keystone Homes



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

August 2, 2013

Mr. John D. Minaberry, President
Keystone Homes
1339 Wes Granada Boulevard
Ormond Beach, Florida 32174

Subject: Payment in Lieu of Tree Replacement
Property: 1335 South Central Avenue
Permit: 20121053

Dear Mr. Minaberry:

The purpose of this letter is in response to your letter to the City Commissioners dated July 25, 2013, to provide you with the facts that led to the determination by the City Planner that a fee in lieu of tree replacement was required to be placed in a fund for a tree bank prior to the issuance of a Certificate of Occupancy for the single-family dwelling unit at the subject property:

- You applied for the subject permit on October 18, 2012.
- At the time of your application, Section 2.06.09(11)A., Tree and Vegetation Removal; Tree Protection, *Land Development Regulations*, stated, "Trees removed pursuant to Section 2.06.09(5) shall be replaced by the property owner with trees of the same type and size as the one removed."
- At the time of your application, Section 2.06.09(5)A. states, "Upon receipt of a completed application for tree removal, the city manager or designee shall review said application. The review procedure shall determine the adequacy and accuracy of content and determine whether the application meets the requirements of Section 2.06.09(4)."
- At the time of your application, Section 2.06.09(4) states that a tree removal permit shall be issued if a "tree is located in a buildable area...where a structure or improvement is to be placed" and a "tree is within five (5) feet of a proposed structure or improvement such that it restricts actual construction or proposed use of the structure or improvement..."
- Your permit application indicated that 52 inches of Palm trees on a tree survey were to be removed.
- On October 18, 2012, the City Planner observed a 15 inch Palm tree on the subject property, not included in the tree survey, and noted the following conditions for approval on the Permit Application Routing Slip:
 1. "15"+ Palm tree found on the property, not on survey;
 2. "Trees to be removed not tagged;
 3. "Native vegetation to be removed needs to be delineated and replaced or relocated;



1339 W. Granada Blvd., Ormond Beach, FL 32174
Phone: (386)672-6101 Fax: (386)672-6202

September 6, 2013

City of Flagler Beach
Mr. Chad Lingenfelter
Planning Review
P.O. Box 70
Flagler Beach, FL 32136

Re: Tree Fund payment for the property at: 1335 S. Central Ave, Flagler Beach, FL
Permit # 20121053

Dear Mr. Lingenfelter:

On October 29, 2012 Keystone Homes was granted a Single Family Residence permit for the address listed above.

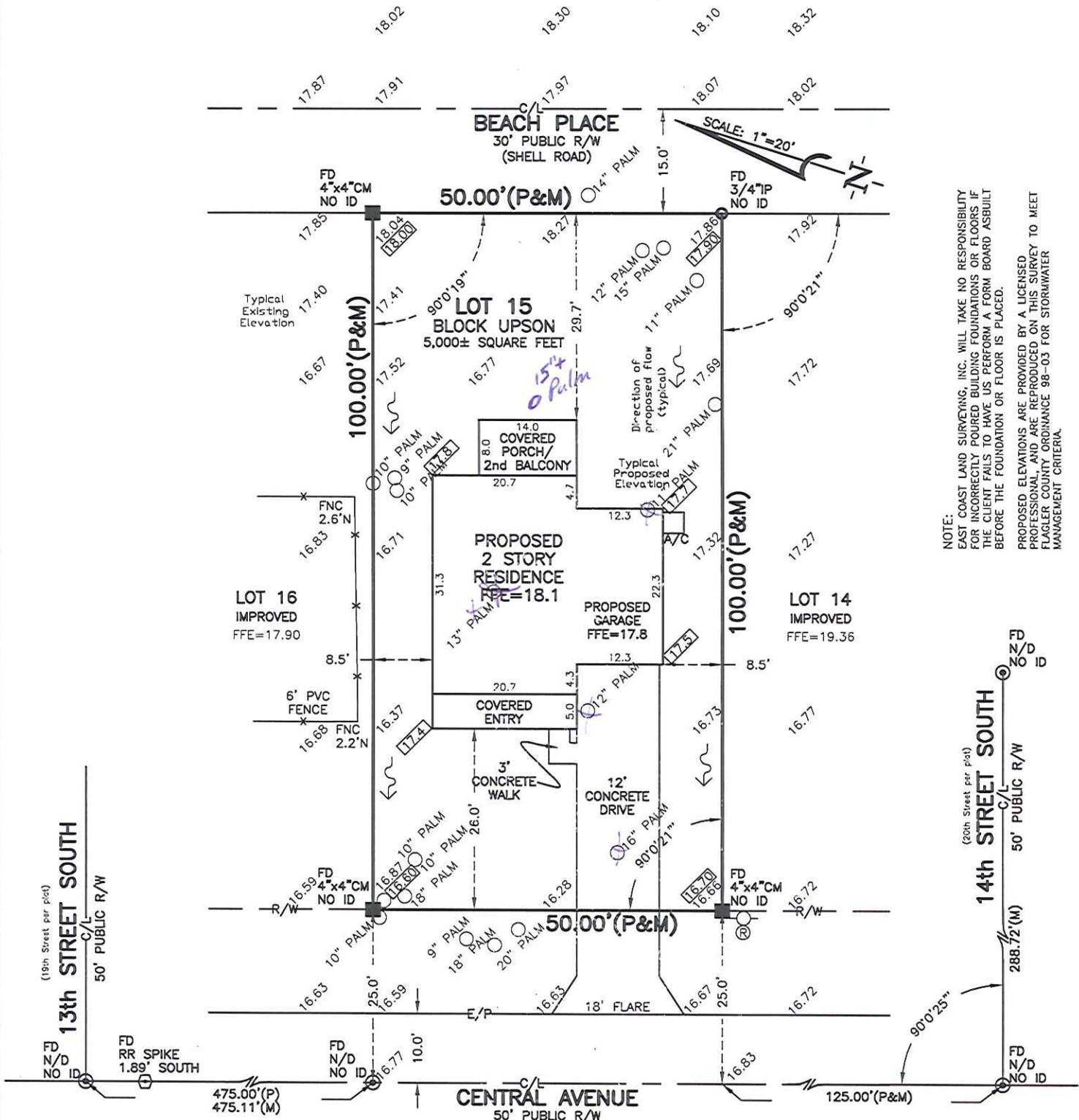
I am appealing the planner's decision requiring the additional \$2600.00 for the Tree Fund we paid for this property due to the fact that the City Commissioners have since reversed their decision on this requirement realizing that it was a heavy burden on the builders.

At this time, I am requesting a refund of the \$2600.00 paid by Keystone Homes for permit number 20121053 for the home at 1335 S. Central Ave, Flagler Beach, FL.

Thank you for your help and consideration in this regard.

Sincerely,

Anne E. Ivis, Vice President for
John D. Minaberry, President
Keystone Homes



NOTE:
 EAST COAST LAND SURVEYING, INC. WILL TAKE NO RESPONSIBILITY FOR INCORRECTLY POURED BUILDING FOUNDATIONS OR FLOORS IF THE CLIENT FAILS TO HAVE US PERFORM A FORM BOARD ASBUILT BEFORE THE FOUNDATION OR FLOOR IS PLACED.
 PROPOSED ELEVATIONS ARE PROVIDED BY A LICENSED PROFESSIONAL AND ARE PRODUCED ON THIS SURVEY TO MEET FLAGLER COUNTY ORDINANCE 98-03 FOR STORMWATER MANAGEMENT CRITERIA.

NOTES:

1. Description furnished by client. No title work provided.
2. Underground improvements and utilities are not located.
3. Bearings are assumed and are based on plat datum.
4. Dimension category is shown in parenthesis (), when they differ from record dimensions. Monuments that fall within the suburban closure of 1:5000 [as per 5J-17.051(3)15bii] are not differentiated.
5. Overhead electric not located unless shown.
6. Flood Zone X, Map panel 12035C 251D, 7/17/06. as best ascertained from the Flood Insurance Rate Map.
7. Elevations refer to N.G.V.D. 29 DATUM.
Elevations on natural ground have ±0.1' tolerance
8. All improvements shown are proposed at this time.

DESCRIPTION:

LOT 15, BLOCK UPSON, FUQUAY SUBDIVISION, AS RECORDED IN MAP BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

LEGEND:

- C/L Center Line
- FD Found
- C.M. Concrete Monument
- ⊙ N/D Nail and Disk
- IR Iron Rod
- IP Iron Pipe
- (P) Plat Bearing & Distance
- (M) Measured Bearing & Distance
- C/S Concrete Slab
- R/W Right of Way
- E/P Edge of Pavement
- L.B. Licensed Business
- PSM Professional Surveyor & Mapper
- CONC Concrete
- W/M Water Meter
- P/P Power Pole
- A/C Air Conditioner
- ⊕ Utility Riser
- FNC Fence or fence corner
- ⊙ RR Railroad Spike
- N.G.V.D. National Geodetic Vertical Datum
- ⊙ B.M. Bench Mark
- F.F.E. Finish Floor Elevation
- 11.5 Proposed Elevation

PREPARED FOR:

- KEYSTONE HOMES
-
-
-

EAST COAST LAND SURVEYING

11 Coolidge Ave. Suite-J, Ormond Beach FL 32174
 PHONE (386) 672-3633 or (386) 437-0123 FAX (386) 672-3635

THE FOREGOING PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

TYPE SURVEY:	DATE OF FIELD-	OFFICE WORK ORDER#	
Boundary	09/04/12	09/06/12	1209004 JMM
Site Plan	09/20/12	1209025	JMM
Foundation			
Final			

Anthony Sanzone

09/20/12

ANTHONY SANZONE, PSM# 6309

LB #7382

Not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #SP 13-10-01 –Boardwalk and Overlook Structures Site Plan Review

DATE: September 25, 2013

Applicant and Property Owner: City of Flagler Beach, P.O. Box 70, Flagler Beach, Florida 32136

Properties: East Side of Ocean Shore Boulevard between 5th Street North and 9th Street South – 12-12-31-4500-00650-0110, 12-12-31-4500-00660-0150, 12-12-31-4500-00660-0160, 12-12-31-4500-00670-0170, 12-12-31-4500-00670-0180, 12-12-31-4500-00670-0190, 12-12-31-4500-00680-0200, 12-12-31-4500-00680-0210, 12-12-31-4500-00690-0220, 12-12-31-4500-00710-0270, 12-12-31-4500-00720-0300, 12-12-31-4500-00720-0310, 12-12-31-4500-00730-0330, 12-12-31-4500-00730-0340, 12-12-31-4500-00740-0350, 12-12-31-4500-00740-0370, 12-12-31-4500-00750-0380, and 12-12-31-4500-00750-0390

Future Land Use: Recreation

Zoning District: Rec, Recreation

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article II., Zoning*, the applicant is requesting approval of a site plan for Construction of pedestrian facilities and related amenities to improve connections between the beach and existing City sidewalks along Ocean Shore Boulevard (State Road A1A) from 5th Street North to 9th Street South - Section 73030 MP 3.637 to 4.206. Improvements will include boardwalk extensions North and South totaling 1000 feet, two (2) overlook structures, sidewalk construction, crosswalk visibility improvements, Americans with Disabilities Act of 1990 (ADA) accessible curb ramps, and educational / informational signage.

Analysis

The applicant's application includes plans that indicate the size and architectural treatment of the proposed improvements.

Pursuant to Section 2.06.06., Site Plan Review., "Before approving the site plan, the Planning and Architectural Review Board shall make findings with respect to the following:"

1. Traffic access – All proposed site traffic access ways are adequate, but not excessive in number, adequate in grade, width, alignment and visibility, and not

located too near street corners, entrances to schools or places of public assembly and other similar considerations.

The proposed improvements do not affect any existing site access points.

2. Circulation and parking – That the interior circulation system is adequate and that all required parking spaces are provided and are easily accessible.

The proposed improvements do not affect any internal circulation system and do not require any parking spaces.

3. Disposal of usable open space – That in accordance with the spirit and intent of this ordinance, wherever possible, usable open space is disposed of in such a way as to insure the safety and welfare of residents or guests.

The proposed improvements will formalize open spaces, preserve existing landscaping and vegetation, and prepare area for additional landscaping to be added subsequently.

4. Arrangement of buildings – That adequate provision has been made for light, air, access and privacy in the arrangement of the buildings to each other. Each dwelling unit shall have a minimum of one (1) exterior exposure. Laundry facilities, including washing machines and clothes dryers, shall be available for multifamily dwellings on the premises for use by all occupants of the premises, if hookups for such facilities are not provided in each unit.

This criterion is not applicable.

5. Proper landscaping – That the proposed site is properly landscaped, the purpose of which is to further enhance the natural qualities of the land. As provided elsewhere in this section, proper screening and buffer zones may be required. The location and type of plants or materials shall be shown on the development plan. Furthermore, all landscaping shall comply with the criteria established in Section 5.04.00 Landscaping/Trees.

The proposed improvements will formalize open spaces, preserve existing landscaping and vegetation, and prepare area for additional landscaping to be added subsequently.

6. Supplemental controls – In reviewing the proposed site plan for one (1) or more multi-family or motel structures, the Planning and Architectural Review Board shall be guided by the following:

This criterion is not applicable.

Recommendation

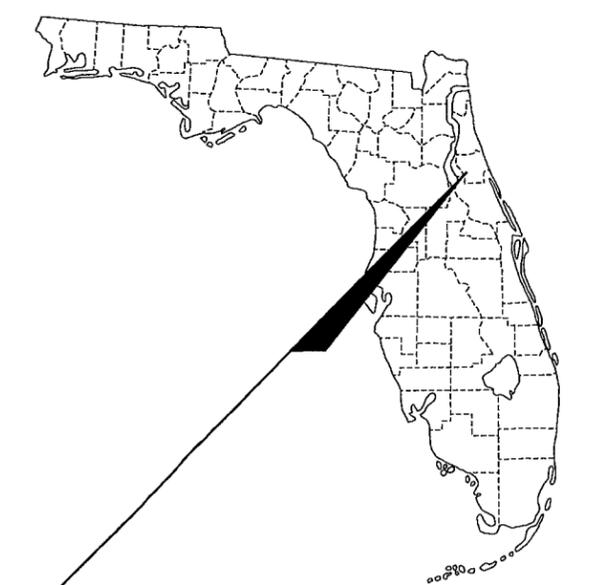
Staff recommends that the Planning and Architectural Review Board recommend that the City Commission approve the site plan of the improvements on the subject properties.

Enclosures: Gateway Promenade Improvements Project Plan with Elevations, September 17, 2013

CITY OF FLAGLER BEACH A1A/OCEANSHORE BOULEVARD

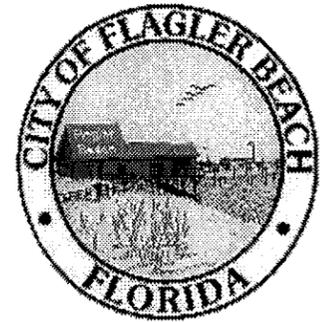
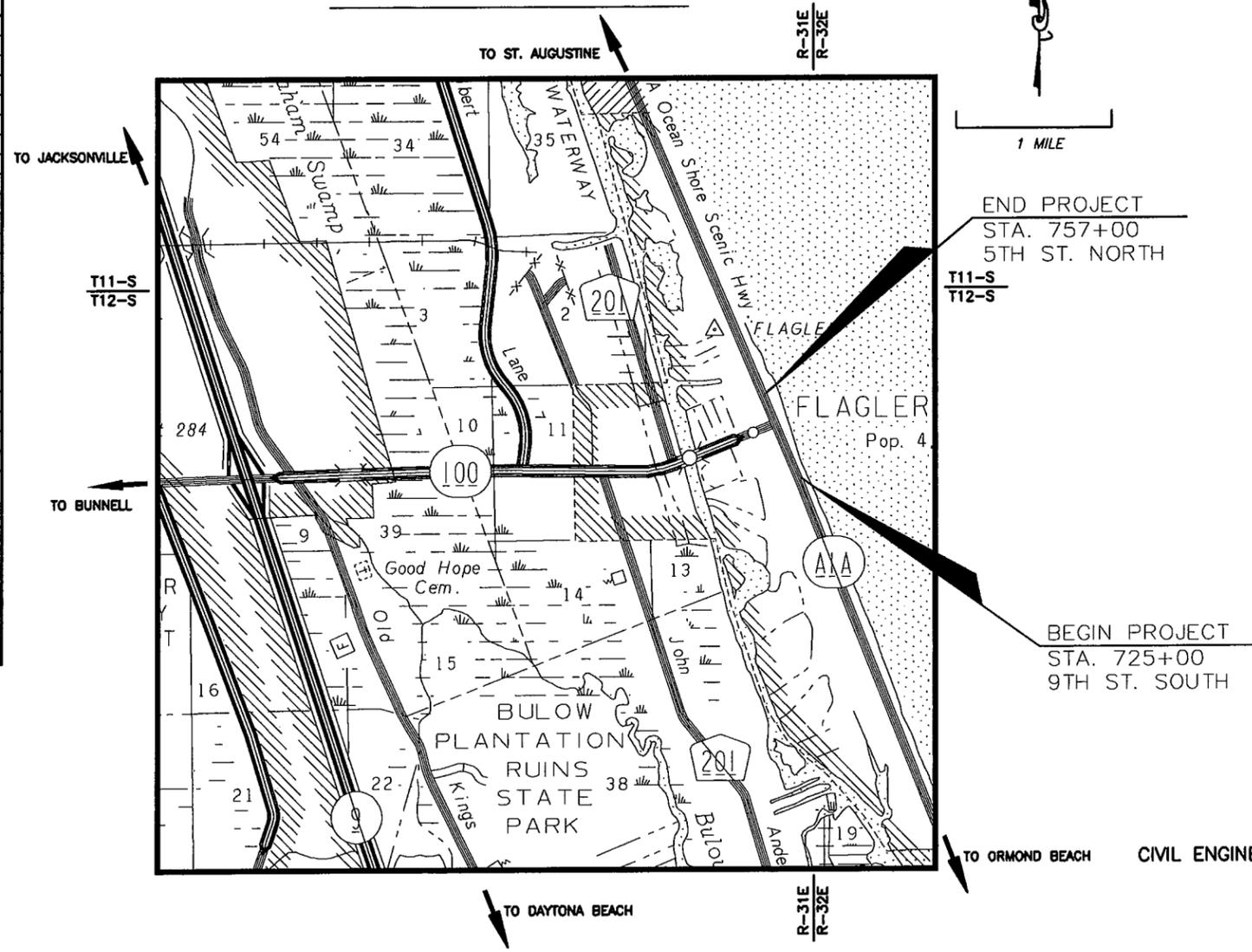
**GATEWAY PROMENADE IMPROVEMENTS PROJECT
SR A1A / OCEAN SHORE BLVD. (9TH STREET SOUTH TO 5TH STREET NORTH)**

**FLAGLER BEACH, FL.
FPN NO. 426029-1-58-01
FAN NO. 4911-015-P
JUNE 2013**



LOCATION OF PROJECT
SECT. 12, TWP. 12S, RNG. 31E

INDEX OF BOARDWALK & BEACH ACCESS PLANS	
C-1	COVER SHEET - INDEX
C-2	NOTES
C-3	PROPOSED TYPICAL SECTION 1
C-4	PROPOSED TYPICAL SECTION 2
C-5	PLAN SHEET - BEGINNING OF PROJECT TO STA. 730+76
C-6	PLAN SHEET - STA. 730+76 TO STA. 736+33
C-7	PLAN SHEET - STA. 736+33 TO STA. 741+90
C-8	PLAN SHEET - STA. 741+90 TO STA. 747+47
C-9	PLAN SHEET - STA. 747+47 TO STA. 753+04
C-10	PLAN SHEET - STA. 753+04 TO END OF PROJECT
C-11	CROSS SECTIONS
C-12	CROSS SECTIONS
C-13	CROSS SECTIONS
C-14	CROSS SECTIONS
C-15	CROSS SECTIONS
C-16	CROSS SECTIONS
C-17	DETAILS
S-1	STRUCTURAL NOTES
S-2	BEACH OUTLOOK AND RAMP AT STATION 728 THRU 731 - DECK FRAMING PLANS
S-3	BEACH RAMPS AT STATION 731 THRU 739 - DECK FRAMING PLANS
S-4	BEACH EMERGENCY RAMP AT STATION 745 THRU 747 - DECK FRAMING PLANS
S-5	BEACH BOARDWALK, RAMPS, AND STAIRS AT STATION 747 THRU 751 - DECK FRAMING PLANS
S-6	BEACH OUTLOOK AND RAMP AT STATION 754 - DECK FRAMING PLANS
S-7	BEACH OUTLOOKS AT STATION 729 & 754 - ROOF FRAMING PLANS AND DETAILS
S-8	BEACH OUTLOOKS AT STATION 729 & 754 - ELEVATIONS
S-9	BEACH BOARDWALK TYPICAL FRAMING DETAILS
S-10	BEACH BOARDWALK TYPICAL FRAMING DETAILS
S-11	TYPICAL BOARDWALK DETAILS AT OUTLOOKS
S-12	TYPICAL BOARDWALK DETAILS AT OUTLOOKS



GOVERNING STANDARDS AND SPECIFICATIONS:
FLORIDA DEPARTMENT OF TRANSPORTATION, 2013 DESIGN STANDARDS AND REVISED INDEX DRAWINGS AS APPENDED HEREIN, AND 2013 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED BY CONTRACT DOCUMENTS.

FOR DESIGN STANDARDS CLICK ON THE "DESIGN STANDARDS" LINK AT THE FOLLOWING WEB SITE:
[HTTP://WWW.DOT.STATE.FL.US/RDDSIGN/](http://www.dot.state.fl.us/rddesign/)

FOR THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION CLICK ON THE "SPECIFICATIONS" LINK AT THE FOLLOWING WEB SITE:
[HTTP://WWW.DOT.STATE.FL.US/SPECIFICATIONSOFFICE/](http://www.dot.state.fl.us/specificationsoffice/)

MARK A. HAMPTON, P.E. 27391
BRADLEY T. BLAIS, P.E. 47130
DAVID A. KING, P.E. 50609
ANDREW M. GIANNINI, P.E. 46601
KEVIN A. LEE, P.E. 71501

FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
FAX 386 761-3977
P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32128-0247 386 761-6810

CIVIL ENGINEER OF RECORD: DAVID A. KING, P.E. 50609
QUENTIN L. HAMPTON ASSOCIATES
P.O. DRAWER 290247
PORT ORANGE, FL. 32129-0247
(386) 761-6810

STRUCTURAL ENGINEER OF RECORD: ANDREW J. NOBLE, P.E. 54063
NOBLE STRUCTURAL GROUP, INC.
1519 NORTH COCOA BLVD.
COCOA, FL. 32922
(321) 635-9344

QUENTIN L. HAMPTON ASSOCIATES, CONSULTING ENGINEERS PORT ORANGE, FLORIDA

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL GOVERNING STANDARDS, SPECIFICATIONS, REGULATIONS AND PERTINENT DOCUMENTS.
2. THE OWNER SHALL NOT BE HELD RESPONSIBLE FOR INACCURACIES OR OMISSIONS IN THE LOCATION, ELEVATION AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER EXISTING FEATURES.
3. THE CONTRACTOR SHALL CONTACT THE ENGINEER'S OFFICE IMMEDIATELY ON ANY CONFLICTS ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS.
4. THE CONTRACTOR SHALL CONTACT SUNSHINE ONE CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF THE FLORIDA STATUTES. IN ADVANCE OF BEGINNING CONSTRUCTION ON THE JOB SITE.
 UTILITY OWNERS:
 CITY OF FLAGLER BEACH (386) 517-2000
 AT & T (LOCAL) (386) 252-0662
 BRIGHTHOUSE (386) 257-6836
 FPL (DISTRIBUTION) (386) 586-6432
 FPL (TRANSMISSION) (561) 904-3693
 TECO PEOPLES GAS (904) 443-7317
5. THE CONTRACTOR SHALL CONDUCT HIS WORK AS TO ENSURE LEAST POSSIBLE OBSTRUCTION TO TRAFFIC AND INCONVENIENCE TO THE GENERAL PUBLIC AND THE RESIDENTS IN THE VICINITY OF THE WORK AND TO INSURE THE PROTECTION OF PERSONS AND PROPERTY. NO ROAD TO BE CLOSED TO THE PUBLIC EXCEPT WITH THE APPROVAL OF THE ENGINEER AND THE PROPER GOVERNMENTAL AUTHORITY.
6. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, TO REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS WHICH MAY BE DISTURBED BY CONSTRUCTION AND TO ASSURE ACCURATE HORIZONTAL AND VERTICAL CONTROLS DURING CONSTRUCTION.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR'S EXPENSE TO PROVIDE THE ENGINEER WITH "AS-BUILT" DRAWINGS OF CONSTRUCTION.
8. ADEQUATE EXCAVATION, SHEATING, SHORING AND BRACING SHALL BE PROVIDED AND SHALL CONFORM TO CONSTRUCTION REQUIREMENTS AS SET FORTH BY THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE A REVIEW OF THE SITE TO DETERMINE EXISTING CONDITIONS AND ANYTHING NOT SHOWN ON THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL NOT CONSTITUTE AN EXTRA UNLESS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL LIMIT THE CONSTRUCTION AND DISTURBANCE TO WITHIN THE EXISTING RIGHT-OF WAY AND EASEMENTS.
11. CONTRACTOR SHALL UTILIZE LICENSED SURVEY TO STAKE/ DELINEATE EASEMENTS AND RIGHTS-OF-WAY. PER PLAT AND FIELD MONUMENTATION. DESIGN ELECTRONIC FILES SHALL NOT BE RELIED UPON FOR LAYOUT.
12. EXISTING UTILITIES ARE TO REMAIN IN PLACE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE FOLLOWING ADJACENT CONSTRUCTION PROJECT ON STATE ROAD 100 WHICH MAY HAVE A SIMILAR CONSTRUCTION SCHEDULE:
 FPN No. 427232-1-52-01
 FPN No. 427232-4-52-01 AND
 FPN No. 431067-1-52-01

MAINTENANCE OF TRAFFIC NOTES

1. ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT 600 INDEXES.
2. SAFE CONTINUOUS PEDESTRIAN AND BICYCLE TRAFFIC TO BE MAINTAINED AT ALL TIMES.

RESTORATION NOTES

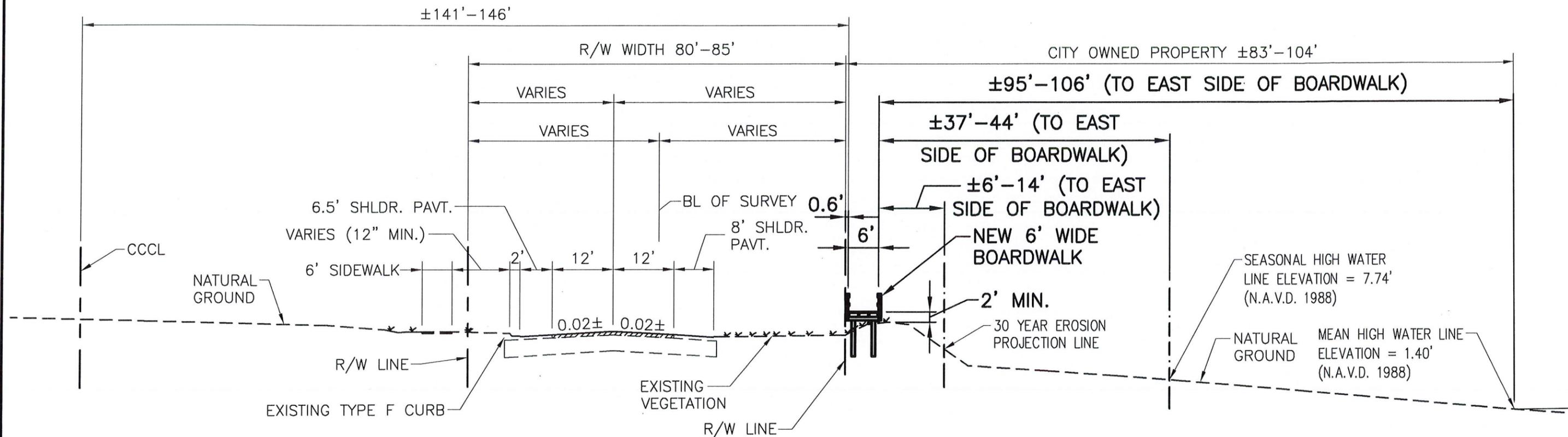
1. THE CONTRACTOR SHALL PRESERVE FROM DAMAGE ALL PROPERTY ALONG THE LINE OF WORK, OR IN THE VICINITY THEREOF, OR IS IN ANY WAY AFFECTED BY THE WORK THE REMOVAL OF OR DESTRUCTION OF, WHICH IS NOT CALLED FOR BY THE PLANS. WHEREVER SUCH PROPERTY IS DAMAGED DUE TO CONSTRUCTION ACTIVITIES OF THE CONTRACTOR, IT SHALL BE IMMEDIATELY RESTORED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.
2. ALL NON-PAVED, NON-DUNE AREAS DISTURBED SHALL BE SODDED WITH LIKE KIND OF SOD. IMPACT TO EXISTING DUNE VEGETATION SHALL BE MINIMIZED. RESTORATION OF IMPACTED DUNE AREAS TO BE RESTORED WITH LIKE TYPE DUNE VEGETATION.
3. ALL DAMAGED PRIVATE SPRINKLER SYSTEMS SHALL BE MADE OPERABLE BY THE CONTRACTOR BY THE END OF THE DAY WHICH THE DAMAGE OCCURED. SYSTEMS SHALL BE FULLY RESTORED BY THE END OF THE WEEK.



FUTURE TREES, SHRUBS AND GROUND COVER SCHEDULE (NOT INCLUDED IN THIS CONTRACT)

SYMBOL	AMOUNT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MAINTENANCE
SP 	6	SABAL PALMETTO	CABBAGE PALM	AS SHOWN	AS SHOWN	AS REQUIRED TO MAINTAIN F.D.O.T. SIGHT WNDOW
GP *	87	GAILLARDIA PUCHELLA	BLANKET FLOWER	1 GAL.	AS SHOWN	AS REQUIRED TO MAINTAIN F.D.O.T. SIGHT WNDOW
II 	51	IVA IMBRICATA	BEACH ELDER	1 GAL.	AS SHOWN	AS REQUIRED TO MAINTAIN F.D.O.T. SIGHT WNDOW

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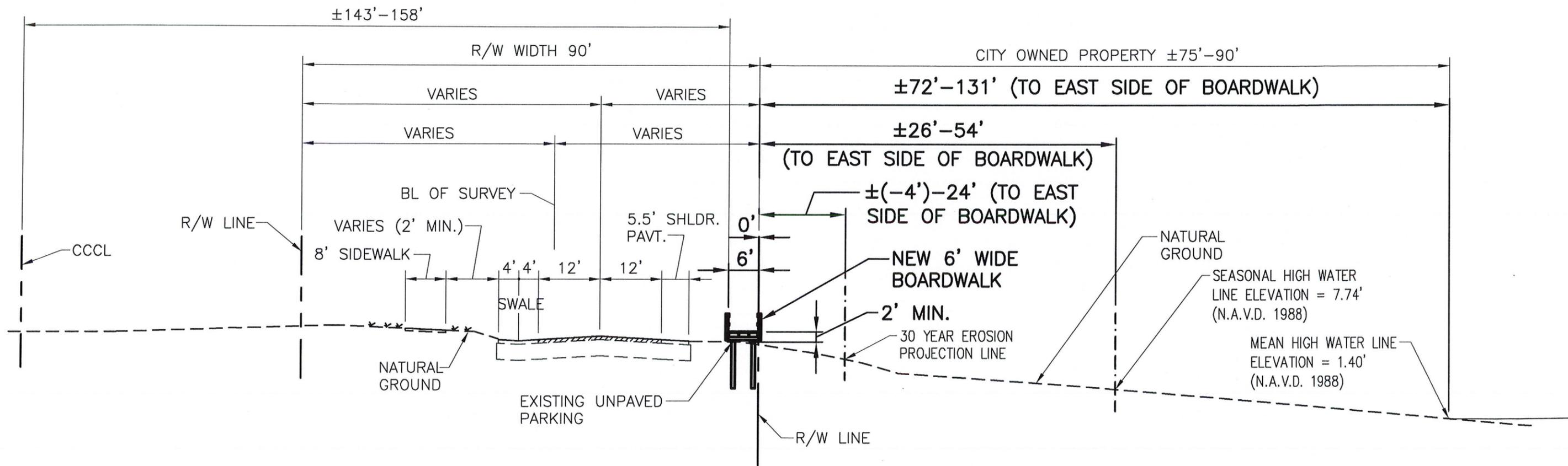


**PROPOSED TYPICAL SECTION SR. A1A
8th ST. SOUTH (STA. 728+70)
TO 7th ST. SOUTH (STA. 730+90)**

NOT TO SCALE

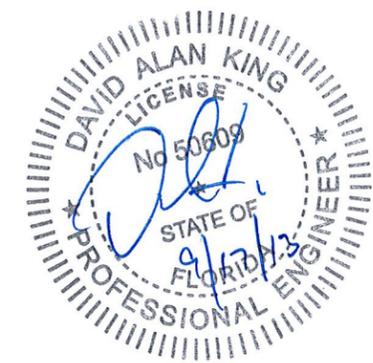


DATE		BY		REVISION DESCRIPTION		QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS <small>FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810</small>		CITY OF FLAGLER BEACH FLAGLER COUNTY, FL		GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-58-01		PROPOSED TYPICAL SECTION 1		DAVID A. KING, P.E. 50609		<table border="1"> <tr> <td>DESIGNED</td> <td>DK</td> <td>DATE</td> <td>12/10</td> </tr> <tr> <td>DRAWN</td> <td>RAP</td> <td>DATE</td> <td>12/10</td> </tr> <tr> <td>CHECKED</td> <td>--</td> <td>DATE</td> <td>--</td> </tr> <tr> <td>APPROVED</td> <td>--</td> <td>DATE</td> <td>--</td> </tr> </table>		DESIGNED	DK	DATE	12/10	DRAWN	RAP	DATE	12/10	CHECKED	--	DATE	--	APPROVED	--	DATE	--	SCALE AS SHOWN SHEET NO. C-3 OF 29	
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CHECKED	--	DATE	--																																
APPROVED	--	DATE	--																																



**PROPOSED TYPICAL SECTION SR. A1A
S.R.100/MOODY TO 4th ST. NORTH**

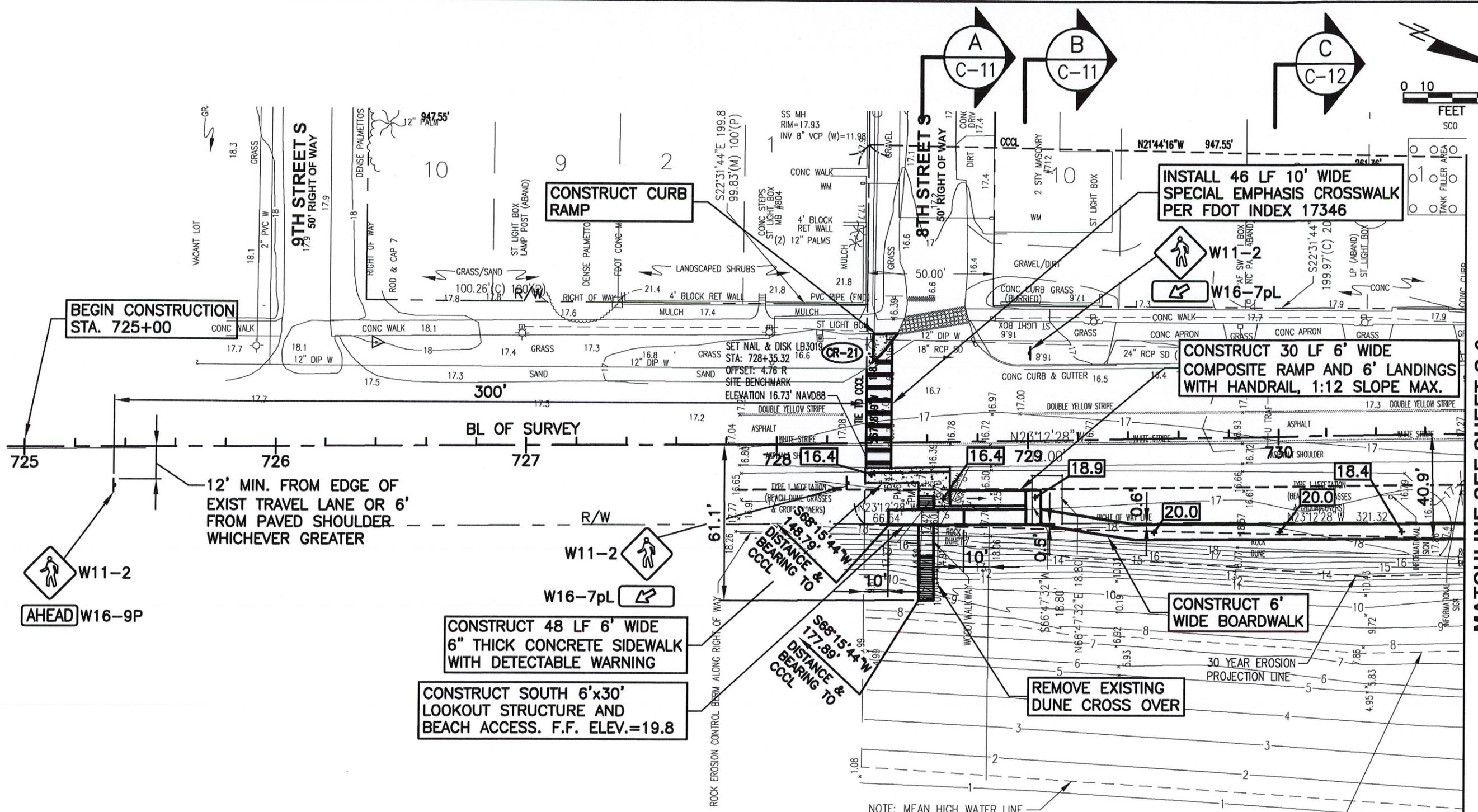
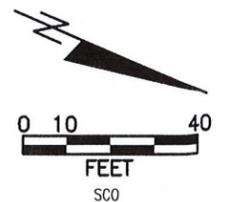
NOT TO SCALE



DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION

QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS <small>FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810</small>	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-58-01	PROPOSED TYPICAL SECTION 2	DAVID A. KING, P.E. 50609	<table border="1"> <tr> <td>DESIGNED</td> <td>DK</td> <td>DATE</td> <td>12/10</td> </tr> <tr> <td>DRAWN</td> <td>RAP</td> <td>DATE</td> <td>12/10</td> </tr> <tr> <td>CHECKED</td> <td>---</td> <td>DATE</td> <td>---</td> </tr> <tr> <td>APPROVED</td> <td>---</td> <td>DATE</td> <td>---</td> </tr> </table>	DESIGNED	DK	DATE	12/10	DRAWN	RAP	DATE	12/10	CHECKED	---	DATE	---	APPROVED	---	DATE	---	SCALE AS SHOWN	SHEET NO. C-4 OF 29
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APPROVED	---	DATE	---																				

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**BEGIN CONSTRUCTION
STA. 725+00**

**CONSTRUCT CURB
RAMP**

**INSTALL 46 LF 10' WIDE
SPECIAL EMPHASIS CROSSWALK
PER FDOT INDEX 17346**

**CONSTRUCT 30 LF 6' WIDE
COMPOSITE RAMP AND 6' LANDINGS
WITH HANDRAIL, 1:12 SLOPE MAX.**

**CONSTRUCT 6'
WIDE BOARDWALK**

**REMOVE EXISTING
DUNE CROSS OVER**

**CONSTRUCT 48 LF 6' WIDE
6" THICK CONCRETE SIDEWALK
WITH DETECTABLE WARNING**

**CONSTRUCT SOUTH 6'x30'
LOOKOUT STRUCTURE AND
BEACH ACCESS. F.F. ELEV.=19.8**

**12' MIN. FROM EDGE OF
EXIST TRAVEL LANE OR 6'
FROM PAVED SHOULDER
WHICHEVER GREATER**

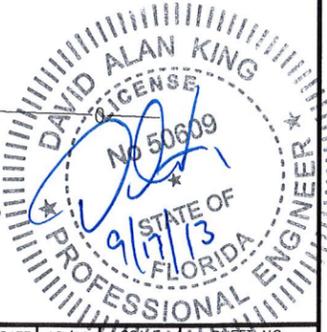
LEGEND

- 00.0 PROPOSED SPOT ELEVATION
- CR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
- PRIOR LOCATION OF PROPOSED BOARDWALK

NOTE: MEAN HIGH WATER LINE
ELEVATION = 1.40' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

NOTE: SEASONAL HIGH WATER LINE
ELEVATION = 7.74' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

MATCHLINE SEE SHEET C-6



DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON ASSOCIATES, INC.
CONSULTING ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

**CITY OF
FLAGLER BEACH
FLAGLER COUNTY, FL**

**GATEWAY PROMENADE
IMPROVEMENTS
FPN #426029-1-58-01**

**PLAN SHEET
BEGINNING OF PROJECT TO
STA. 730+76**

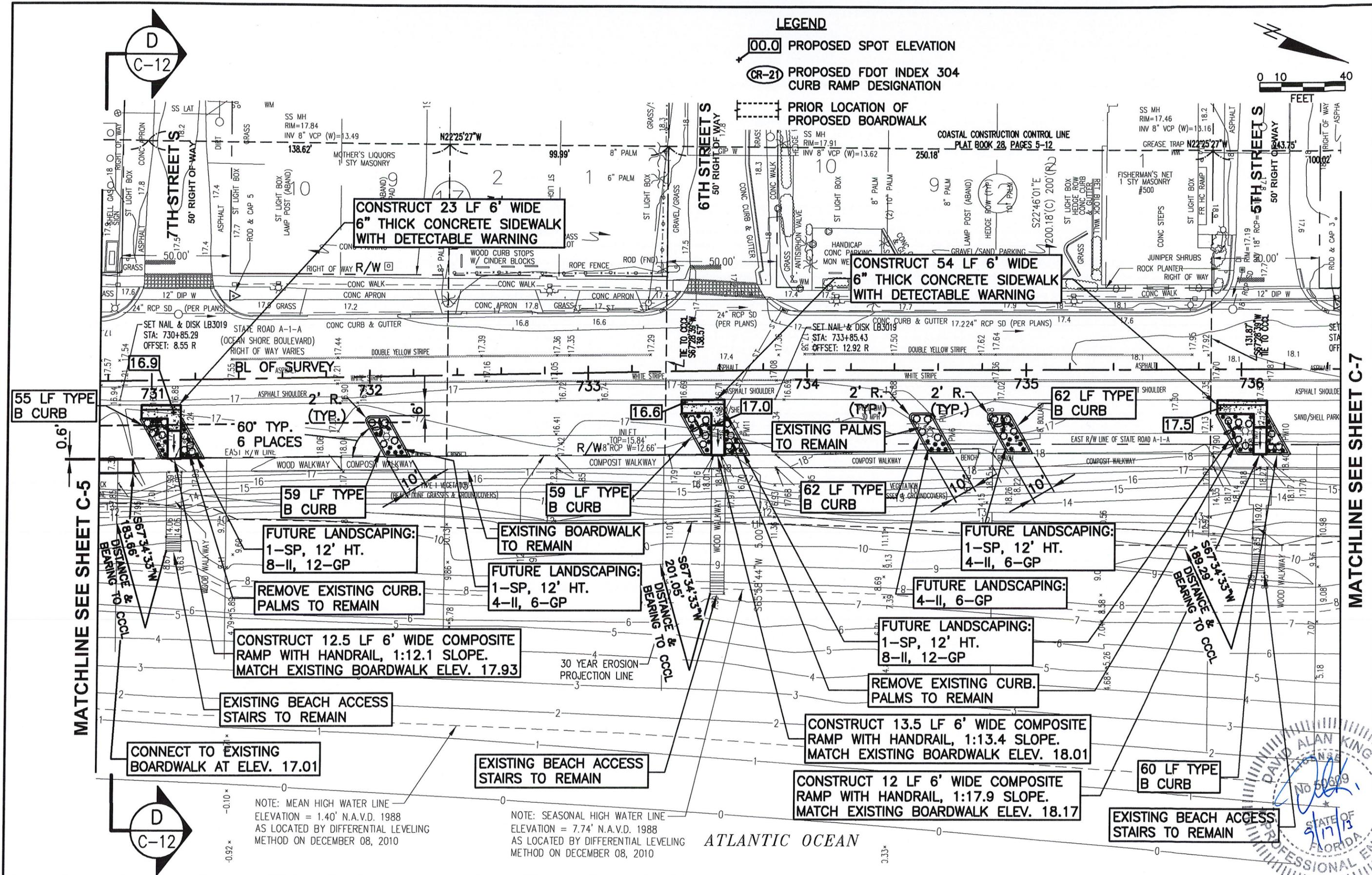
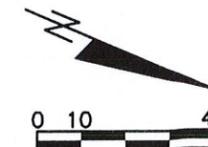
DAVID A. KING, P.E. 50609

DESIGNED	OK	DATE	12/10
DRAWN	RAP	DATE	12/10
CHECKED	---	DATE	---
APPROVED	---	DATE	---

SCALE AS SHOWN
**C-5
OF 29**

LEGEND

- 00.0 PROPOSED SPOT ELEVATION
- CR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
- PRIOR LOCATION OF PROPOSED BOARDWALK



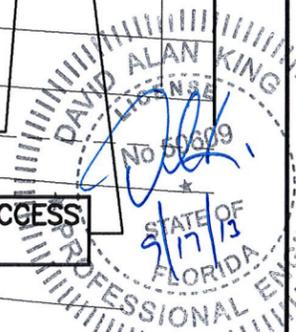
MATCHLINE SEE SHEET C-5

MATCHLINE SEE SHEET C-7

NOTE: MEAN HIGH WATER LINE ELEVATION = 1.40' N.A.V.D. 1988 AS LOCATED BY DIFFERENTIAL LEVELING METHOD ON DECEMBER 08, 2010

NOTE: SEASONAL HIGH WATER LINE ELEVATION = 7.74' N.A.V.D. 1988 AS LOCATED BY DIFFERENTIAL LEVELING METHOD ON DECEMBER 08, 2010

ATLANTIC OCEAN



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

CITY OF FLAGLER BEACH
 FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
 FPN #426029-1-58-01

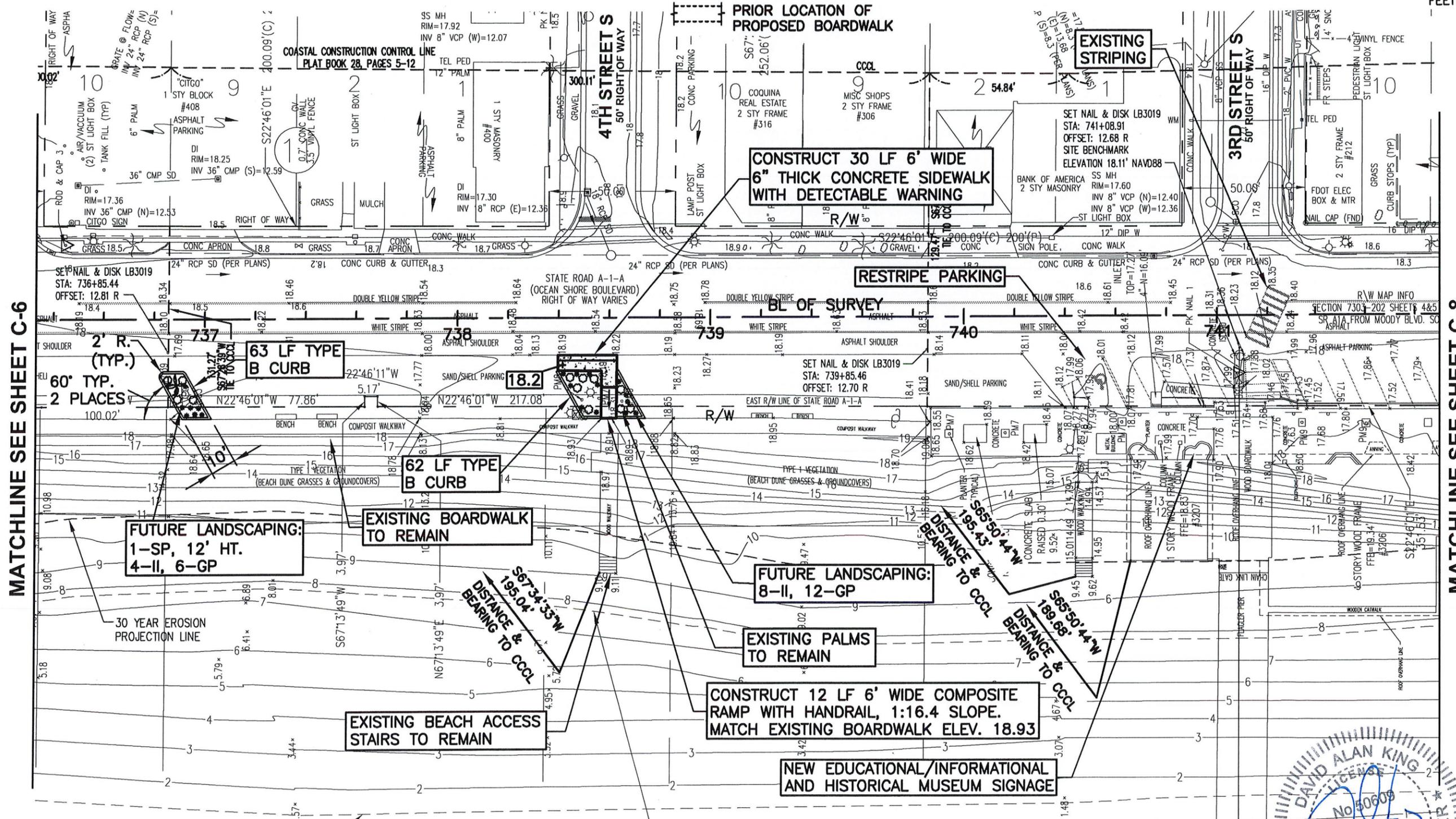
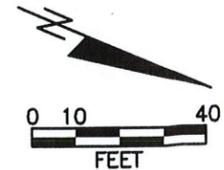
PLAN SHEET
 STA. 730+76 TO STA. 736+33

DAVID A. KING, P.E. 50609

DESIGNED	CHK	DATE	12/10	SCALE	SHEET NO.
DRAWN	RAP	DATE	12/10	AS SHOWN	C-6 OF 29
CHECKED	---	DATE	---		
APPROVED	---	DATE	---		

LEGEND

- 00.0 PROPOSED SPOT ELEVATION
- CR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
- PRIOR LOCATION OF PROPOSED BOARDWALK

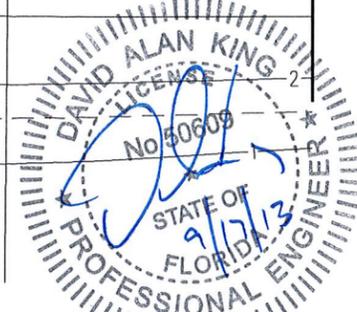


MATCHLINE SEE SHEET C-6

MATCHLINE SEE SHEET C-8

NOTE: MEAN HIGH WATER LINE
ELEVATION = 1.40' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

NOTE: SEASONAL HIGH WATER LINE
ELEVATION = 7.74' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

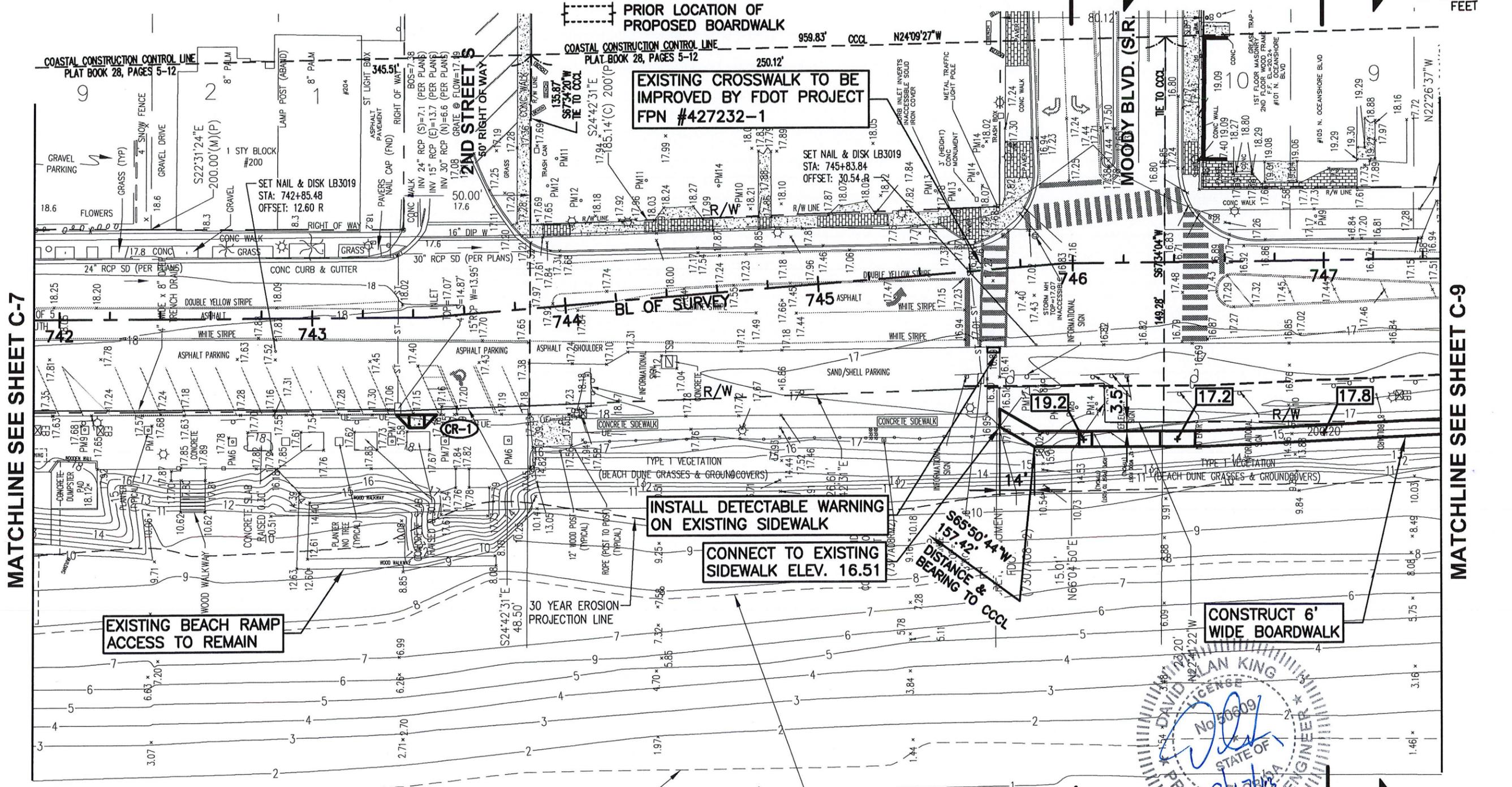
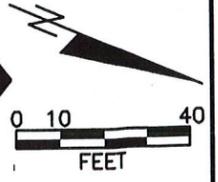


DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON & ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-58-01	PLAN SHEET STA. 736+33 TO STA. 741+90	DAVID A. KING, P.E. 50609 DESIGNED DRAWN CHECKED APPROVED	DATE 12/10 DATE DATE DATE	SCALE AS SHOWN SHEET NO. C-7 OF 29
---	---	--	--	---	------------------------------------	---

LEGEND

- 00.0 PROPOSED SPOT ELEVATION
- CR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
- PRIOR LOCATION OF PROPOSED BOARDWALK



**EXISTING CROSSWALK TO BE IMPROVED BY FDOT PROJECT
FPN #427232-1**

INSTALL DETECTABLE WARNING ON EXISTING SIDEWALK

CONNECT TO EXISTING SIDEWALK ELEV. 16.51

CONSTRUCT 6' WIDE BOARDWALK

EXISTING BEACH RAMP ACCESS TO REMAIN

NOTE: MEAN HIGH WATER LINE ELEVATION = 1.40' N.A.V.D. 1988 AS LOCATED BY DIFFERENTIAL LEVELING METHOD ON DECEMBER 08, 2010

NOTE: SEASONAL HIGH WATER LINE ELEVATION = 7.74' N.A.V.D. 1988 AS LOCATED BY DIFFERENTIAL LEVELING METHOD ON DECEMBER 08, 2010



MATCHLINE SEE SHEET C-7

MATCHLINE SEE SHEET C-9

DATE		BY		DESCRIPTION	
3/21/13	RAP			REVISED PER DOT COMMENTS 5/12	

QUENTIN L. HAMPTON ASSOCIATES, INC.
CONSULTING ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
FAX 386 761-3977
P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

CITY OF FLAGLER BEACH
FLAGLER COUNTY, FL

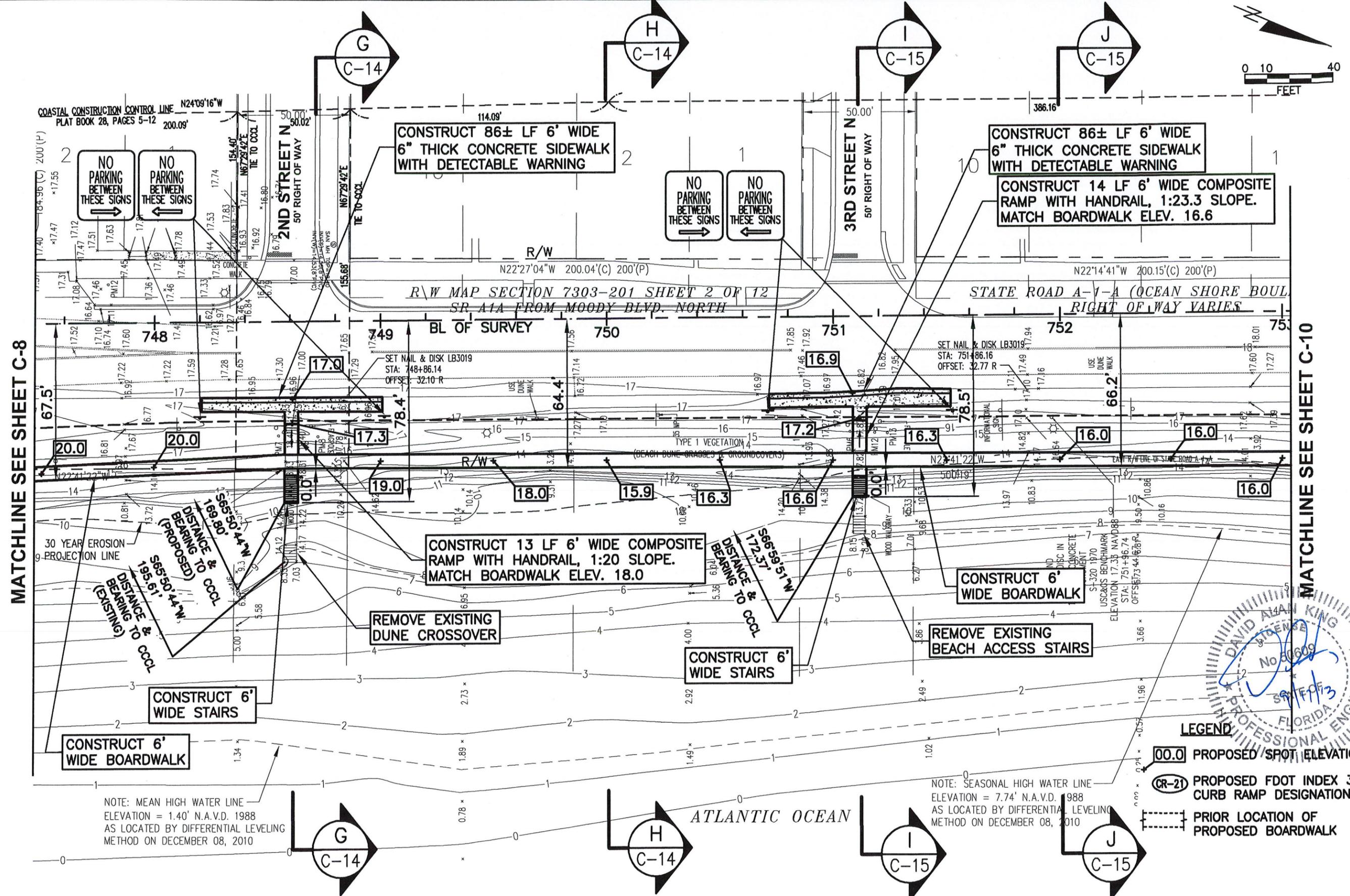
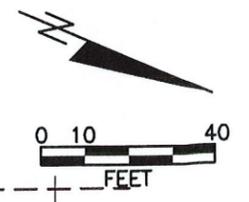
GATEWAY PROMENADE IMPROVEMENTS
FPN #426029-1-58-01

PLAN SHEET
STA. 741+90 TO STA. 747+47

DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE AS SHOWN
DRAWN	RAP	DATE	12/10	
CHECKED	---	DATE	---	
APPROVED	---	DATE	---	

SHEET NO. **C-8** OF 29



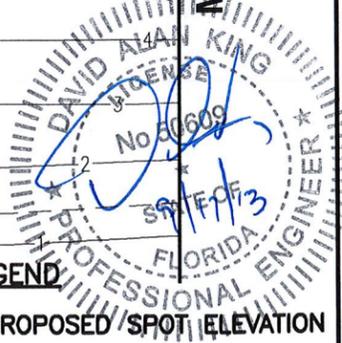
MATCHLINE SEE SHEET C-8

MATCHLINE SEE SHEET C-10

NOTE: MEAN HIGH WATER LINE
ELEVATION = 1.40' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

NOTE: SEASONAL HIGH WATER LINE
ELEVATION = 7.74' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

- LEGEND**
- 00.0 PROPOSED SPOT ELEVATION
 - GR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
 - PRIOR LOCATION OF PROPOSED BOARDWALK



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON ASSOCIATES, INC.
CONSULTING ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

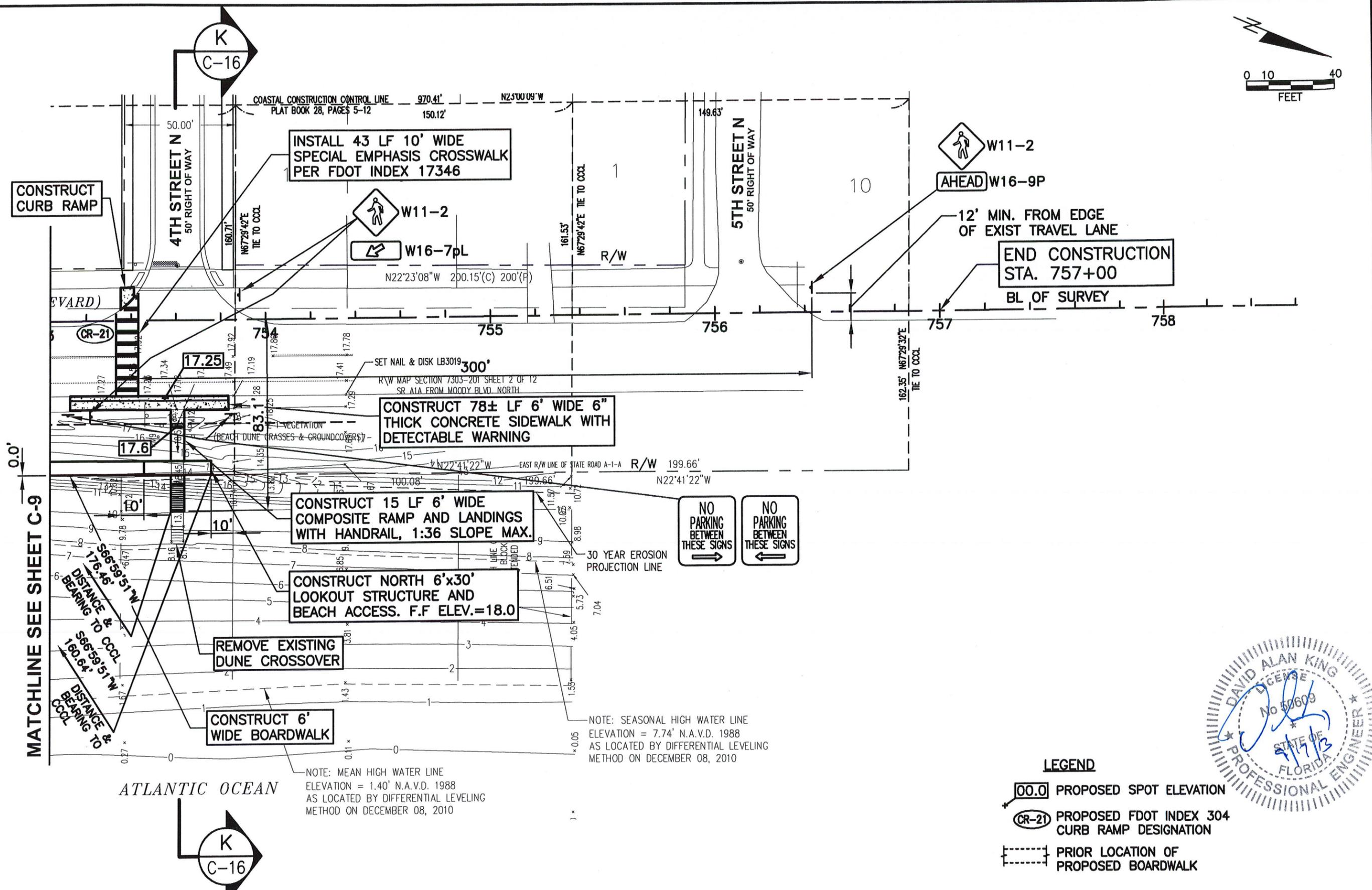
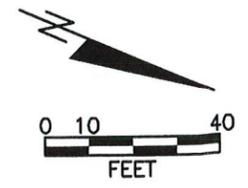
CITY OF FLAGLER BEACH
FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
FPN #426029-1-58-01

PLAN SHEET
STA. 747+47 TO STA. 753+04

DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE	SHEET NO.
DRAWN	RAP	DATE	12/10	AS SHOWN	C-9
CHECKED	--	DATE	--		OF 29
APPROVED	--	DATE	--		

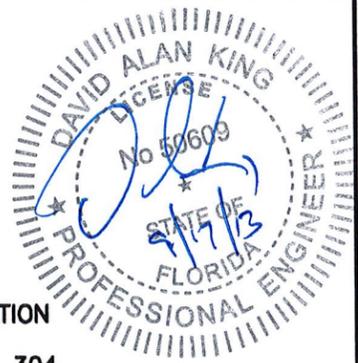


MATCHLINE SEE SHEET C-9

ATLANTIC OCEAN

NOTE: MEAN HIGH WATER LINE
ELEVATION = 1.40' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010

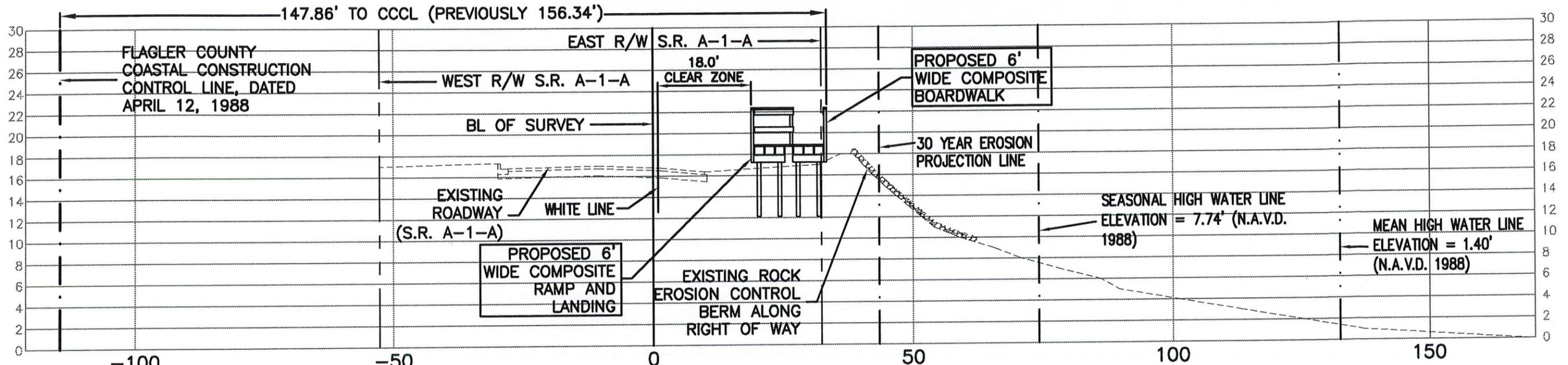
NOTE: SEASONAL HIGH WATER LINE
ELEVATION = 7.74' N.A.V.D. 1988
AS LOCATED BY DIFFERENTIAL LEVELING
METHOD ON DECEMBER 08, 2010



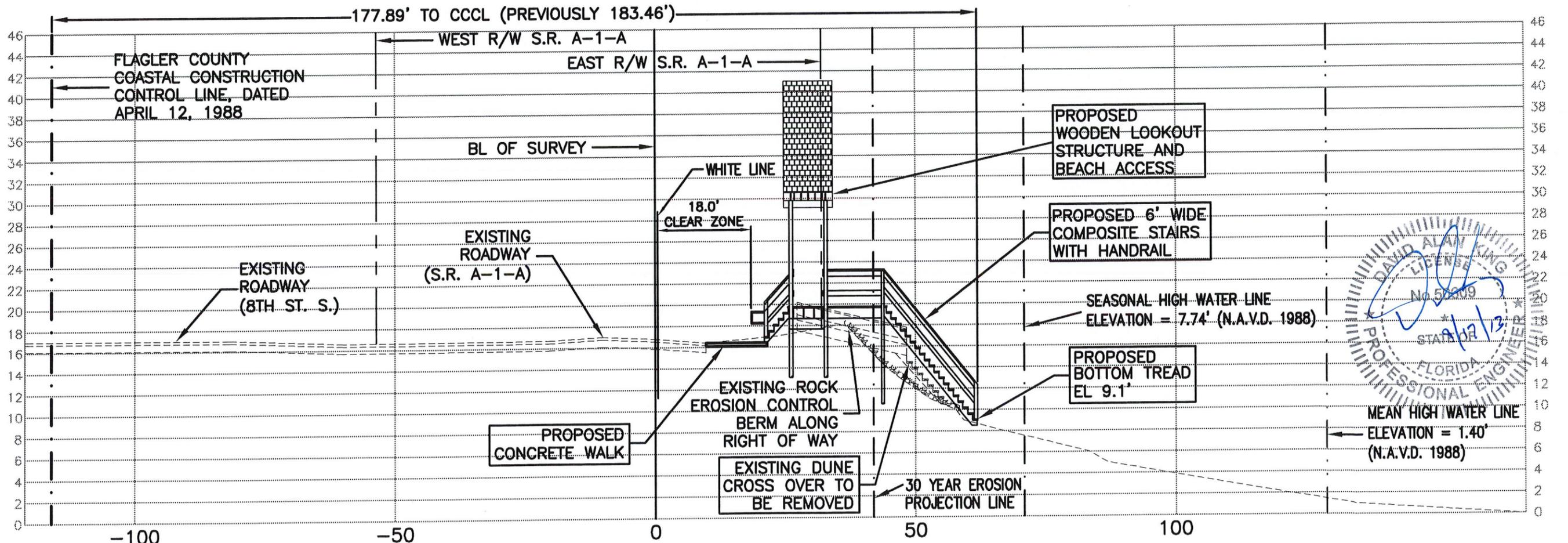
LEGEND

- 00.0 PROPOSED SPOT ELEVATION
- CR-21 PROPOSED FDOT INDEX 304 CURB RAMP DESIGNATION
- PRIOR LOCATION OF PROPOSED BOARDWALK

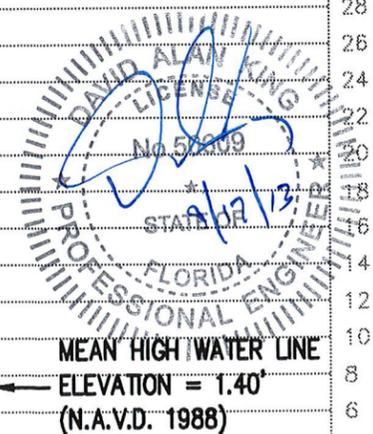
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>3/21/13</td> <td>RAP</td> <td>REVISED PER DOT COMMENTS 5/12</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	3/21/13	RAP	REVISED PER DOT COMMENTS 5/12				QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS <small>FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 FAX 386 761-3977</small>		CITY OF FLAGLER BEACH FLAGLER COUNTY, FL		GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-58-01		PLAN SHEET STA. 753+04 TO END OF PROJECT		DAVID A. KING, P.E. 50609		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DESIGNED</th> <th>DK</th> <th>DATE</th> <th>12/10</th> <th>SCALE</th> <th>SHEET NO.</th> </tr> </thead> <tbody> <tr> <td>DRAWN</td> <td>RAP</td> <td>DATE</td> <td>12/10</td> <td>AS SHOWN</td> <td rowspan="3" style="text-align: center; vertical-align: middle;">C-10 OF 29</td> </tr> <tr> <td>CHECKED</td> <td>---</td> <td>DATE</td> <td>---</td> <td></td> </tr> <tr> <td>APPROVED</td> <td>---</td> <td>DATE</td> <td>---</td> <td></td> </tr> </tbody> </table>		DESIGNED	DK	DATE	12/10	SCALE	SHEET NO.	DRAWN	RAP	DATE	12/10	AS SHOWN	C-10 OF 29	CHECKED	---	DATE	---		APPROVED	---	DATE	---	
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CHECKED	---	DATE	---																																												
APPROVED	---	DATE	---																																												



SECTION "B"- STATION 729+00.00



SECTION "A"- STATION 728+59.33



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

CITY OF
 FLAGLER BEACH
 FLAGLER COUNTY, FL

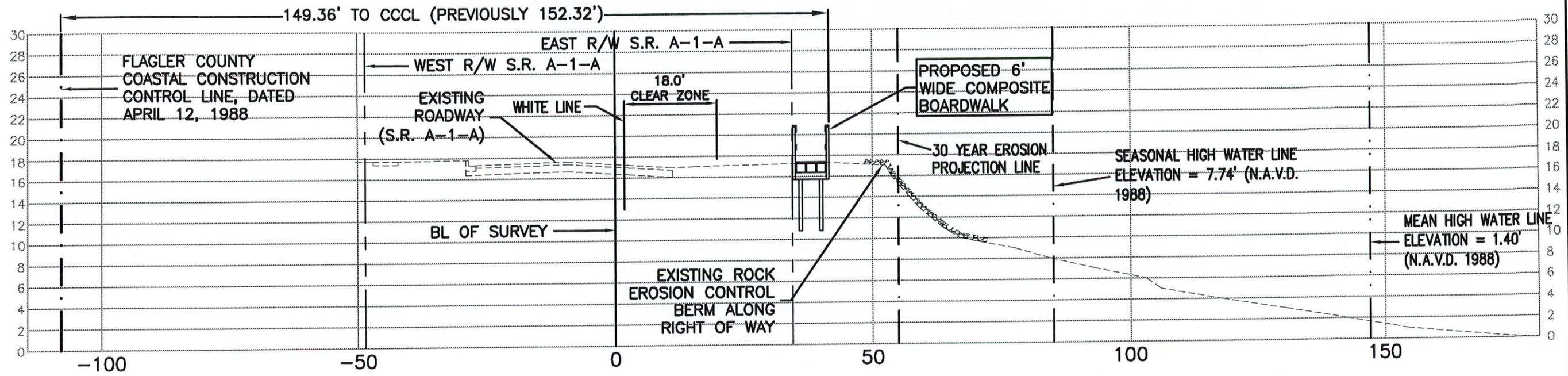
GATEWAY PROMENADE
 IMPROVEMENTS
 FPN #426029-1-58-01

CROSS SECTIONS

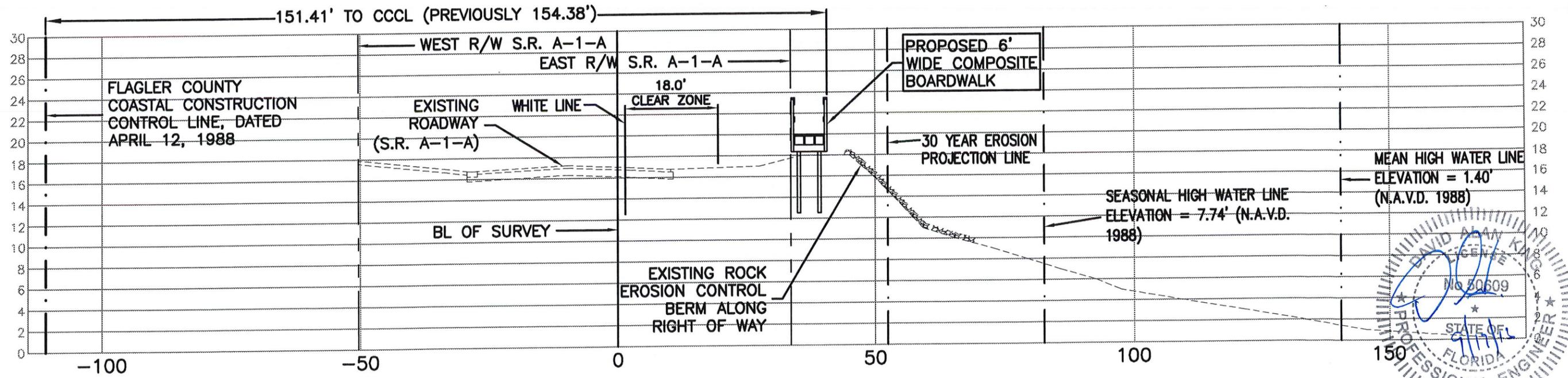
DAVID A. KING, P.E. 50609

DESIGNED	OK	DATE	12/10	SCALE
DRAWN	RAP	DATE	12/10	AS SHOWN
CHECKED	--	DATE	--	
APPROVED	--	DATE	--	

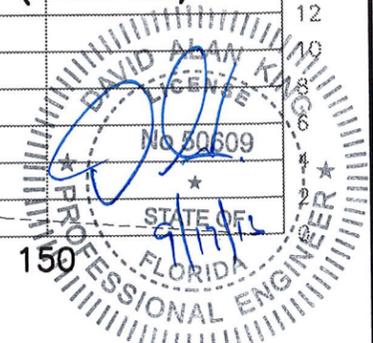
SHEET NO.
C-11
 OF 29



SECTION "D"- STATION 730+80.00



SECTION "C"- STATION 730+00.00



DATE		BY		DESCRIPTION	
3/21/13	RAP			REVISED PER DOT COMMENTS 5/12	

QUENTIN L. HAMPTON & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

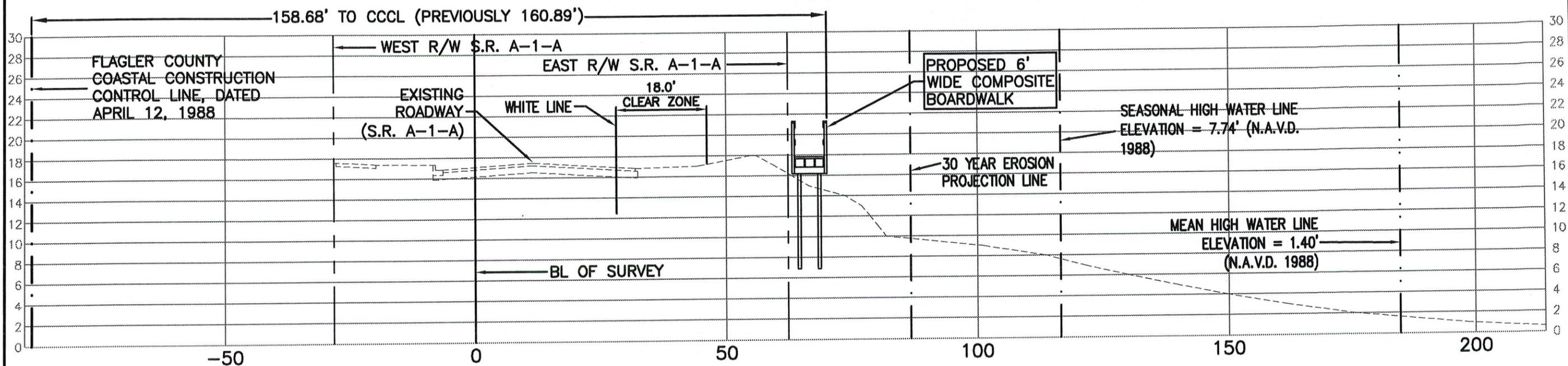
CITY OF FLAGLER BEACH
 FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
 FPN #426029-1-58-01

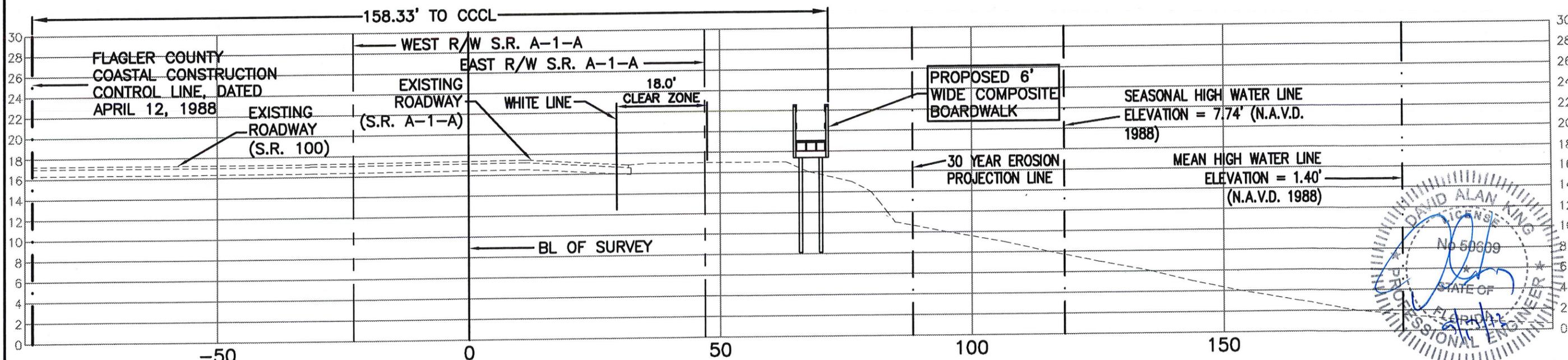
CROSS SECTIONS

DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE	SHEET NO. C-12 OF 29
DRAWN	RAP	DATE	12/10	AS SHOWN	
CHECKED	---	DATE	---		
APPROVED	---	DATE	---		

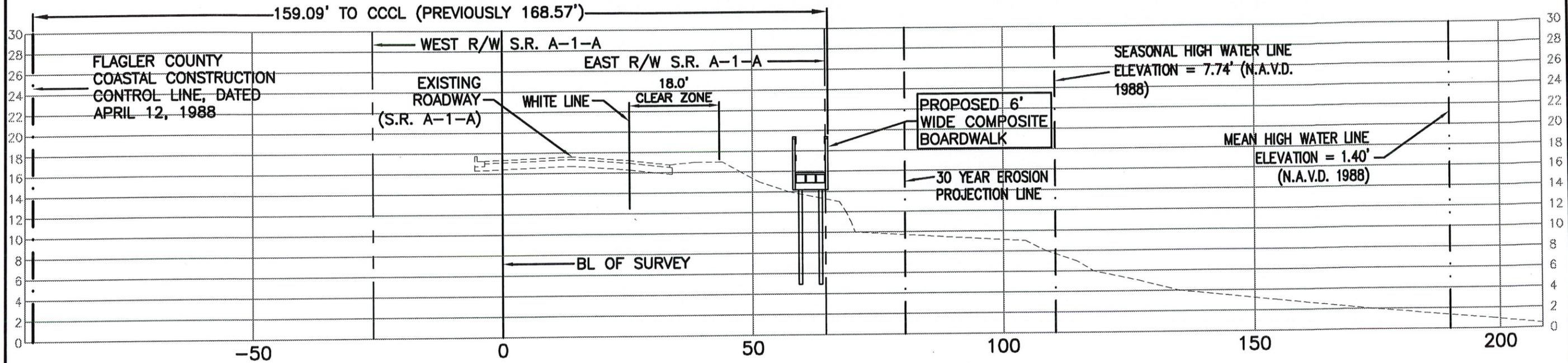


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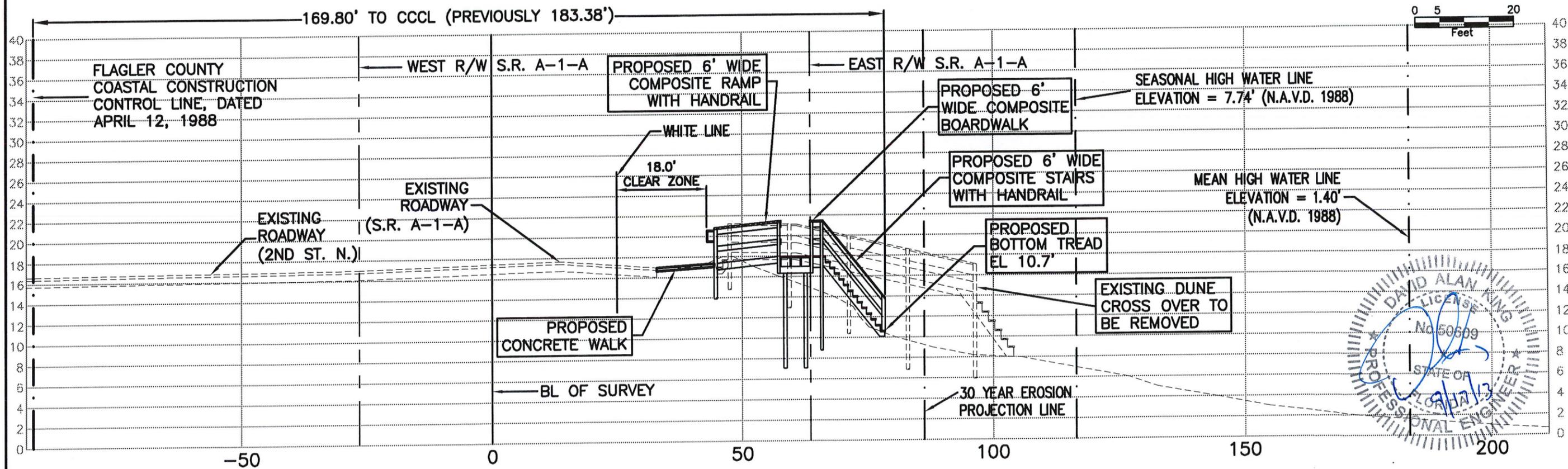


SECTION "E"- STATION 746+00.00

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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION																																
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DESIGNED	DK	DATE	12/10																																		
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CHECKED	---	DATE	---																																		
APPROVED	---	DATE	---																																		



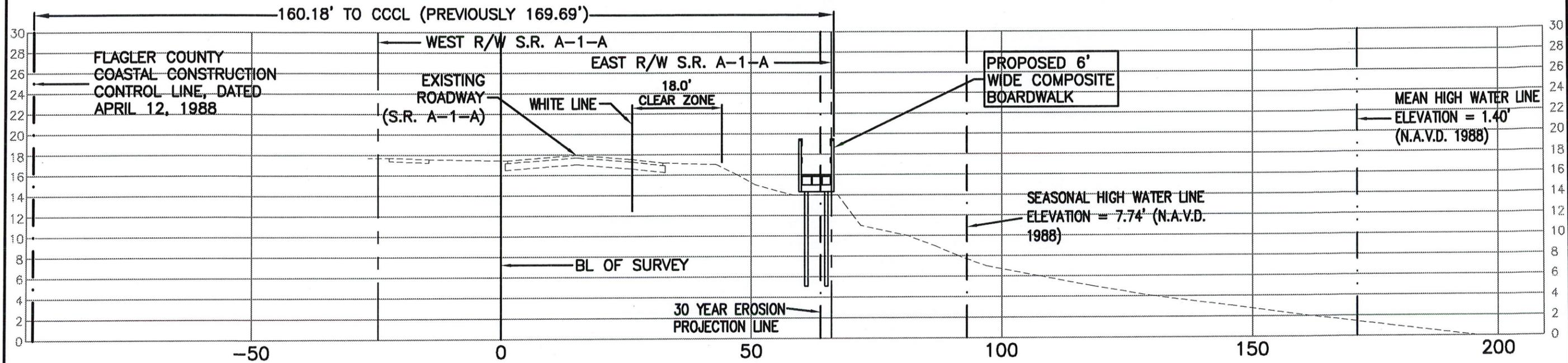
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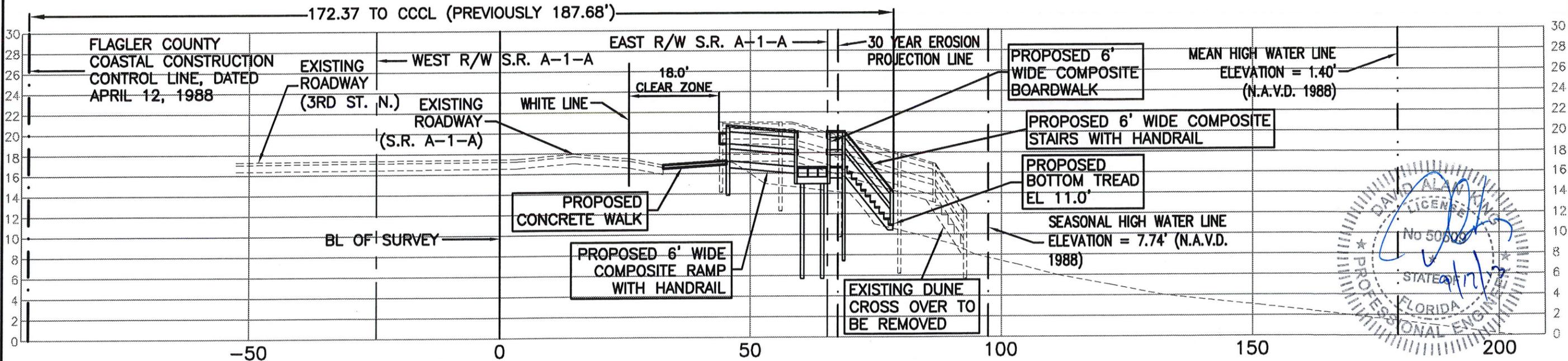
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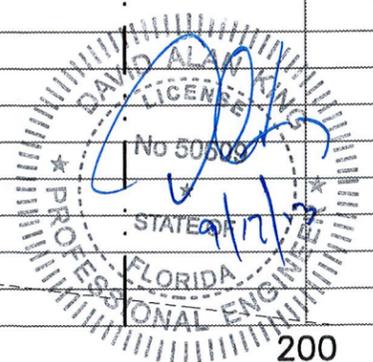
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SECTION "J"- STATION 752+00.00



SECTION "I"- STATION 751+11.00



DATE		BY		DESCRIPTION	
3/21/13	RAP	REVISED PER DOT COMMENTS	5/12		

QUENTIN L. HAMPTON ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

CITY OF
 FLAGLER BEACH
 FLAGLER COUNTY, FL

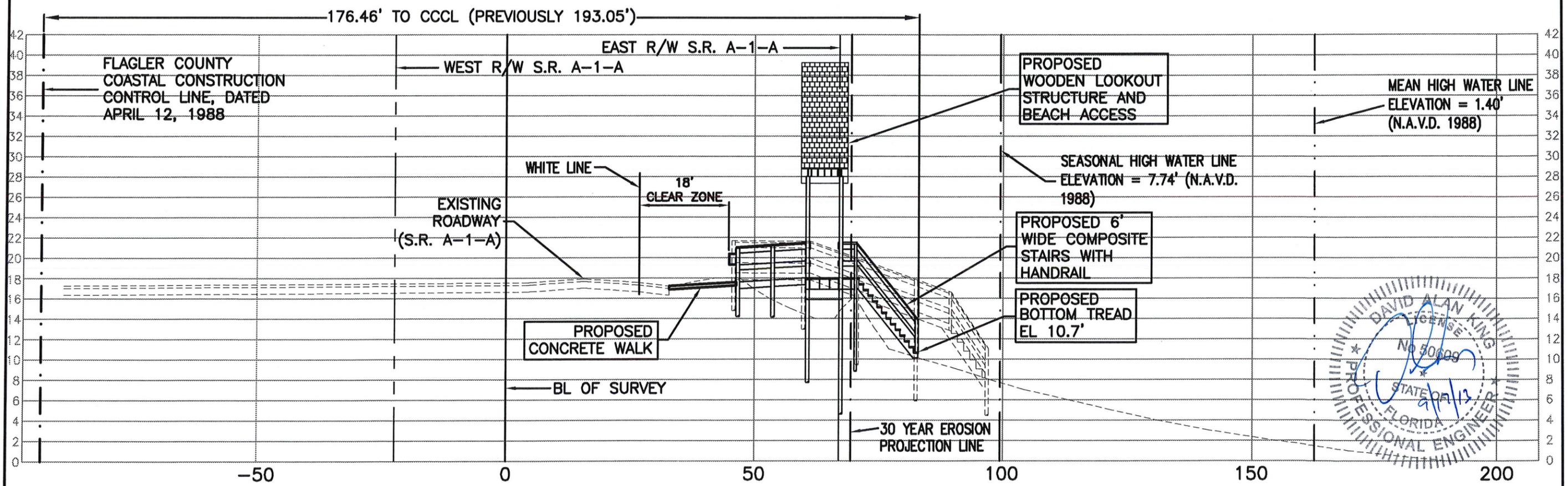
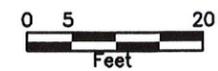
GATEWAY PROMENADE
 IMPROVEMENTS
 FPN #426029-1-58-01

CROSS SECTIONS

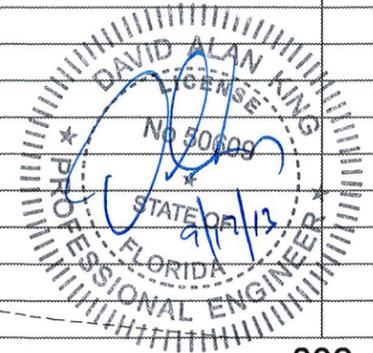
DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE AS SHOWN
DRAWN	RAP	DATE	12/10	
CHECKED	---	DATE	---	
APPROVED	---	DATE	---	

SHEET NO.
C-15
 OF 29



SECTION "K"-STATION 753+60.00



DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	RAP	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

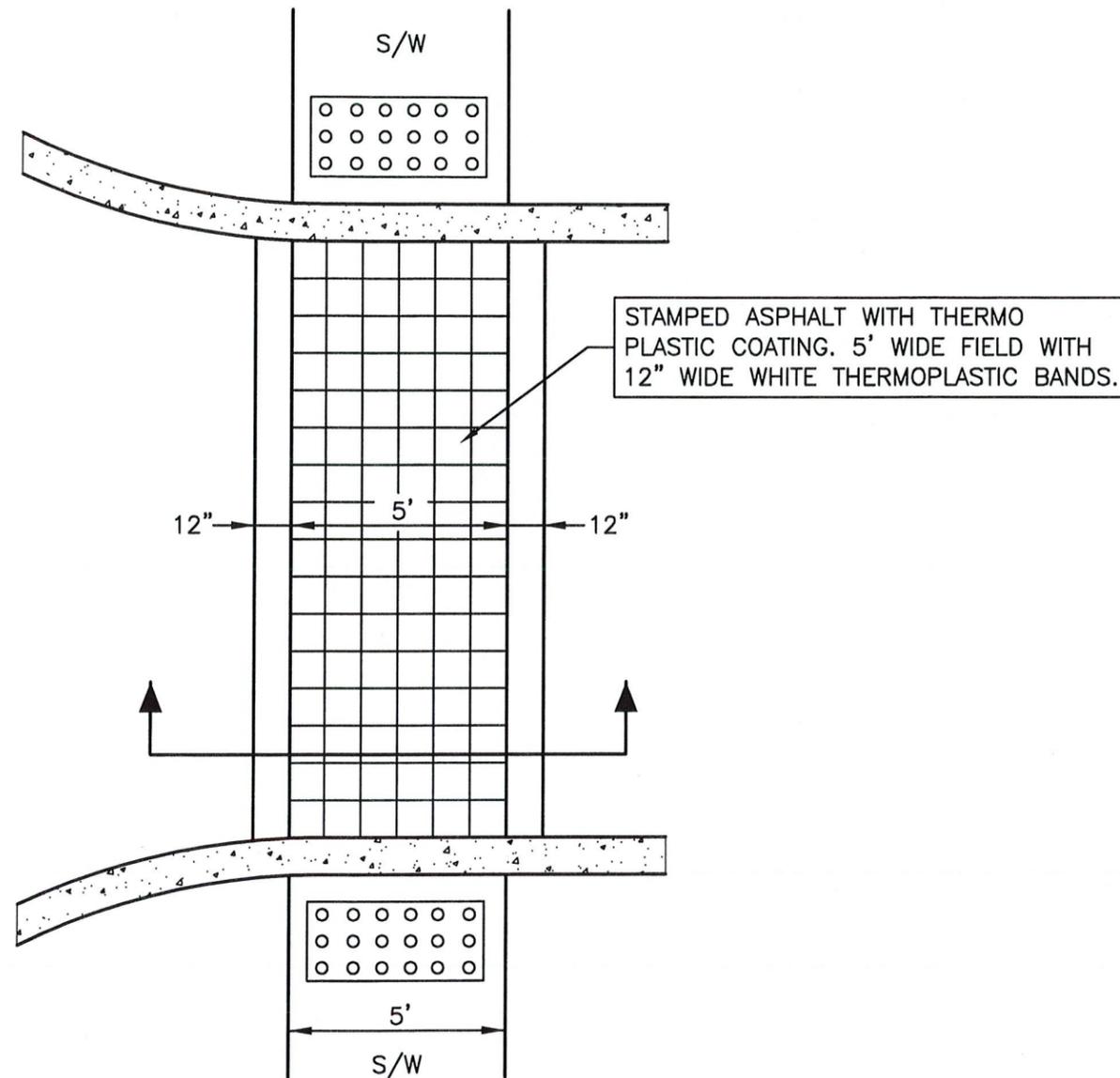
CITY OF FLAGLER BEACH
 FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
 FPN #426029-1-58-01

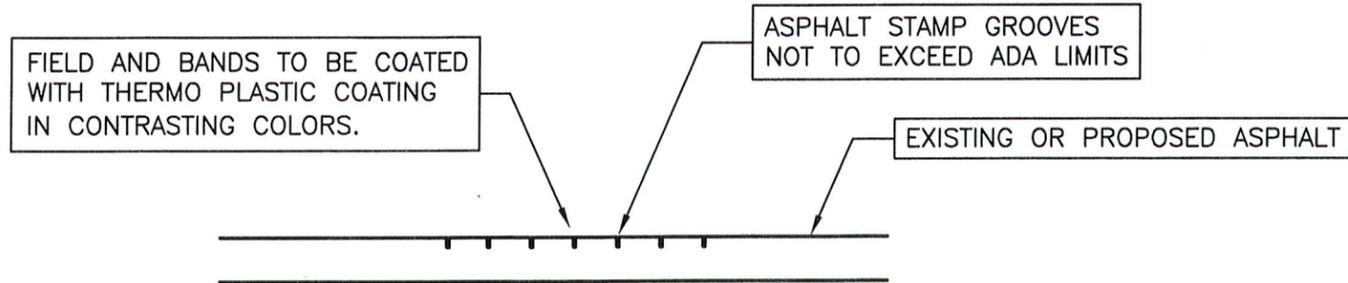
CROSS SECTIONS

DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE	SHEET NO.
DRAWN	RAP	DATE	12/10	AS SHOWN	C-16 OF 29
CHECKED	---	DATE	---		
APPROVED	---	DATE	---		



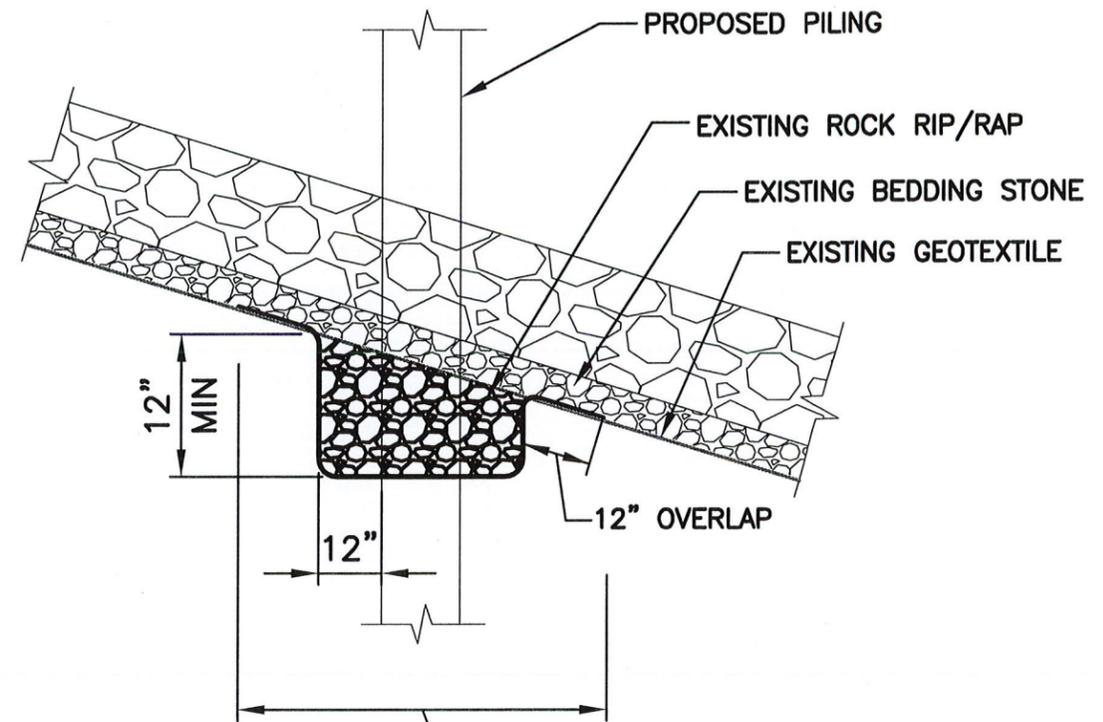
PLAN



SECTION

DECORATIVE CROSSWALK

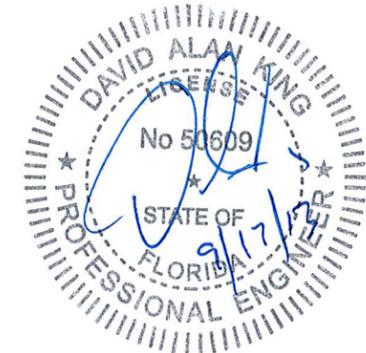
N.T.S.



REMOVE EXISTING ROCK, INSTALL GEOTEXTILE TO MATCH EXISTING OR TYPE D-1 GEOTEXTILE, OVERLAP EXISTING FABRIC 12"(MIN), INSTALL BEDDING STONE 12" (MIN) AROUND PROPOSED PILING, REINSTALL EXISTING BEDDING ROCK AND ROCK RIP RAP.

PILING IN ROCK REVETMENT

N.T.S.



DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION

QUENTIN L. HAMPTON & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 FAX 386 761-3977
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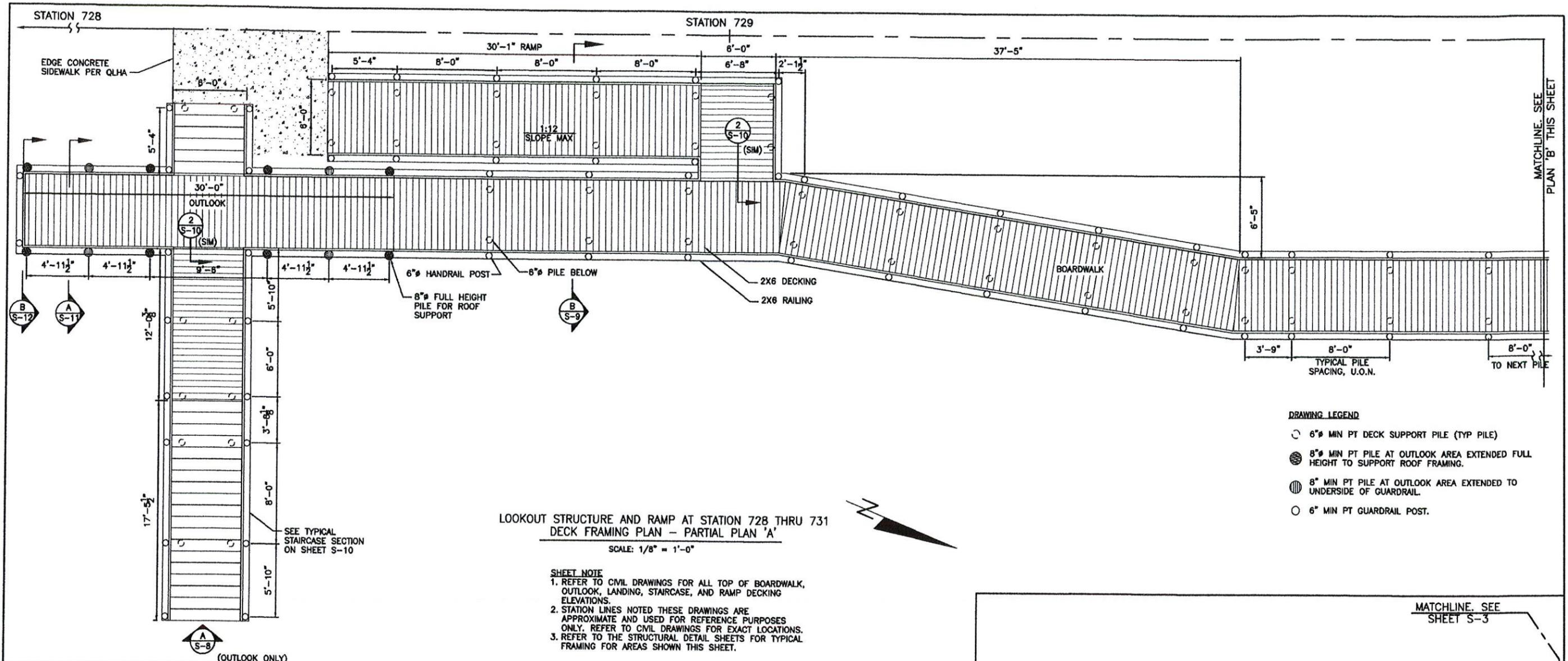
CITY OF FLAGLER BEACH
 FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
 FPN #426029-1-58-01

DETAILS

DAVID A. KING, P.E. 50609

DESIGNED	DK	DATE	12/10	SCALE	SHEET NO.
DRAWN	RAP	DATE	12/10	AS SHOWN	C-17
CHECKED	---	DATE	---		OF 29
APPROVED	---	DATE	---		



LOOKOUT STRUCTURE AND RAMP AT STATION 728 THRU 731
DECK FRAMING PLAN - PARTIAL PLAN 'A'

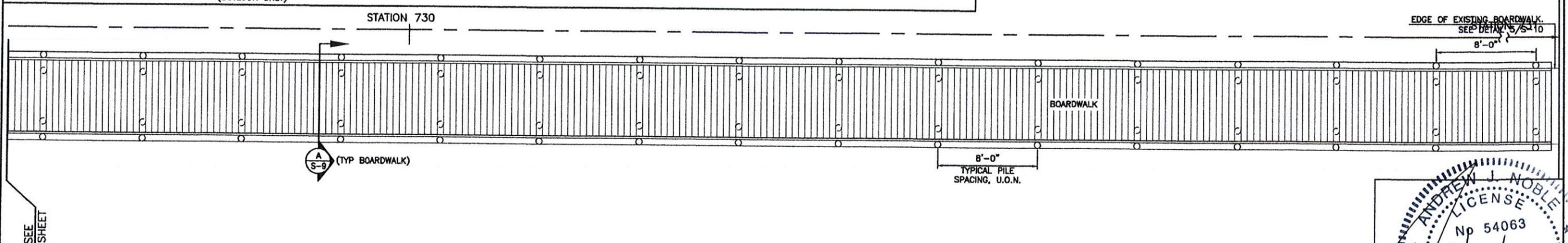
SCALE: 1/8" = 1'-0"

SHEET NOTE

1. REFER TO CIVIL DRAWINGS FOR ALL TOP OF BOARDWALK, OUTLOOK, LANDING, STAIRCASE, AND RAMP DECKING ELEVATIONS.
2. STATION LINES NOTED THESE DRAWINGS ARE APPROXIMATE AND USED FOR REFERENCE PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS.
3. REFER TO THE STRUCTURAL DETAIL SHEETS FOR TYPICAL FRAMING FOR AREAS SHOWN THIS SHEET.

DRAWING LEGEND

- 6" MIN PT DECK SUPPORT PILE (TYP PILE)
- 8" MIN PT PILE AT OUTLOOK AREA EXTENDED FULL HEIGHT TO SUPPORT ROOF FRAMING.
- ⊖ 8" MIN PT PILE AT OUTLOOK AREA EXTENDED TO UNDERSIDE OF GUARDRAIL.
- 6" MIN PT GUARDRAIL POST.



LOOKOUT STRUCTURE AND RAMP AT STATION 728 THRU 731
DECK FRAMING PLAN - PARTIAL PLAN 'B'

SCALE: 1/8" = 1'-0"

NOBLE STRUCTURAL GROUP, INC.
Consulting Engineers
220 Coral Sands Dr, Suite 3
Rockledge, Florida 32955
Phone: 321-635-9344
Fax: 321-635-9343
FL EB NO. 27956

ANDREW J. NOBLE
LICENSE
No 54063
STATE OF FLORIDA
PROFESSIONAL ENGINEER
9/17/13

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

QUENTIN L. HAMPTON ASSOCIATES, INC.
CONSULTING ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

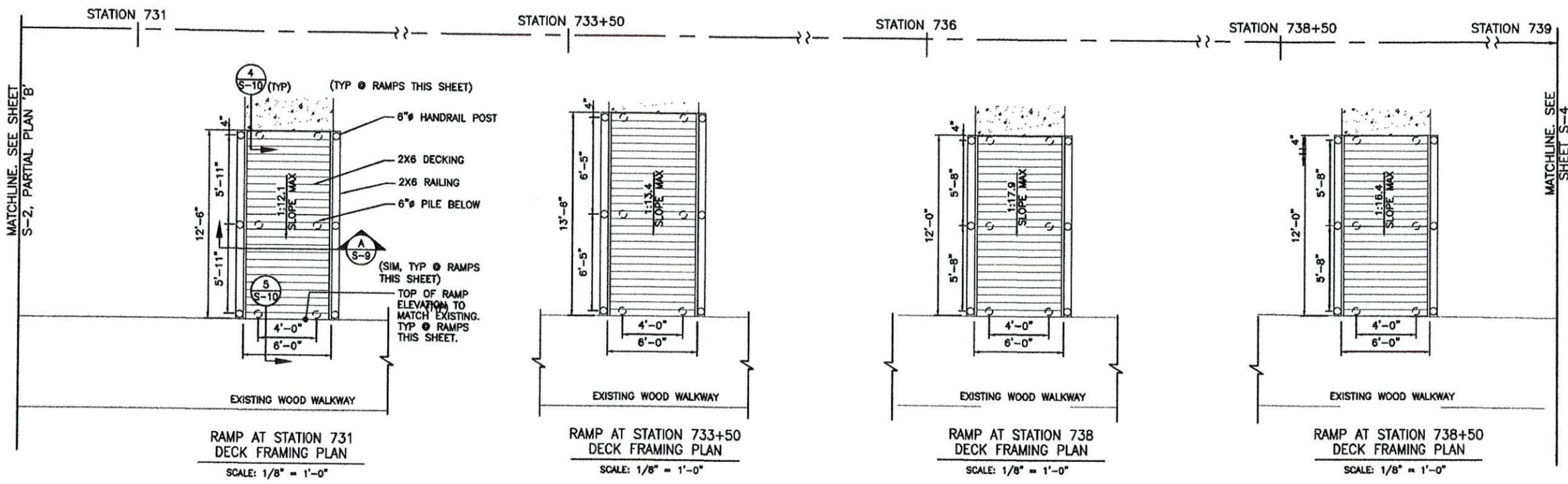
CITY OF
FLAGLER BEACH
FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
FPN #426029-1-38-01

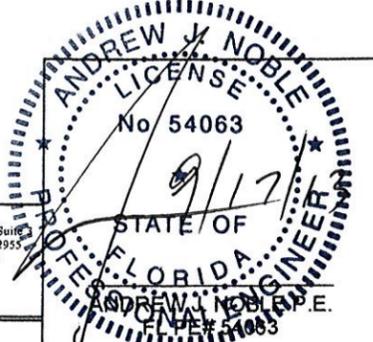
BEACH OUTLOOK AND RAMP AT
STATION 728 THRU 731 -
DECK FRAMING PLANS

DESIGNED	DK	DATE	10/10	SCALE	AS SHOWN
DRAWN	RAP	DATE	10/10		
CHECKED		DATE			
APPROVED		DATE			

NO. S-2 OF 29



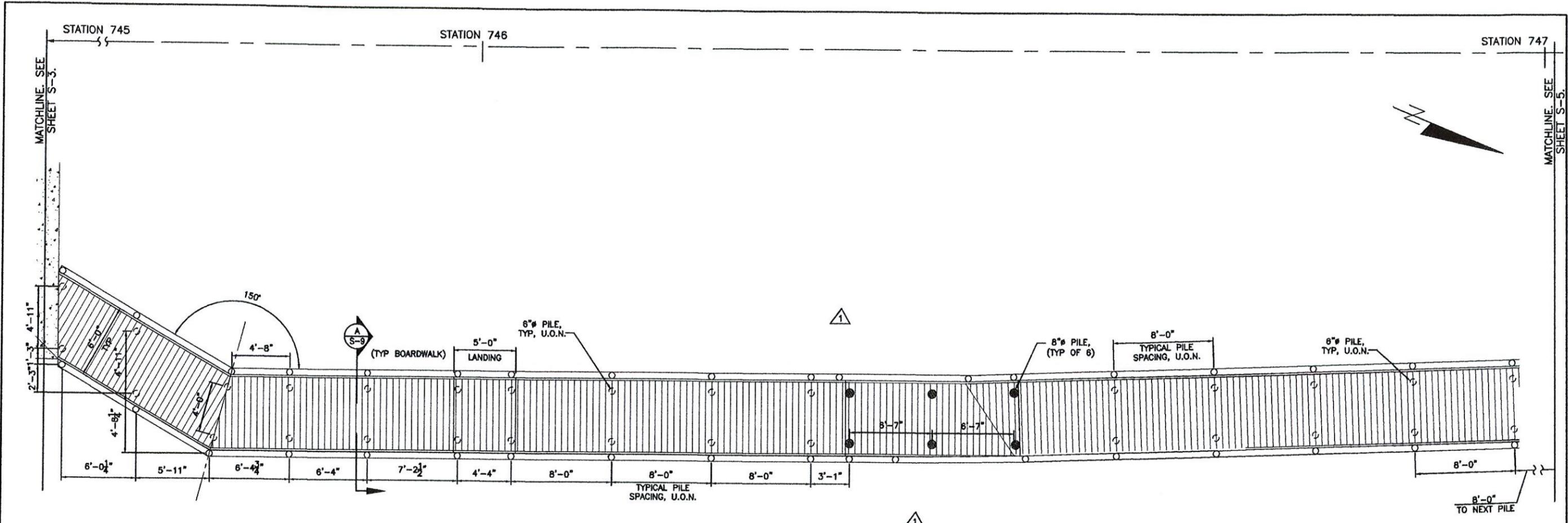
NOTE
 1. REFER TO CIVIL DRAWINGS FOR ALL TOP OF BOARDWALK, OUTLOOK, LANDING, STAIRCASE, AND RAMP DECKING ELEVATIONS.
 2. STATION LINES NOTED THESE DRAWINGS ARE APPROXIMATE AND USED FOR REFERENCE PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS.



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DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION

QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS <small>FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 FAX 386 761-3977 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810</small>	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH RAMPS AT STATION 731 THRU 739 - DECK FRAMING PLANS	DESIGNED MJL DATE 6/11 SCALE AS SHOWN SHEET NO. S-3 OF 29 DRAWN MJL DATE 6/11 CHECKED AJN DATE 6/11 APPROVED -- DATE --
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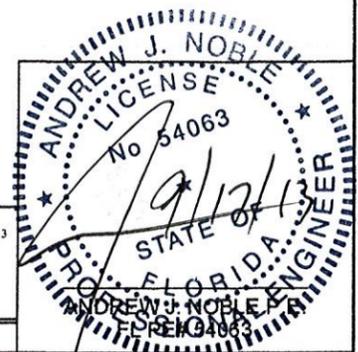
NOTE
 1. REFER TO CIVIL DRAWINGS FOR ALL TOP OF BOARDWALK, OUTLOOK, LANDING, STAIRCASE, AND RAMP DECKING ELEVATIONS.
 2. STATION LINES NOTED THESE DRAWINGS ARE APPROXIMATE AND USED FOR REFERENCE PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS.

DRAWING LEGEND
 ○ 6" MIN PT DECK SUPPORT PILE (TYP PILE)
 ● 8" MIN PT DECK SUPPORT PILE

△ DETAIL NOT USED
 1/2" = 1'-0"
 A
 S-4

EMERGENCY RAMP AT STATION 746 THRU 747
 DECK FRAMING PLAN
 SCALE: 1/8" = 1'-0"

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 FL EB NO. 27956

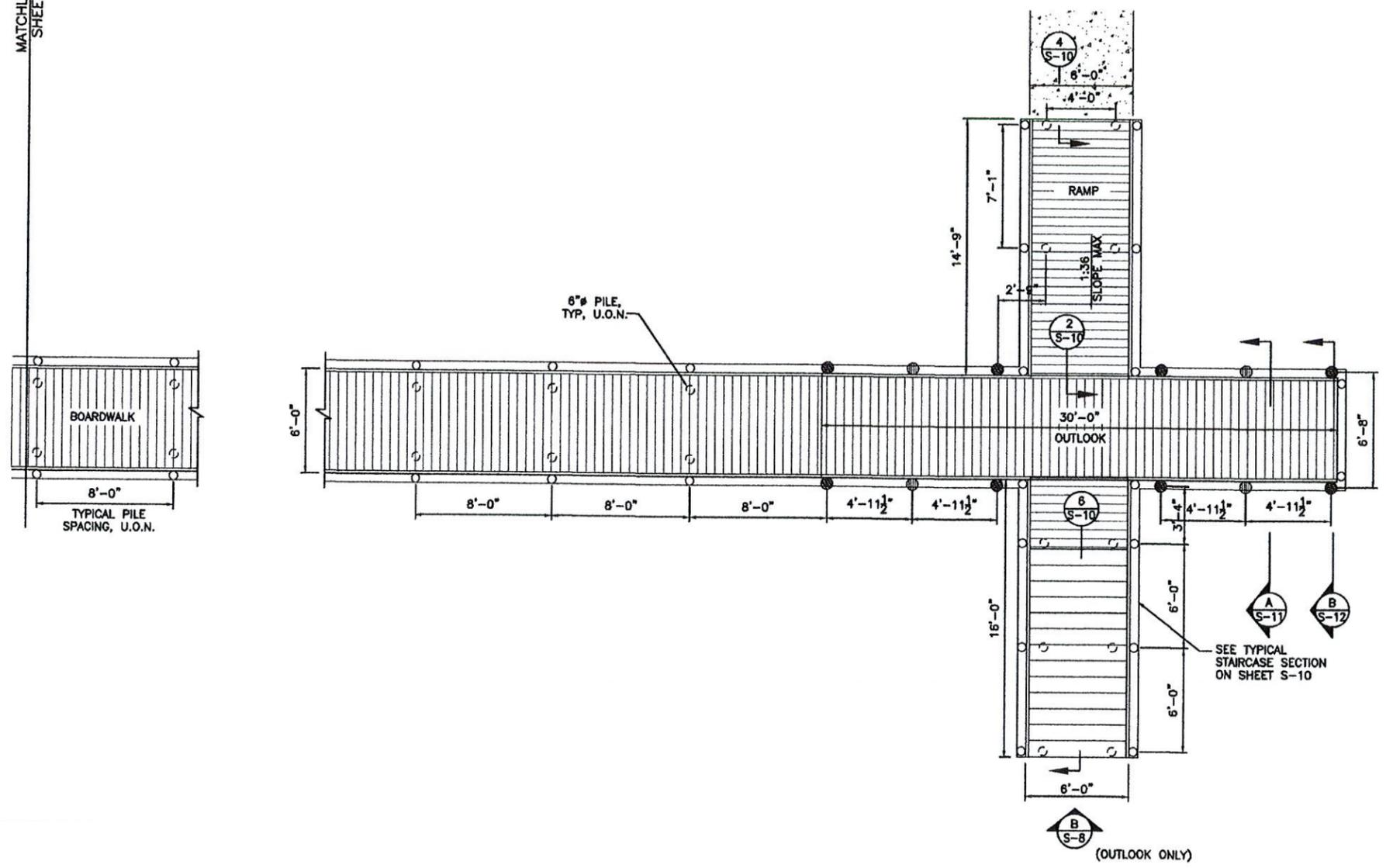


DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
5/21/13	AJN	△ REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON & ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-8810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH EMERGENCY RAMP AT STATION 745 THRU 747 - DECK FRAMING PLANS	DESIGNED MJL DATE 6/11 SCALE AS SHOWN SHEET NO. S-4 OF 29 DRAWN MJL DATE 6/11 CHECKED AJN DATE 6/11 APPROVED --- DATE ---
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MATCHLINE. SEE SHEET S-5.
 STATION 751 STATION 752 STATION 753

STATION 754
 END OF BOARDWALK FRAMING

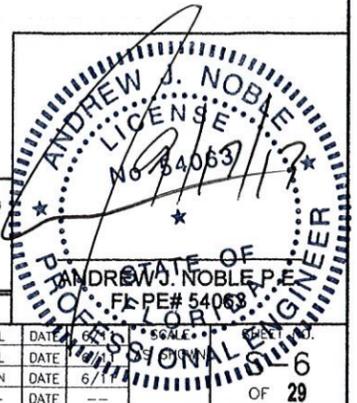


NOTE
 1. REFER TO CIVIL DRAWINGS FOR ALL TOP OF BOARDWALK, OUTLOOK, LANDING, STAIRCASE, AND RAMP DECKING ELEVATIONS.
 2. STATION LINES NOTED THESE DRAWINGS ARE APPROXIMATE AND USED FOR REFERENCE PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS.
 3. REFER TO THE STRUCTURAL DETAIL SHEETS FOR TYPICAL FRAMING FOR AREAS SHOWN THIS SHEET.

- DRAWING LEGEND**
- 6" MIN PT DECK SUPPORT PILE (TYP PILE)
 - 8" MIN PT PILE AT OUTLOOK AREA EXTENDED FULL HEIGHT TO SUPPORT ROOF FRAMING.
 - ⊗ 8" MIN PT PILE AT OUTLOOK AREA EXTENDED TO UNDERSIDE OF GUARDRAIL.
 - 6" MIN PT GUARDRAIL POST.

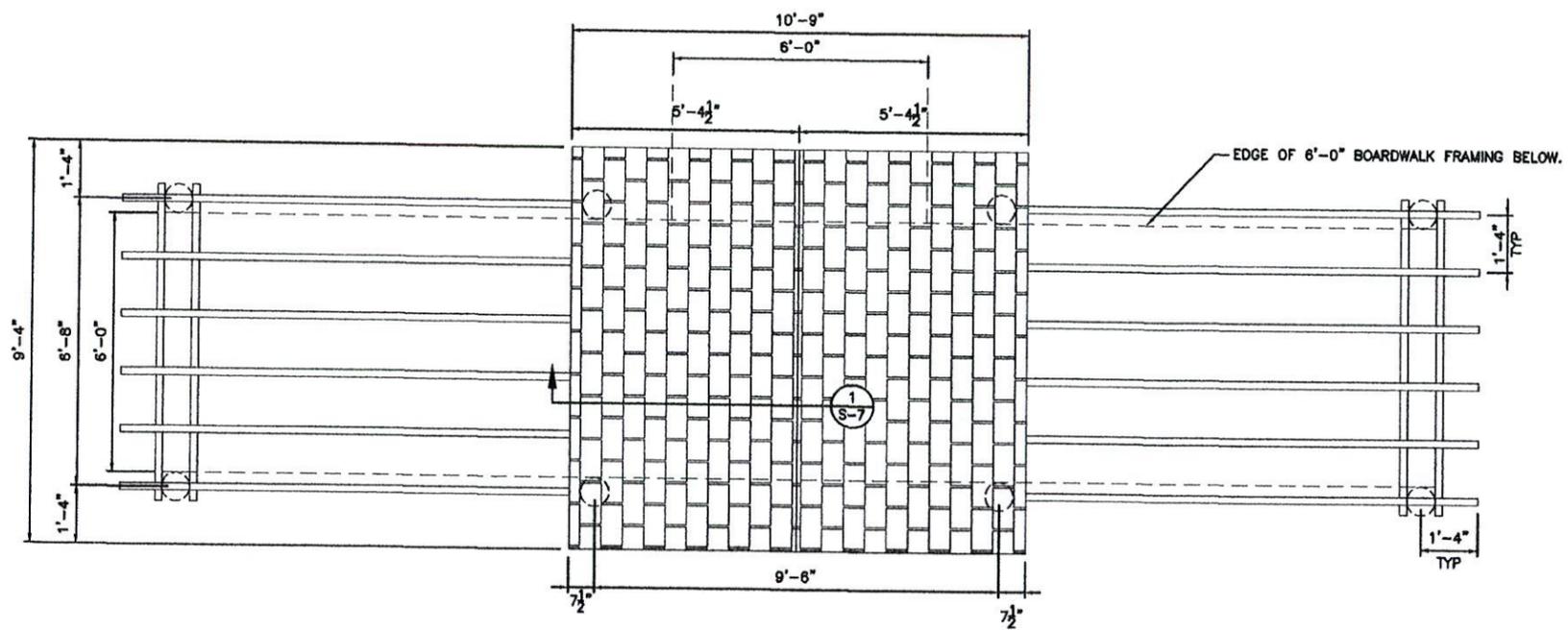
LOOKOUT STRUCTURE AND RAMP AT STATION 754
 DECK FRAMING PLAN
 SCALE: 1/8" = 1'-0"

NOBLE STRUCTURAL GROUP, INC.
 Consulting Engineers
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 Rockledge, Florida 32955
 Phone: 321-635-9344
 Fax: 321-635-9343
 FL RB NO. 27956

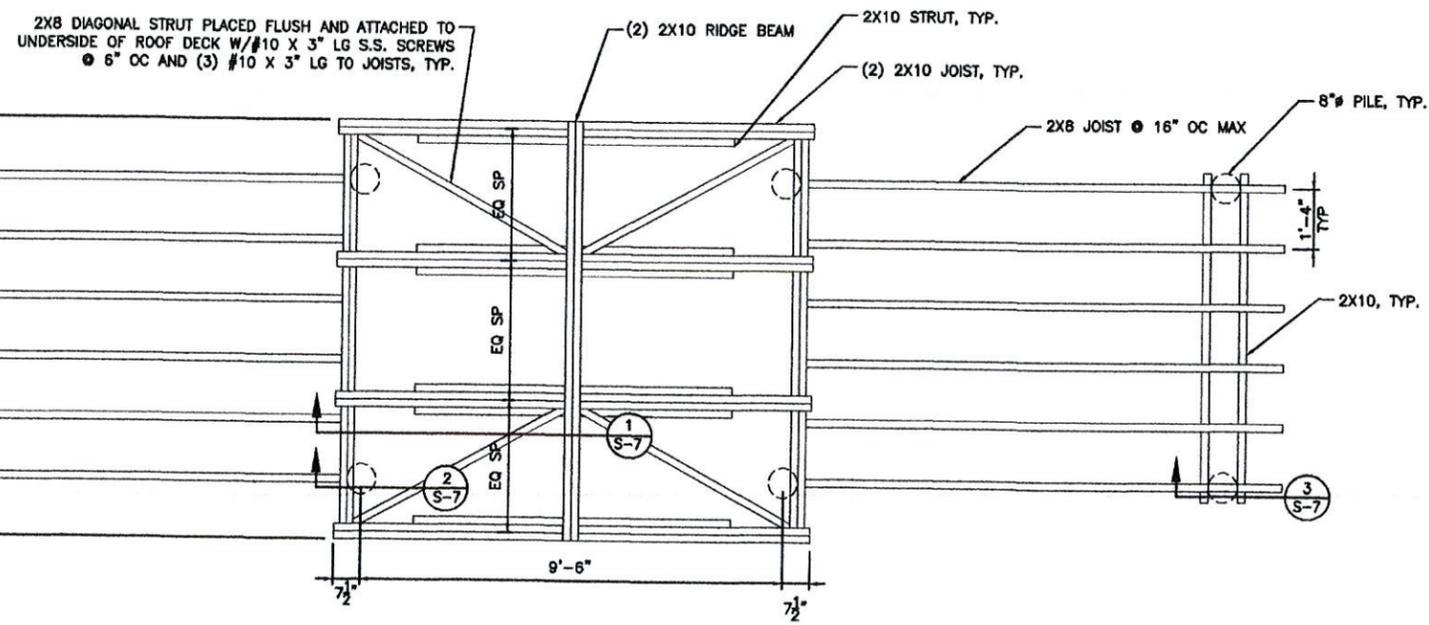


DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION

QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH OUTLOOK AND RAMP AT STATION 754 - DECK FRAMING PLANS	DESIGNED: MJL DRAWN: MJL CHECKED: AJN APPROVED: ---	DATE: 6/11 DATE: 6/11 DATE: 6/11 DATE: ---	SCALE: 1/8" = 1'-0" SHEET NO. 6 OF 29
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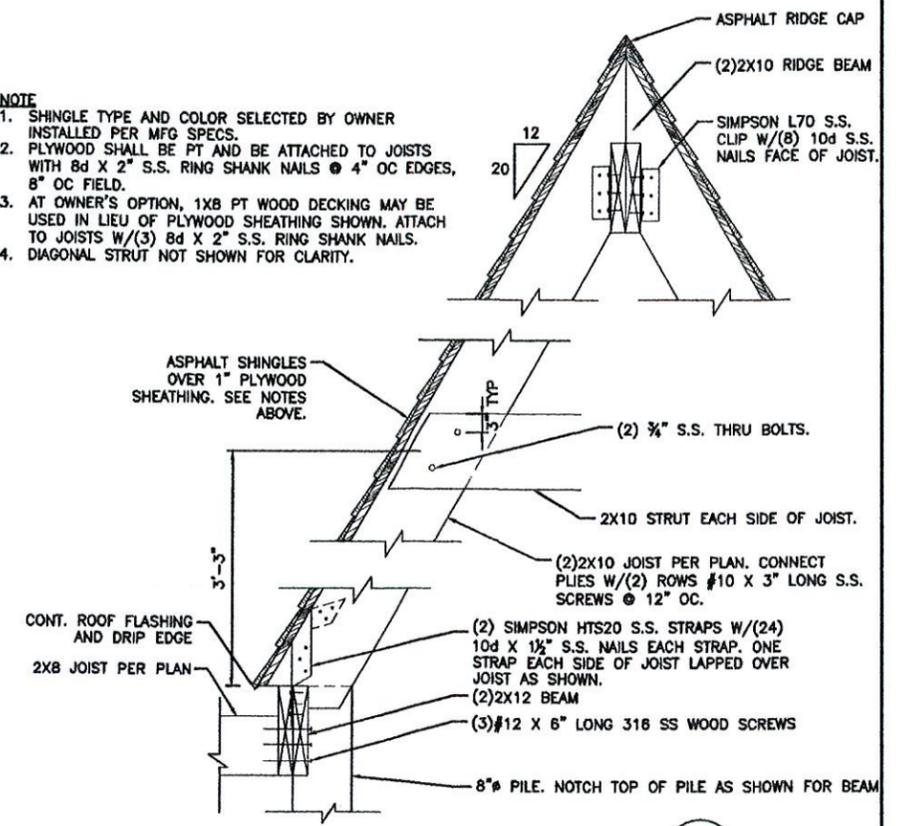


LOOKOUT STRUCTURE AT STATION 729 AND 754
ROOF PLAN
SCALE: 1/4" = 1'-0"

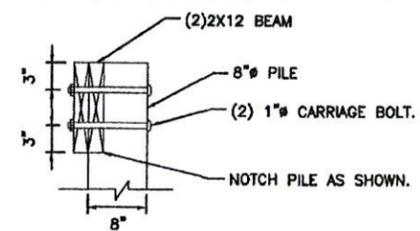


LOOKOUT STRUCTURE AT STATION 729 AND 754
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

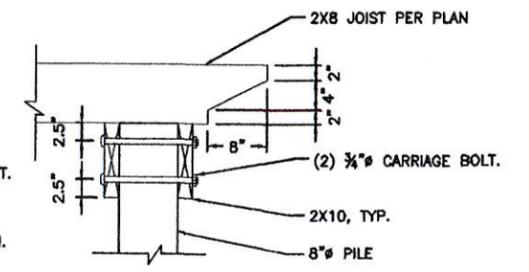
- NOTE**
1. SHINGLE TYPE AND COLOR SELECTED BY OWNER INSTALLED PER MFG SPECS.
 2. PLYWOOD SHALL BE PT AND BE ATTACHED TO JOISTS WITH 8d X 2" S.S. RING SHANK NAILS @ 4" OC EDGES, 8" OC FIELD.
 3. AT OWNER'S OPTION, 1X8 PT WOOD DECKING MAY BE USED IN LIEU OF PLYWOOD SHEATHING SHOWN. ATTACH TO JOISTS W/(3) 8d X 2" S.S. RING SHANK NAILS.
 4. DIAGONAL STRUT NOT SHOWN FOR CLARITY.



ROOF DETAIL 1
1/2" = 1'-0" S-7



ROOF DETAIL 2
1/2" = 1'-0" S-7



ROOF DETAIL 3
1/2" = 1'-0" S-7

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FL BB NO. 27956

ANDREW J. NOBLE
LICENSE
No 54068
6/17/13
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

QUENTIN L. HAMPTON & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810

CITY OF
FLAGLER BEACH
 FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
 FPN #426029-1-38-01

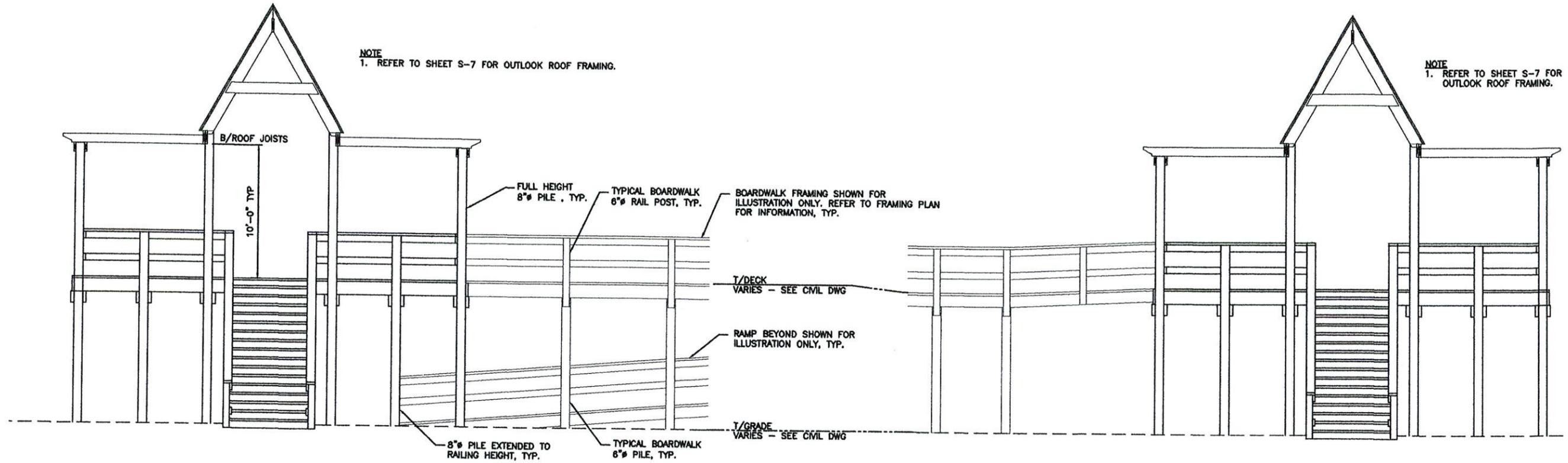
BEACH OUTLOOKS AT STATION 729 & 754 - ROOF FRAMING PLANS AND DETAILS

DESIGNED	MJL	DATE	6/11
DRAWN	MJL	DATE	6/11
CHECKED	AJN	DATE	6/11
APPROVED	---	DATE	---

AS SHOWN
S-7
 OF 29

NOTE
1. REFER TO SHEET S-7 FOR OUTLOOK ROOF FRAMING.

NOTE
1. REFER TO SHEET S-7 FOR OUTLOOK ROOF FRAMING.



LOOKOUT STRUCTURE AT STATION 729
EAST ELEVATION
SCALE: 1/8" = 1'-0"

A
S-8

LOOKOUT STRUCTURE AT STATION 754
EAST ELEVATION
SCALE: 1/8" = 1'-0"

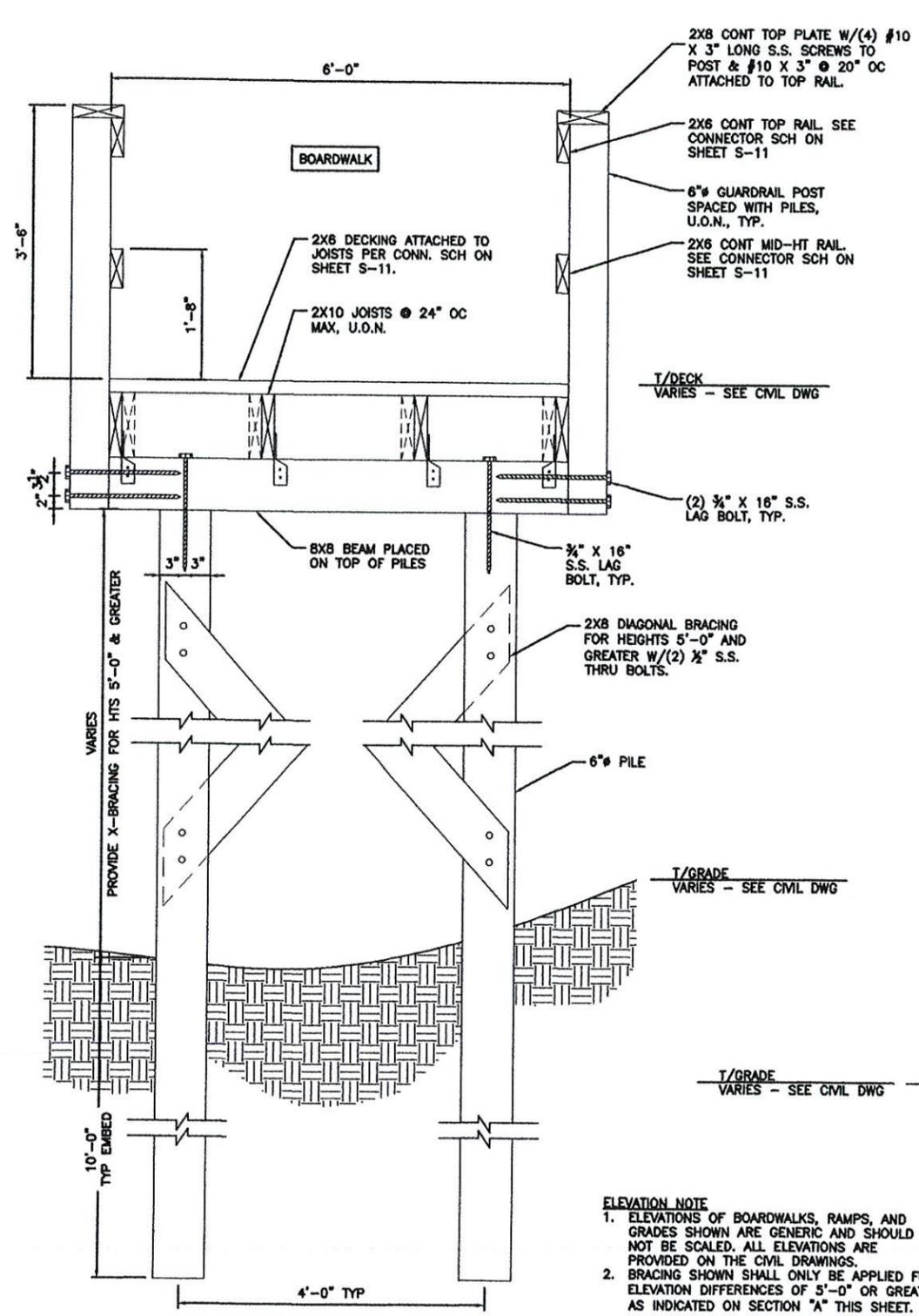
B
S-8

NOBLE
STRUCTURAL
GROUP, INC.
Consulting Engineers
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Rockledge, Florida 32955
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Fax: 321-635-9343
FL REG NO. 27956

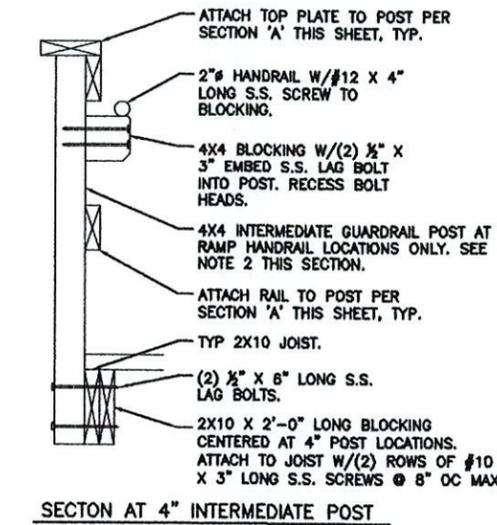


DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION

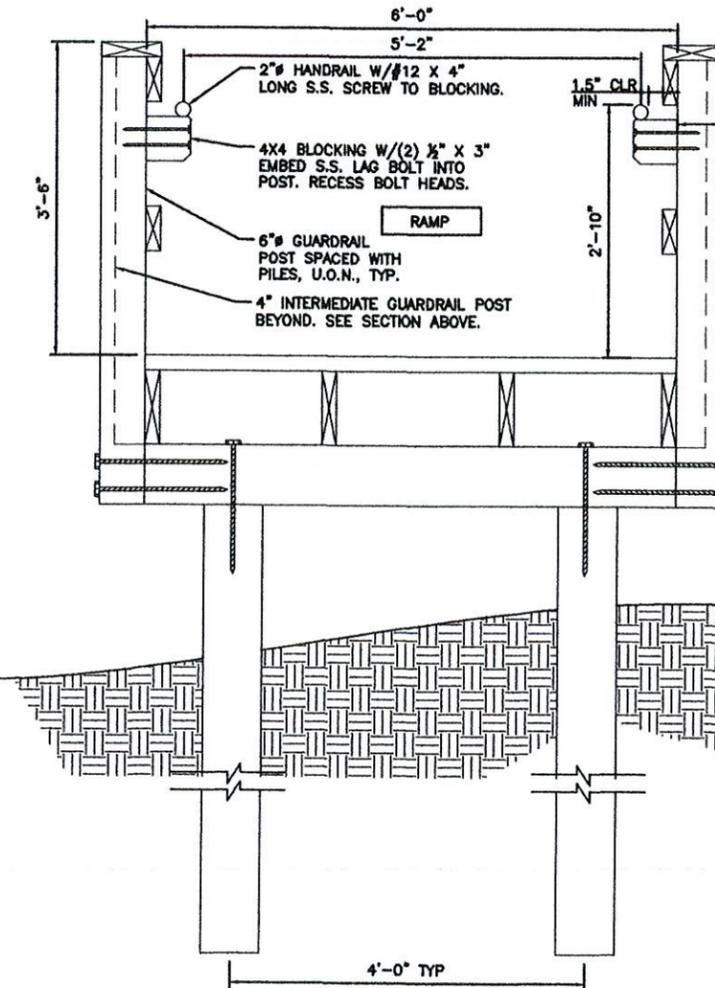
QUENTIN I. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 388 761-8810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH OUTLOOKS AT STATION 729 & 754 - ELEVATIONS	DESIGNED MJL DATE 6/11 DRAWN MJL DATE 6/11 CHECKED AJN DATE 6/11 APPROVED --- DATE ---	SCALE AS SHOWN SHEET NO. S-8 OF 29
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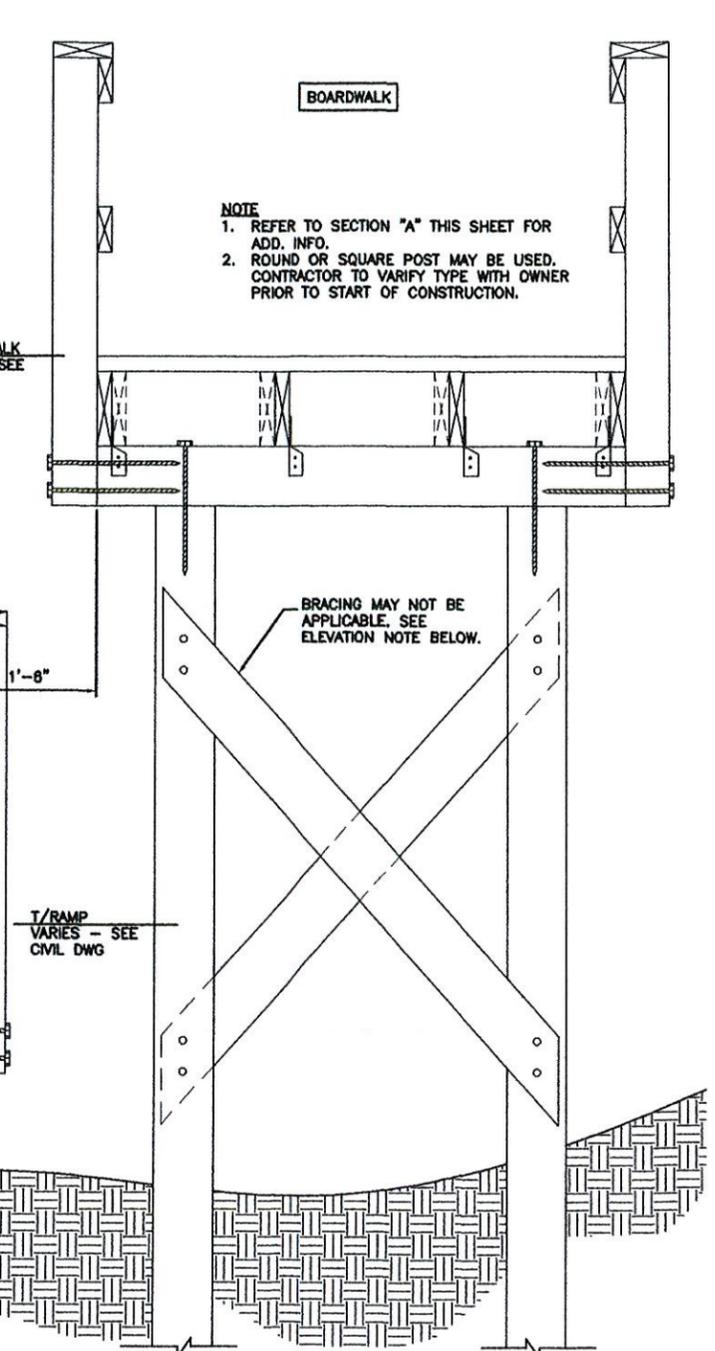
TYPICAL BOARDWALK SECTION A
1/2" = 1'-0"



SECTION AT 4" INTERMEDIATE POST



TYPICAL BOARDWALK SECTION AT RAMP B
1/2" = 1'-0"



NOTE
1. REFER TO SECTION "A" THIS SHEET FOR ADD. INFO.
2. ROUND OR SQUARE POST MAY BE USED. CONTRACTOR TO VERIFY TYPE WITH OWNER PRIOR TO START OF CONSTRUCTION.

ELEVATION NOTE
1. ELEVATIONS OF BOARDWALKS, RAMPS, AND GRADES SHOWN ARE GENERIC AND SHOULD NOT BE SCALED. ALL ELEVATIONS ARE PROVIDED ON THE CIVIL DRAWINGS.
2. BRACING SHOWN SHALL ONLY BE APPLIED FOR ELEVATION DIFFERENCES OF 5'-0" OR GREATER AS INDICATED ON SECTION "A" THIS SHEET.

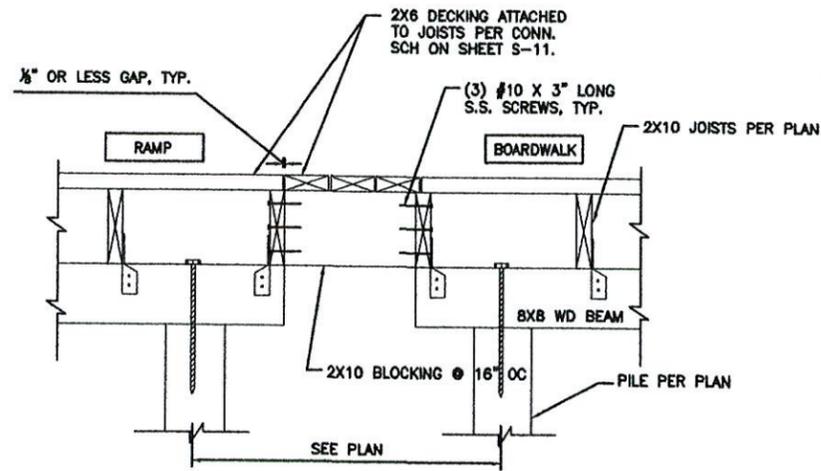
NOTE
ALL DECKING AND RAILING MEMBERS TO BE TREX HS24 MARINE GRADE OR EQUAL, TYPICAL

NOBLE STRUCTURAL GROUP, INC.
Consulting Engineers
230 Coral Sands Dr, Suite 3
Rockledge, Florida 32955
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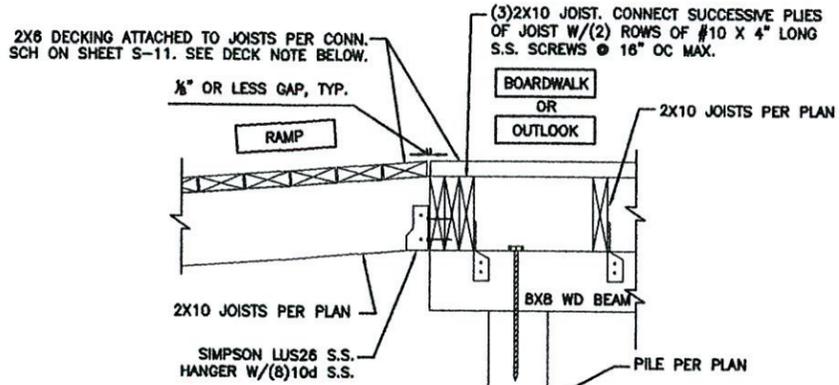
ANDREW J. NOBLE
LICENSE
No 54063
6/17/13
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	AJN	REVISED PER DOT COMMENTS 5/12			

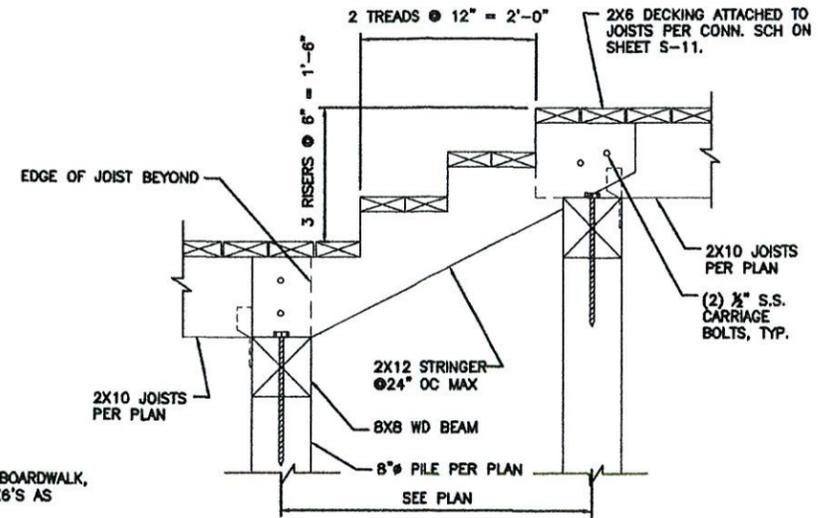
QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH BOARDWALK TYPICAL FRAMING DETAILS	DESIGNED MJL DATE 6/11 DRAWN MJL DATE 6/11 CHECKED AJN DATE 6/11 APPROVED --- DATE ---	SCALE AS SHOWN SHEET NO. S-9 OF 29
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DETAIL 1 RAMP
1/2" = 1'-0"
(IF APPLICABLE)



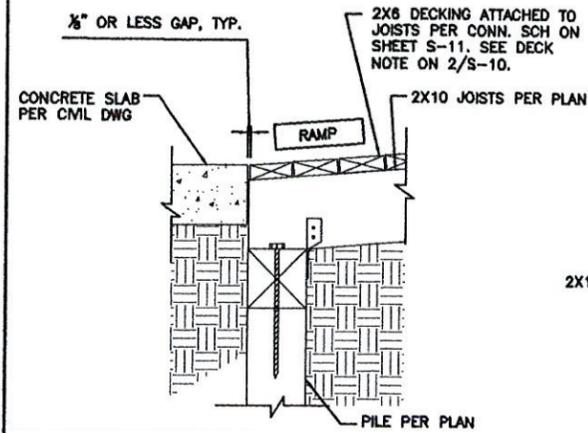
DETAIL 2 RAMP
1/2" = 1'-0"
(SIM)



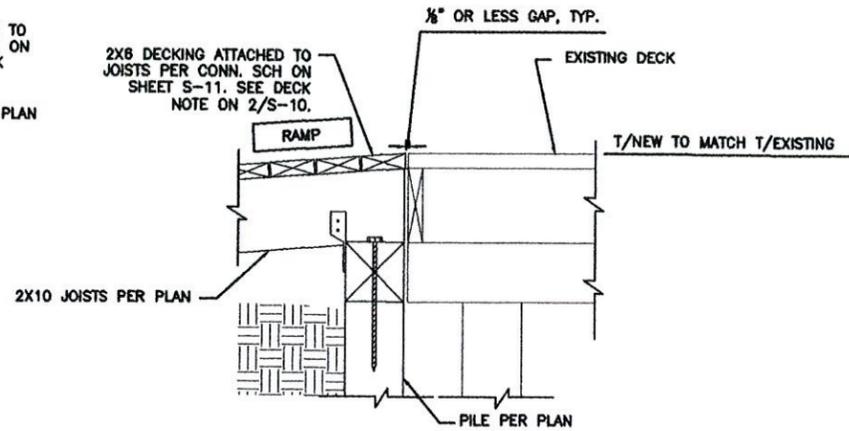
DETAIL 3 STEPS
1/2" = 1'-0"
(IF APPLICABLE)

DECK NOTE
AT TRANSITION FROM RAMP ADJACENT BOARDWALK, OUTLOOK, EXISTING, OR SIM, BEVEL 2X6'S AS NEEDED TO MEET GAP REQUIREMENT.

SIM NOTE
AT SIM CONDITION, PILE AND WOOD BEAM FRAMING SHALL FOLLOW THE TYPICAL OUTLOOK SECTION ON SHEET S-11. RAMP DOES NOT APPLY FRAMING TO BE FLUSH AND MATCH OUTLOOK OR BOARDWALK ELEVATION. ALL OTHER INFORMATION SHOWN THIS DETAIL TO REMAIN.



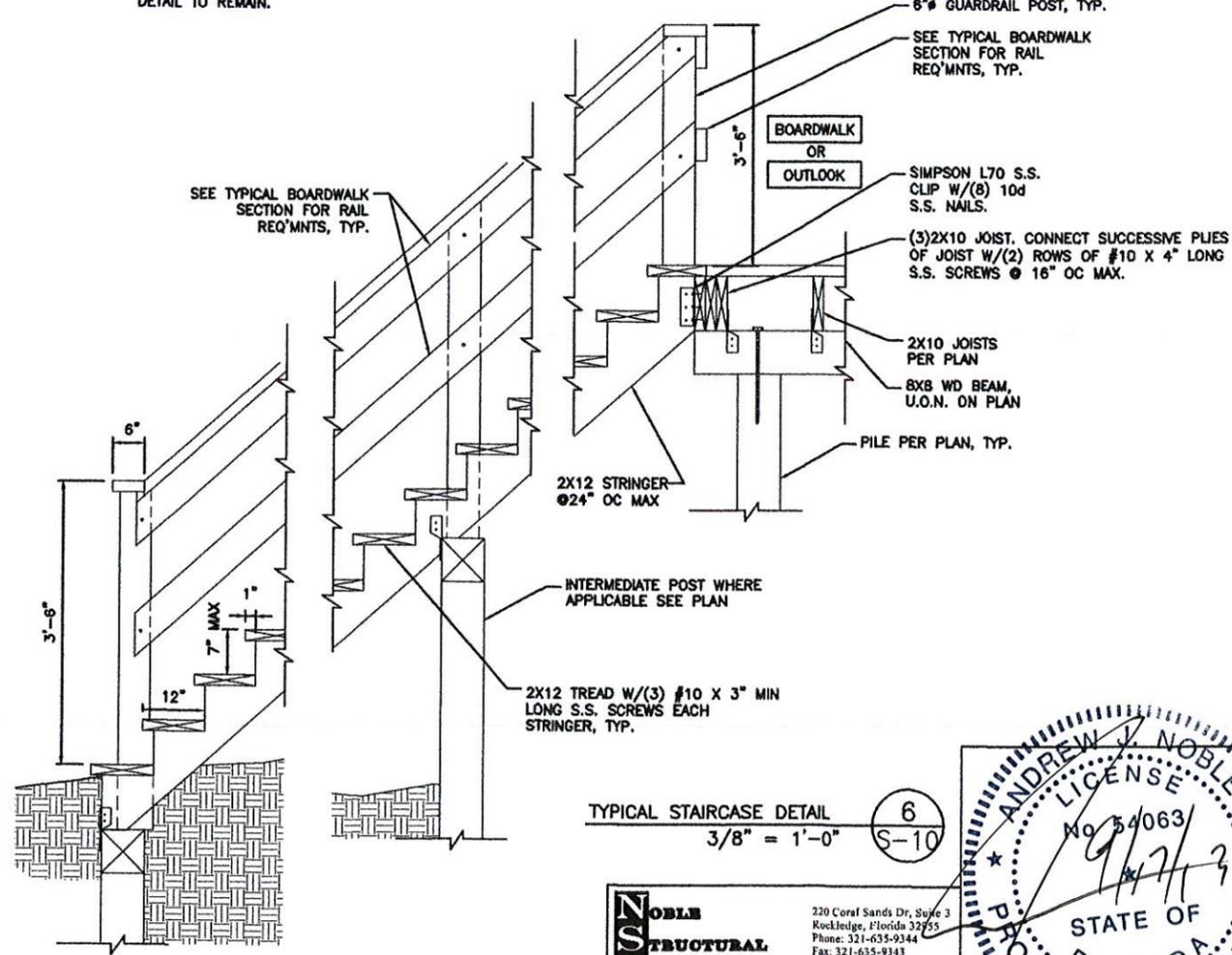
DETAIL 4 SLAB AND RAMP
1/2" = 1'-0"



DETAIL 5 RAMP TO EXISTING DECK
1/2" = 1'-0"

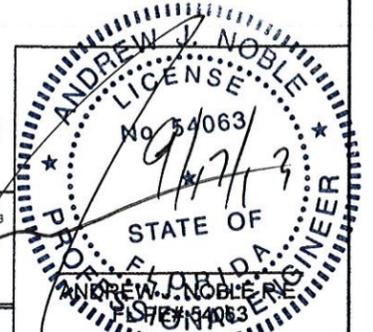
NOTE
REFER TO SHEET S-9 FOR FRAMING INFORMATION NOT SHOWN THIS SHEET.

NOTE
ALL DECKING, RAILING, TREADS AND RISERS TO BE TREX HS24 MARINE GRADE OR EQUAL, TYPICAL.



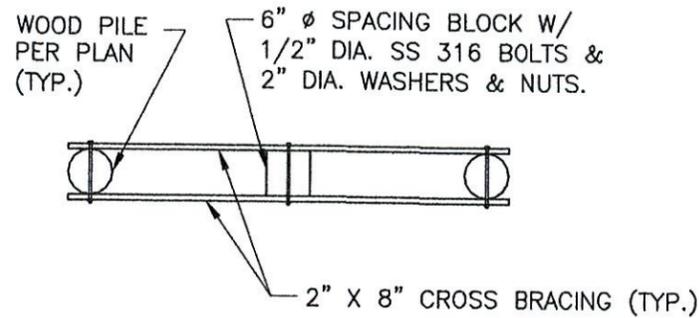
TYPICAL STAIRCASE DETAIL
3/8" = 1'-0"

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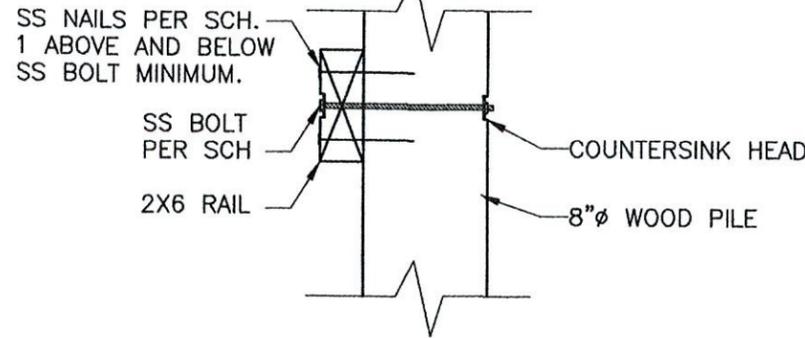
DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	AJN	REVISED PER DOT COMMENTS 5/12			

QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-8810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	BEACH BOARDWALK TYPICAL FRAMING DETAILS	DESIGNED M.J.L. DATE 6/11 DRAWN M.J.L. DATE 6/11 CHECKED A.J.N. DATE 6/11 APPROVED --- DATE ---	AS SHOWN SHEET NO. S-10 OF 29
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TOP VIEW OF CROSS BRACING

SCALE: 1/4"=1'-0"



SIDE RAIL ATTACHMENT

SCALE: NTS

NOTES:

1. ALL HARDWARE TO BE 316 STAINLESS STEEL
2. ALL LUMBER SHALL BE P.T. WOOD
3. ALL RAMPS AND TREADS SHALL HAVE NON-SKID TAPE OR SIMILAR SURFACE APPLIED. SUBMITTAL ON PROPOSED MATERIAL SHALL BE MADE FOR APPROVAL.

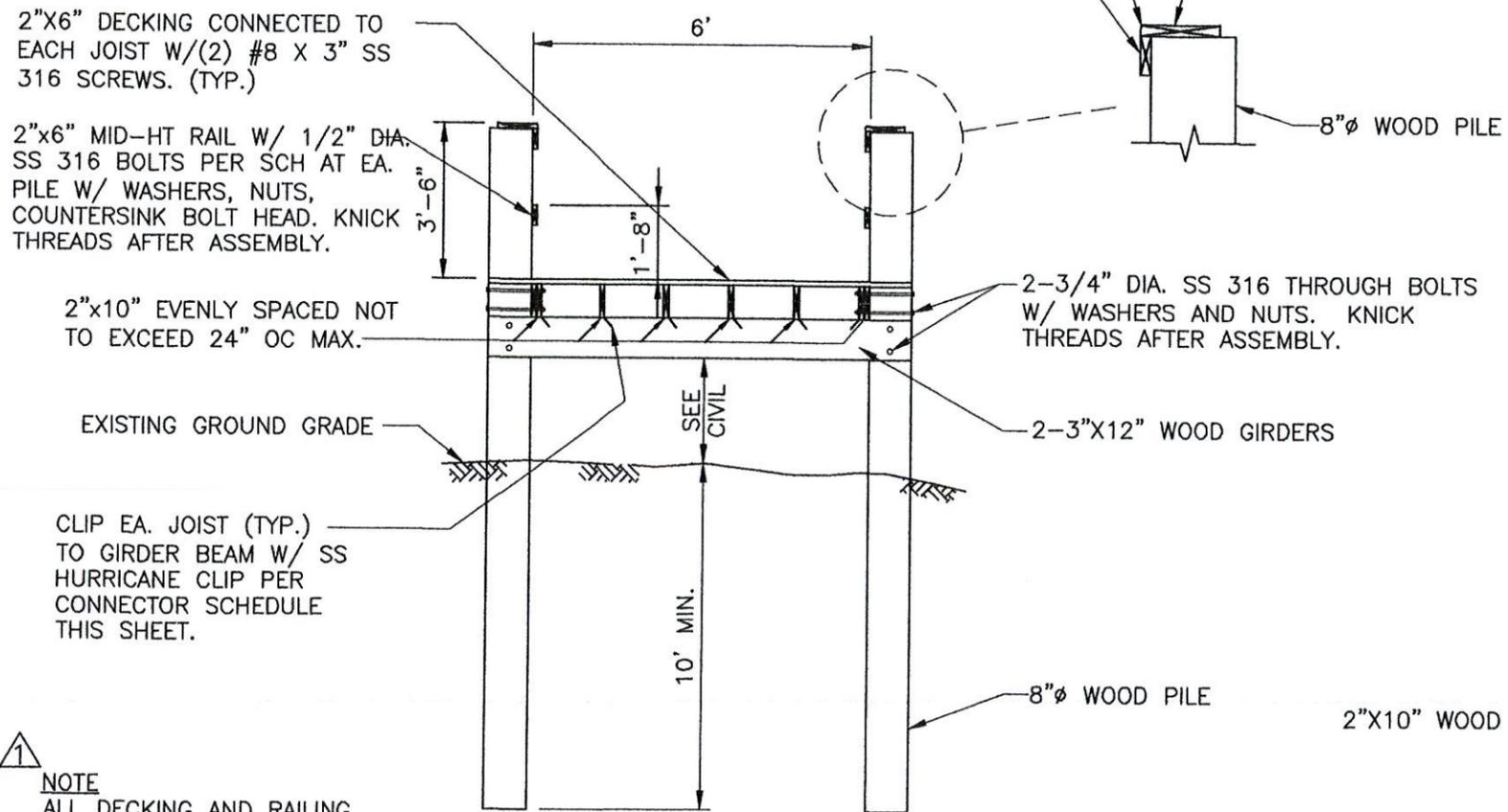
LEGEND:

- P.T. WOOD.....PRESSURE TREATED WOOD
- CL.....CENTERLINE
- Ø.....DIAMETER
- TYP.....TYPICAL
- SS.....STAINLESS STEEL
- EA.....EACH
- W.S.WOOD SCREW

CROSS BRACING NOTE
WORK THIS DETAIL WITH SECTION A/S-9. OMIT WHERE APPLICABLE.

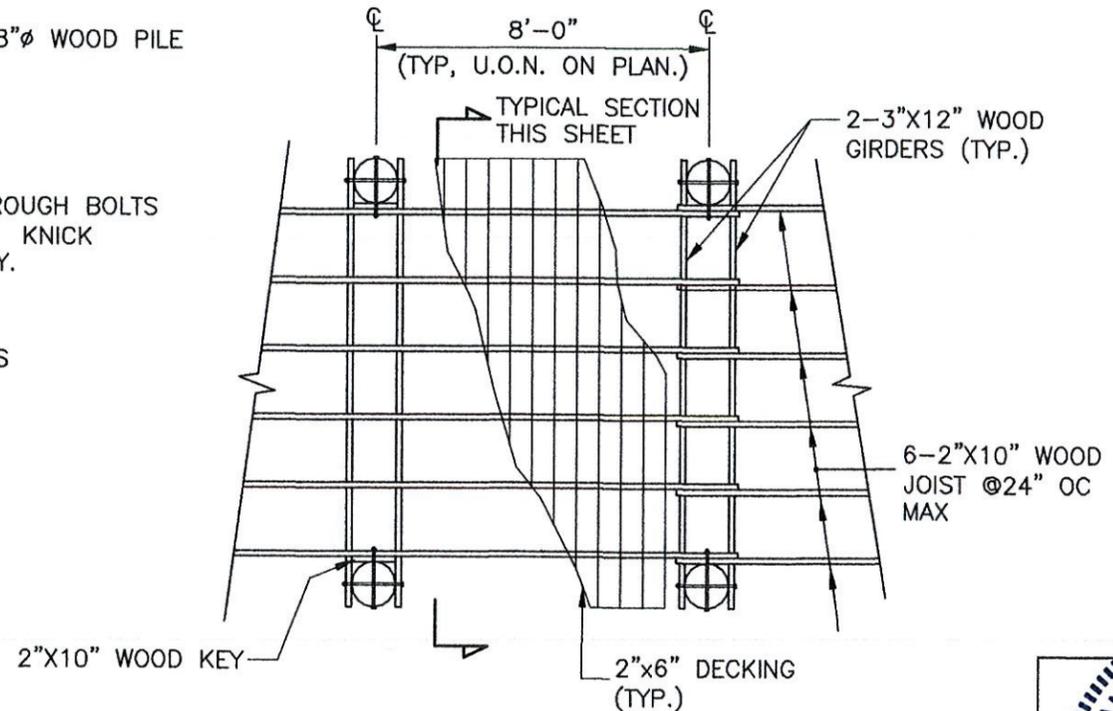
CONNECTORS SCHEDULE	
LOCATION	CONNECTION
HAND RAIL/PLANK	3-#10 X 4" SS W.S. AT EA PILE
TOP RAIL & SIDE RAIL TO PILE	2-#10 X 4" SS W.S. AT EA PILE & 1/2" HEX HEAD THRU BOLT
MID-HT RAILS TO PILE	2-#10 X 4" SS W.S. AT EA PILE & 1/2" HEX HEAD THRU BOLT
DECK TO JOIST	2 EA- #8 X 3" STAINLESS STEEL WOOD SCREWS @ EA JOIST
OUTER JOIST TO PILE	2 EA- 5/8" STAINLESS STEEL BOLTS W/2" DIA. WASHERS EACH SIDE
JOIST TO GIRDER BEAM	SIMPSON H2.5SS STAINLESS STEEL CLIP W/(10) STAINLESS STEEL 8d NAILS
SPLICE BLOCK TO PILE	1 EA- 5/8" STAINLESS STEEL BOLTS W/2" DIA. WASHERS EACH SIDE
CROSS-BRACING TO PILE	1 EA- 1/2" STAINLESS STEEL BOLTS W/2" DIA. WASHERS EACH SIDE

NOTE: ALL HEX HEAD THRU BOLTS SHALL HAVE 1-1/2"Ø X 1/8" THK SS WASHERS. BOLT HEADS AND NUTS SHALL BE COUNTERSUNK FLUSH WITH WOOD/PLANK SURFACE.



TYPICAL SECTION AT OUTLOOK

SCALE: NTS



TYPICAL PLAN VIEW

AT OUTLOOK SCALE: NTS

NOTE
ALL DECKING AND RAILING MEMBERS TO BE TREX HS24 MARINE GRADE OR EQUAL, TYPICAL

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ANDREW J. NOBLE
LICENSE
No. 54063
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER

DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
3/21/13	AJN	REVISED PER DOT COMMENTS			

QUENTIN L. HAMPTON & ASSOCIATES, INC.
CONSULTING ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626
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P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-8810

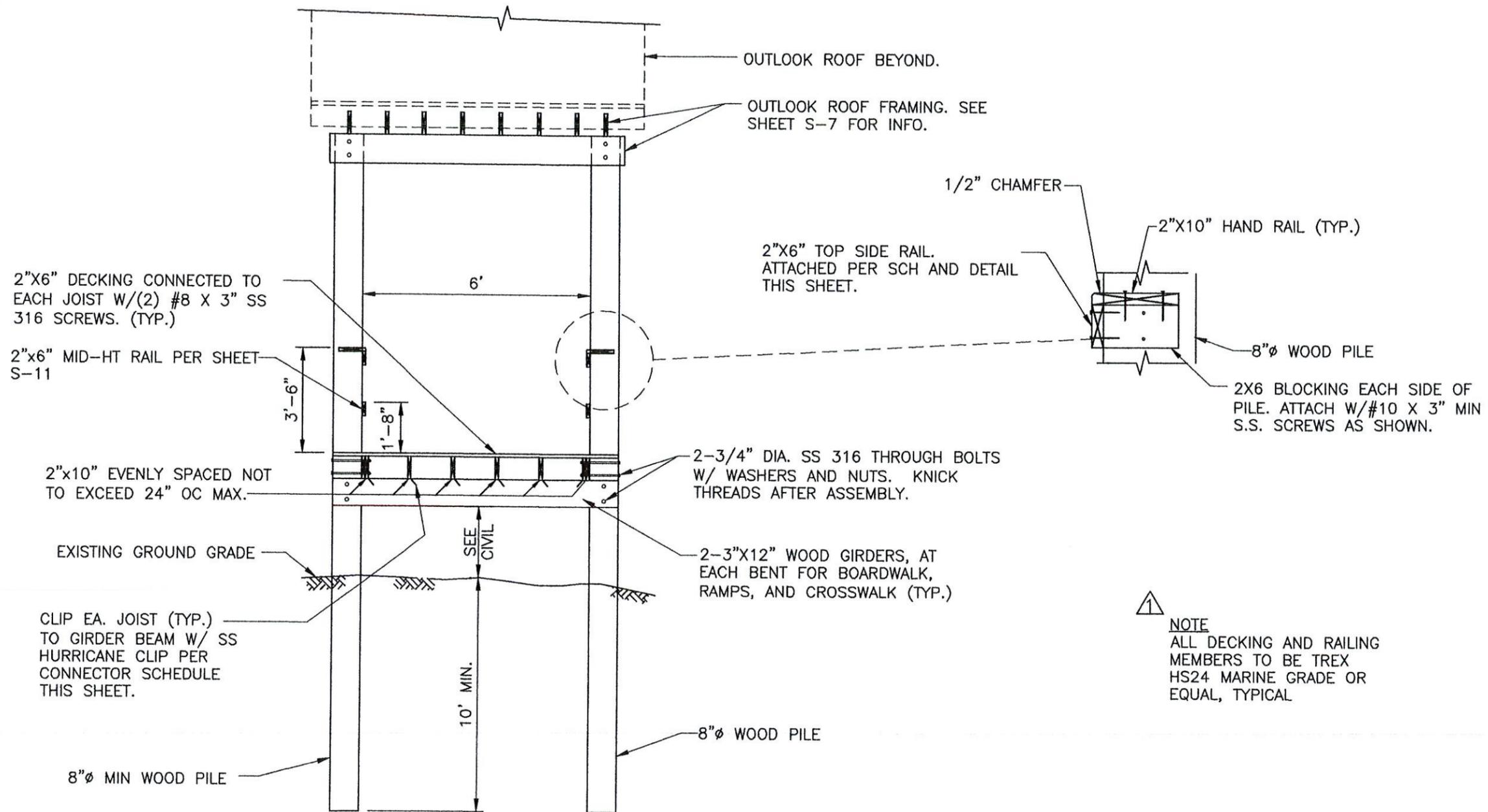
CITY OF FLAGLER BEACH
FLAGLER COUNTY, FL

GATEWAY PROMENADE IMPROVEMENTS
FPN #426029-1-38-01

TYPICAL BOARDWALK DETAILS AT OUTLOOKS

DESIGNED	MJL	DATE	6/11
DRAWN	MJL	DATE	6/11
CHECKED	AJN	DATE	6/11
APPROVED	---	DATE	---

SCALE: NTS SHEET NO. S-11 OF 29



TYPICAL SECTION AT OUTLOOK **B**
SCALE: NTS **S-12**

NOTE
ALL DECKING AND RAILING MEMBERS TO BE TREX HS24 MARINE GRADE OR EQUAL, TYPICAL

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STATE OF FLORIDA
No. 54063

DATE	BY	DESCRIPTION	DATE	BY	REVISION DESCRIPTION
5/21/13	AJN	REVISED PER DOT COMMENTS			

QUENTIN L. HAMPTON ASSOCIATES, INC. CONSULTING ENGINEERS FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 626 FAX: 386 761-3977 P.O. DRAWER 290247 PORT ORANGE, FLORIDA 32129-0247 386 761-6810	CITY OF FLAGLER BEACH FLAGLER COUNTY, FL	GATEWAY PROMENADE IMPROVEMENTS FPN #426029-1-38-01	TYPICAL BOARDWALK DETAILS AT OUTLOOKS	DESIGNED M.J.L. DATE 6/11 DRAWN M.J.L. DATE 6/11 CHECKED A.J.N. DATE 6/11 APPROVED --- DATE ---	SCALE AS SHOWN SHEET NO. S-12 OF 29
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