

City of Flagler Beach

Planning and Architectural Review Board

Tuesday, February 4, 2014 at 5:30 p.m.

City Hall Commission Chambers

Agenda

1. Call the meeting to order.
2. Call the roll.
3. Pledge of Allegiance.
4. Approve the minutes of the Regular Meeting of January 7, 2014.
5. Old Business:
 - A. Application #OE 14-01-01
Outdoor Entertainment to allow amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment on the subject property in the TC, Tourist Commercial zoning district.
Applicant: Leo Koulik for Flagler Breeze
2444 South Ocean Shore Boulevard
Property Owner: Absente 5, LLC
6. New Business:
 - A. Application #SP 14-02-01
Site Plan Review for Gamble Rogers Memorial State Recreational Area Campgrounds and Day Use Area Improvements.
Applicant: Matt Mitchell, Chief, Florida Department of Environmental Protection, Bureau of Design & Construction, Office of Operations
3100 South Ocean Shore Boulevard
Property Owner: Board of Trustees of the Internal Improvement Trust Fund c/o Florida Department of Environmental Protection, Division of Recreation & Parks
 - B. Discussion and recommendation of Ordinance 2014-04 of the City of Flagler Beach, Florida, amending Appendix A, *Land Development Regulations*, Article IV, Resource Protection Standards, Section 4.05.00 Flood Damage Prevention; Section 4.05.05 Definitions, Section 4.05.07 Basis for Establishing the Areas of Special Flood Hazard, Section 4.05.27 Duties and Responsibilities, to incorporate specific language as required by the Florida Department of Emergency Management; providing for codification, conflicts, severability, and providing an effective date.
7. PARB Member Comments.
8. Adjournment.



RECORD REQUIRED TO APPEAL: In accordance with Florida Statute 286.0105 if you should decide to appeal any decision the Commission makes about any matter at this meeting, you will need a record of the proceedings. You are responsible for providing this record. You may hire a court reporter to make a verbatim transcript, or you may buy a CD of the meeting for \$3.00 at the City Clerk's office. Copies of CDs are only made upon request. The City is not responsible for any mechanical failure of the recording equipment.

In accordance with the Americans with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk at (386) 517-2000 ext. 235 at least 72 hours prior to the meeting.

Please take notice that individual Elected Officials of the City of Flagler Beach may attend this meeting. Those Elected Officials who attend will not take any action or take any vote at this committee meeting. This is not an official meeting of the Flagler Beach City Commission. This notice is being provided to meet the spirit of the Sunshine Law to inform the public that Elected Officials may be present at this committee meeting.

Posted January 29, 2014

Planning and Building Department

P.O. Box 70 • 116 3rd Street South, Flagler Beach, Florida 32136 • Phone (386) 517-2000 • Fax (386) 517-2016

City of Flagler Beach

Planning and Architectural Review Board

Tuesday, January 7, 2014 at 5:30 p.m.

City Hall Commission Chambers

MINUTES

PRESENT: Alice Baker, Dan Bayerl, Don Deal, Cathy Feind, Joseph Pozzuoli, Roseanne Stocker, Lea Stokes.

STAFF: Attorney Drew Smith, Planner Chad Lingenfelter, Deputy City Clerk Kate Settle.

1. CALL THE MEETING TO ORDER. Chairman Deal called the meeting to order at 5:31 p.m.

2. CALL THE ROLL: Ms. Settle called the roll.

3. PLEDGE OF ALLEGIANCE: Mr. Pozzuoli led the pledge.

4. APPROVE THE MINUTES OF THE REGULAR MEETING OF December 3, 2013: **Motion** by Alice Baker, seconded by Cathy Feind to accept the minutes. The **motion** carried unanimously.

5. ELECTION OF OFFICERS: **Motion** by Cathy Feind, seconded by Alice Baker to have Don Deal remain chairman. The **motion** carried unanimously.

Motion by Cathy Feind, seconded by Alice Baker, for the vice chair to be Roseanne Stocker. The **motion** carried unanimously.

6. APPROVE THE 2014 REGULAR MEETING DATES: **Motion** by Lea Stokes, seconded by Cathy Feind to approve the meeting dates. The **motion** carried unanimously.

7. NEW BUSINESS:

A. Application #OE 14-01-01

Outdoor Entertainment to allow amplified and non-amplified events consisting of music, spoken words and/or other forms of entertainment on the subject property in the TC, Tourist Commercial zoning district.

Applicant: Leo Koulik for Flagler Breeze

2444 South Ocean Shore Boulevard

Don Deal read the item into the record. Mr. Koulik was not present. Mr. Deal asked Mr. Lingenfelter to give the Board an overview of the item. Mr. Lingenfelter reported the location and zoning. Mr. Deal had concerns with the parking and where the outdoor seating is located. He had concerns regarding the location of the speakers and the direction they were facing. Mr. Lingenfelter reported the applicant had expressed an interest in building some type of sound deadening wall along the west edge of the raised platform so that music is not traveling west. The Board members agreed that the speakers should be facing

east. The public hearing was opened. Lee Foshay expressed his concern regarding the entertainment going past 10:00 p.m. and agreed the speakers should be facing east. The public hearing was closed. Ms. Stocker wondered what the applicant had in mind when he spoke of constructing a sound barrier. Discussion centered on a possible design and materials for a sound barrier. Ms. Stokes was not sure it was the place of the board to design the barrier. Mr. Baryl was concerned if the board suggested a design, would the board then be responsible for the effectiveness of the design. Roseanne Stocker felt the noise and/or outdoor entertainment is a constant challenge for the Board and business should be aware that there is a need to protect the residential zoning that abuts many business. **Motion** by Lea Stokes to table the item until the applicant can be present. Ms. Stocker felt it was the responsibility of the board to balance between the residences and the businesses and felt a sound dampening wall was not too much to ask of a business. **Mr. Pozzuoli seconded the motion.** Mr. Deal asked if the PAR Board made a recommendation that the applicant have a sound barrier could the applicant appeal the process? Attorney Smith reminded the Board that if they make the recommendation, it moves to the Commission and they are the final decision maker. Mr. Pozzuoli felt the board should remain consistent and felt there might be the need to have barriers be part of the ordinance at a later date. Mr. Deal asked the Board to consider that if a motion was made with a recommendation, the applicant could appeal the recommendation with the Commission. If the item is tabled, it is delayed for another month. The **motion** carried six to one with Roseanne Stocker voting no.

- B. Discussion and recommendation of an ordinance of the City of Flagler Beach, Florida, amending Sections 2.02.00 and 2.05.05 of the Land Development Regulations to add definitions and dimensional requirements for private swimming pools and screen enclosures; to add setback reductions for certain residential attached accessory structures; to allow certain residential accessory structures to be within required yards; providing for codification, conflicts, and an effective date: Don Deal read the item into the record. Mr. Lingenfelter spoke to the reasoning for the changes within the section of the Land Development Regulations. The board reviewed the changes page by page. Cathy Feind referred to lines 31 through 37. She asked for Mr. Lingenfelter to define the difference between a screen room and a pool screen enclosure. Joseph Pozzuoli questioned the definition of a screen enclosure with kick plates because it does not require the same foundation or the same hurricane tie downs. Mr. Lingenfelter felt that the screen rooms referenced could be better addressed in another ordinance. The ordinance before them referred to pools and the associated screen enclosures. Mr. Lingenfelter referred to line 51 change "and" to "or." Cathy Feind questioned the section regarding accessory structures. It was the consensus of the Board to take out the "and" and replace with "accessory buildings." It was the consensus of the board to remove the

word "sheds" on lines 61-80. On Page 3, Line 81, it was the consensus of the board to keep references to air conditioners and generators in the side yard setback. **Motion** by Roseanne Stocker, seconded by Alice Baker, that we recommend approval of the ordinance amending sections 2.02.00 and 2.05.05 of our Land Development Regulations with the additions that were discussed at this meeting. The **motion** carried six to one with Cathy Feind voting no.

8. PARB MEMBER COMMENTS: Alice Baker expressed her concern regarding businesses coming before the PAR Board and the Commission. The governing bodies asked for certain considerations from the businesses in order for the business to receive the permit and she believes, in many circumstances, the considerations are not followed up on by staff and/or code enforcement. Her primary concern is that in many instances the considerations are made with the community in mind and the considerations are not adhered to by the business owners.
9. ADJOURNMENT: **Motion** by Cathy Feind, seconded by Roseanne Stocker, to adjourn the meeting at 6:40 p.m. The **motion** carried unanimously.



City of Flagler Beach

Item Summary

SUBJECT: Application OE-13-12-01 – 2444 Oceanshore Boulevard South - Outdoor Entertainment Permit.

BACKGROUND: Applicant: Leo Koulik, 2444 Oceanshore Boulevard South, Flagler Beach, Florida 32136. The subject property is zoned TC Tourist Commercial. The applicant is seeking approval of an Annual Outdoor Entertainment Permit to allow amplified and non-amplified events consisting of music, spoken word and/or other forms of entertainment. Section 4-167, Review of Permit Application states, the City Commission, after receiving recommendation from the Planning and Architectural Review (PAR) Board, shall approve, approve with conditions, or deny a permit for outdoor entertainment activity based on any of the following grounds:

- (1) The activity would present an adverse impact to the health, safety or welfare of the applicant, participants, public employees or members of the public and/or fails to protect the city's environment.
 - (2) The activity would unreasonably inconvenience the general public.
 - (3) The proposed activity is prohibited by or inconsistent with the Flagler Beach Code of Ordinances or the Flagler Beach Comprehensive Plan.
 - (4) The applicant cannot meet, or is unwilling to meet, all of the requirements of this article.
 - (5) The activity is proposed for a site that does not have adequate parking to accommodate the activity.
 - (6) The activity is proposed for a site that is inherently hazardous to the participants or the public.
 - (7) The event would have an adverse effect, and would unreasonably infringe upon, the rights of property owners within two hundred (200) feet of the property line of the subject property.
 - (8) The event would conflict with another proximate event or interfere with construction or maintenance work.
 - (9) The information furnished in the application is not materially complete and accurate.
 - (10) The applicant has violated a provision, restriction or condition of this article or an outdoor entertainment activity permit issued to the applicant within the past and has not presented competent substantial evidence that measures to prevent future violations will be implemented at the property.
 - (11) The requirements identified by the city staff to ensure public health, safety and welfare have not been met.
 - (12) The comments and/or recommendations of the planning and architectural review board have not been addressed.
 - (13) The proposed event or activity is prohibited by federal, state, or local regulations.
 - (14) Other issues in the public interest as identified by the city commission.
- (a) In making a determination to approve a permit the city commission may limit the type and number of temporary structures and the duration of the activity including the

hours and the number of days of the activity conducted to minimize any adverse impact caused by the activity.

- (b) Upon receipt of an application for outdoor entertainment activity, the city clerk's office shall review the application within five (5) working days of receiving it to determine if it is complete, fees have been paid and if the proposed activity qualifies as an outdoor entertainment activity. If so determined, the city clerk's office shall mail via regular mail a notice to all real property owners located within two hundred (200) feet from the property line of the subject property which notice shall include: the address of the subject property, the nature of outdoor entertainment activity sought, and the date, time and location of the PAR board meeting at which the application will be heard for recommendation. In deciding its recommendation on the application, the PAR board shall consider those same grounds listed above for consideration by the city commission. The recommendation will be brought to the city commission for final decision at its next available commission meeting.

ATTACHMENTS: Application, letter sent to applicant, letter sent to surrounding properties, site plan showing location of outdoor entertainment.

SUBMITTED BY: Penny Overstreet, City Clerk

DEC 06 2013

<p>OFFICE USE ONLY:</p> <p>DATE REC'D <u>12-6-2013</u></p> <p>FEE REC'D \$ <u>150.⁰⁰</u></p> <p>INITIALS: <u>P.O.</u></p> <p>APPROVED <input type="checkbox"/></p> <p>DISAPPROVED <input type="checkbox"/></p> <p>SENT PARB <input checked="" type="checkbox"/></p> <p>PERMIT ISSUED _____</p>	<p>INSTRUCTIONS:</p> <p><i>Please print or type all information.</i></p> <p>The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (not applicable).</p> <p>Incomplete applications may delay your request. All statements made on the application are subject to verification.</p>	<p>City of Flagler Beach</p> <p>APPLICATION FOR OUTDOOR ENTERTAINMENT</p>  <p>105 South 2nd Street, Post Office Box 70 Flagler Beach, Florida 32136 Phone (386) 517-2000 Fax (386) 517-2008</p>
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**Please type or print legibly
Required Information**

Business Name: FLAGLER BREEZE

Contact Person: Leo Koulik

Address: 2444 S. OCEAN SHORE BLVD

City: FLAGLER BEACH State: FL Zip: 32136

Work Phone: 413-557-4189 Home Phone: _____

Fax: _____ Mobile Phone: _____

E-Mail Address: AKDBA@YAHOO.COM

What type of permit are you applying for? (check one)

- Annual Permit (permit fee = \$150.00)
- Per event that occurs fewer than 12 times a year (permit fee = \$75.00)
(Please list dates and times for the events on the bottom of page 2)
- One day event on Date _____ (permit fee = \$50.00)
Start time _____ am/pm End time _____ am/pm

Will you utilize temporary structures at your event? _____ No _____ Yes
(If yes, attach a sketch of the site showing the location of these structure and see note below)

(Indicate number of each)

_____ Stages _____ Scaffolding _____ Fences _____ Other

_____ Tents Do any of the tents exceed 200 square feet? _____ No _____ Yes

Note: Special Permits are required for tents exceeding 200 square feet. Special Building permits are required for temporary structures 700 or more square feet in area and those that are four feet above grade.

PLEASE ATTACH A SITE PLAN REGARDING THE SET UP OF THE OUTDOOR ENTERTAINMENT. PLEASE ATTACH A CURRENT COPY OF YOUR LIABILITY INSURANCE TO THIS APPLICATION.

By signing below I understand:

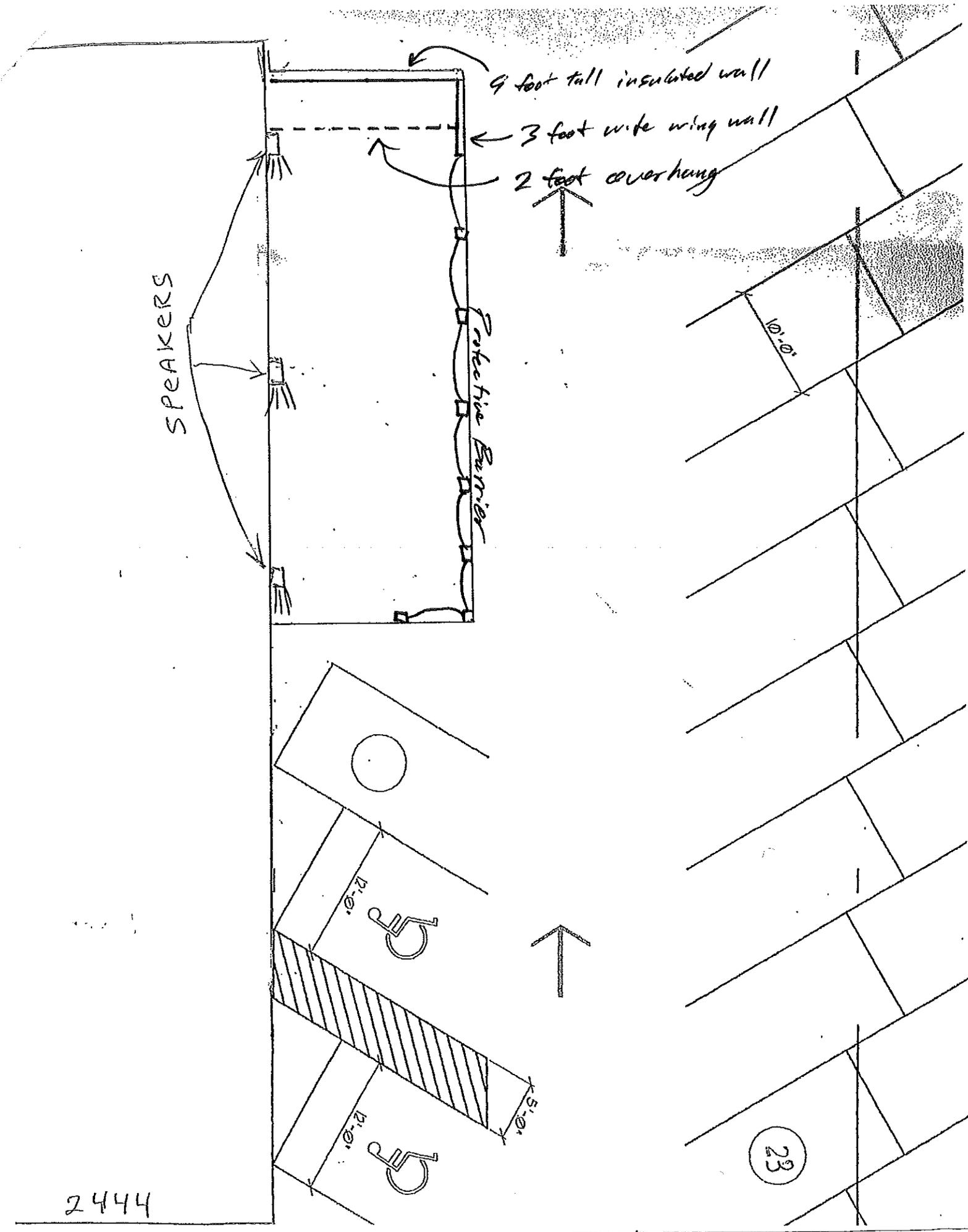
- This is an application only and does not obligate the City in any fashion to issuing a permit or approve an event.
- I have included my application fee and understand that my application will not be processed without the application fee.
- In no case shall the City's Noise Ordinance be violated.
- The City Manager may reasonably limit the type and number of temporary structures and the duration of the activity including the hours and the number of days of the activity conducted.
- The event(s) may not be held until a permit is received.

Signature of Applicant  Date 12/6/13

Title of Applicant _____

Affiliation _____

- | | | |
|----------------|------------------------|----------------------|
| 1. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 2. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 3. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 4. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 5. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 6. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 7. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 8. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 9. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 10. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 11. Date _____ | Start time _____ am\pm | End time _____ am\pm |
| 12. Date _____ | Start time _____ am\pm | End time _____ am\pm |



2444

S. Ocean Shore BLVD.



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

December 9, 2013

Mr. Leo Koulik
Flagler Breeze
2444 South Oceanshore Boulevard
Flagler Beach, Florida 32136

RE: Outdoor Entertainment Application

Dear Leo:

This letter is to advise, your request for an Outdoor Entertainment Permit will be heard by the Planning and Architectural review Board on January 7, 2014 at 5:30 p.m. The Planning Boards recommendation will be heard by the City Commission and the final decision will be made at their January 09, 2014 meeting which begins at 5:30 p.m. I have enclosed a copy of the letter that has been mailed to the businesses and residents within 200 feet of your location. Should you have concerns or questions please contact me at povestreet@cityofflaglerbeach.com or 386-517-2000 ext. 235. You may also contact the Planner, Chad Lingenfelter at clingenfelter@cityofflaglereach.com or 386-517-2000 ext. 230.

Sincerely,

A handwritten signature in black ink, appearing to read "Penny Overstreet".

Penny Overstreet
City Clerk

cc: Chad Lingenfelter, Planner
Planning & Architectural Review Board
Elected Officials
Bruce Campbell, City Manager



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, Florida 32136

Phone (386) 517-2000 • Fax (386) 517-2008

December 9, 2013

RE: Outdoor Entertainment Permit Application Review

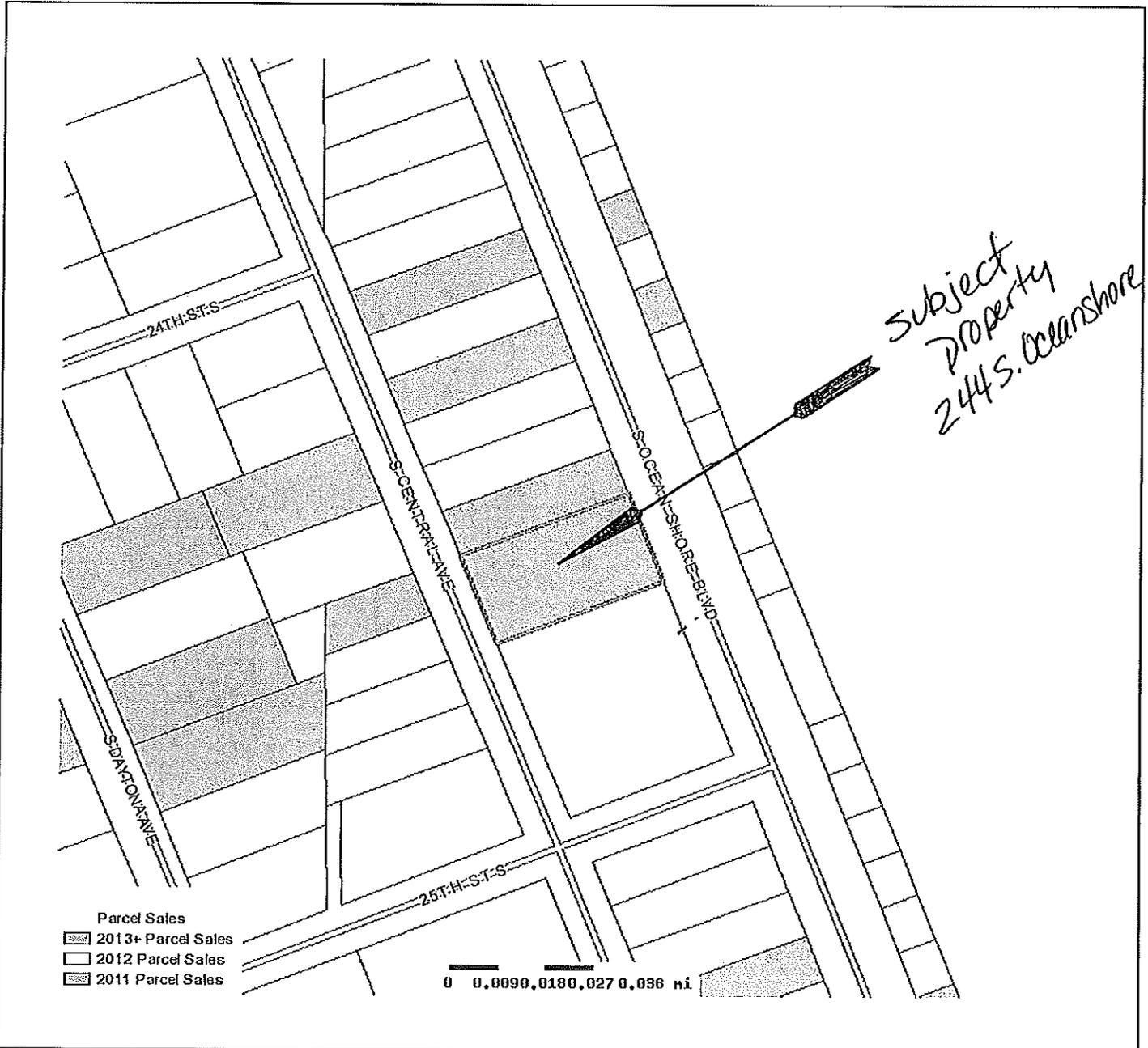
Dear Sir or Madam:

The purpose of this letter is to advise you, the City is in receipt of a request from "Flagler Breeze" located at 2444 South Oceanshore Boulevard requesting an Annual Outdoor Entertainment Permit. Per Ordinance 2010-02 the office of the City Clerk is required to notify property owners in a two-hundred foot radius of the subject property of the meeting dates and times the request will be reviewed by the Planning & Architectural Review Board and the date the City Commission will have final review. The request will be reviewed by the Planning & Architectural Review Board on January 7, 2014; meeting begins at 5:30 p.m. The request will be before the City Commission for consideration on January 9, 2014 meeting begins at 5:30 p.m. The intent of this notice is to provide to you the opportunity to appear at the meeting(s) to voice your opinion of the requested activity. Should you have questions, please contact the Planning & Zoning Office at 386-517-2000 ext. 232 or the City Clerk's Office at 386-517-2000 ext. 235 or 236.

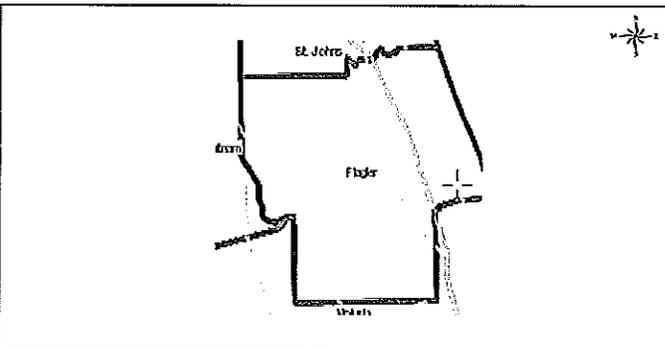
Sincerely,

Penny Overstreet
City Clerk

CC: Bruce Campbell, City Manager
Chad Lingenfelter, Planner
Leo Koulik, Applicant
Absentee 5, LLC, Property Owner



Flagler County Property Appraiser			
Parcel: 19-12-32-0150-00010-0050 Acres: 0.416			
Name	ABSENTE 5 LLC	Land Value	1
Site	2444 S OCEAN SHORE BLVD	Building Value	751,681
Sale	\$425,000 on 06-2011 Vacant=N Qual=U	Misc Value	0
Mail	58 ISLAND ESTATES PKWY PALM COAST, FL 32137	Dist Value	751,682
		Assessed Value	751,682
		Exempt Value	0
		Taxable Value	751,682



The Flagler County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER FLAGLER COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS --THIS IS NOT A SURVEY--
 Date printed: 12/09/13 : 13:01:08

Barry Griffin
2448 S. Oceanshore Boulevard
Flagler Beach, Florida 32136

Lee Foshay
151 Center Road
Dudley, MA 01571

Debbi Dukehart
2450 S. Central Avenue
Flagler Beach, Florida 32136

Roe Kinnan
2416 S. Central Avenue
Flagler Beach, Florida 32136

Silverio Feola
2400 S. Central Avenue
Flagler Beach, Florida 32136

Dallas Clewis
5700 SW 81st Street
Miami, Florida 33143

Absente 5, LLC
58 Island Estates PKWY.
Palm Coast, Florida 32137

Robert Dunn
406 Neill Court
Tuscumbia, AL 35674

David Kren
58 River Road
Ulster Park, NY 12487

Nancy Cushing
21412 Central Avenue S.
Flagler Beach, Florida 32136

William Stepnicka
9521 Meech Avenue
Cleveland, OH 44105

Buffardi Investment Corp.
% Palm West Realty
2 Florida Park Dr., Ste. 107
Palm Coast, Florida 32137

Cynthia Dangioloni
P.O. Box 1889
Flagler Beach, Florida 32136

George Fanning
2404 S. Central; Avenue
Flagler Beach, Florida 32136

Michael Aguirre
2419 S. Daytona Avenue
Flagler Beach, Florida 32136

Wioletta Romanowska
2433 S. Daytona Avenue
Flagler Beach, Florida 32136

Marvin Sheets
P.O. Box 1487
Bunnell, Florida 32136

Loretta Hillier
2340 S. Oceanshore Blvd.
Flagler Beach, Florida 32136

Pal Parker & Sons , Inc.
P.O. Box 218
Flagler Beach, Florida 32136

Dale Greene
P.O. Box 3500
Boone, NC 28607

Lee Forshay
151 Center Road
Dudley, MA 01571

Resident
2408 S. Oceanshore Blvd.
Flagler Beach, Florida 32136

Marvin Sheets
P/O. Box 1487
Bunnell, Florida 32110

LeliaHattersley
1341 E. McNair Dr.
Tempe, AZ 85283

Gary Cuddy
3364 37th Street EXT
Beaver Falls, PA 15010

Walter Meissner
2433 S. Daytona Avenue
Flagler Beach, Florida 32136

Warren Sanson
P.O. Box 2368
Flagler Beach, Florida 32136

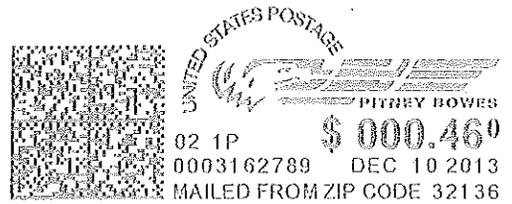
Richard Willet
P.O. Box 750
Flagler Beach, Florida 32136

Resident
205 24th Street S.
Flagler Beach, Florida 32136



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, FL 32136



William Stepnicka
9521 Meech Avenue
Cleveland, OH 44105

NIXIE 441 SE 1009 7012/19/13

RETURN TO SENDER
UNDELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32136007070 *0374-07189-11-41
32136007070



City of Flagler Beach

P.O. Box 70 • 105 South 2nd Street
Flagler Beach, FL 32136

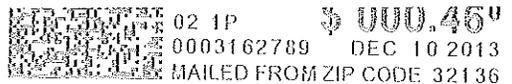


Resident
205 24th Street S.
Flagler Beach, Florida 32136

NIXIE 339 SE 1009 0012/13/13

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32136007070 *0274-00835-11-40
32136007070



Resident
2408 S. Oceanshore Blvd.
Flagler Beach, Florida 32136

NIXIE 339 SE 1009 0012/13/13

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32136007070 *0174-10583-11-40
32136007070



City of Flagler Beach

To: Don Deal, Chairperson, Planning and Architectural Review Board
Planning and Architectural Review Board Members

FROM: Chad T. Lingenfelter, AICP, PTP, City Planner

RE: #SP 14-02-01 – Gamble Rogers Memorial State Recreational Area
Campgrounds and Day Use Area Improvements Site Plan Review

DATE: January 29, 2014

Applicant: Matt Mitchell, Chief, Florida Department of Environmental Protection, Bureau of Design & Construction, Office of Operations, 3900 Commonwealth Boulevard, MS520, Tallahassee, Florida 32399 3000

Property Owner: Board of Trustees of the Internal Improvement Trust Fund c/o Florida Department of Environmental Protection, Division of Recreation & Parks, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399

Property: 3100 South Ocean Shore Boulevard – 30-12-32-0000-01030-0020

Future Land Use: Recreation

Zoning District: Rec, Recreation

Summary

Pursuant to the *City of Flagler Beach Code of Ordinances, Appendix A, Land Development Regulations, Article VIII., Administration and Enforcement*, the applicant is requesting approval of a major site plan for construction of 30 recreational vehicle and four (4) tent campground with a 2,090 square foot bathhouse, a 990 square foot restroom in day use area, and associated utility and driveway improvements. The subject property contains 134 acres with a 32 recreational vehicle campground, a 7,900 square foot ranger residence / maintenance building, 3,735 square foot beachside restroom, 2,704 square feet of pavilions, a 990 square foot ranger station, a 211 square foot restroom, and a boat launch.

Analysis

On January 6, 2014, the applicant/owner's representative, John P. Bastow, P.E., Vice President, Engineering, George F. Young, Inc., met with staff in a pre-application conference. On this same date, the representative also submitted a completed application with the required copies of the proposed site plan. The application includes plans that indicate the size and architectural treatment of the proposed improvements. Staff requested the following items in addition to the submittals:

1. Traffic impact statement to determine the impacts, if any, to the intersection of South Ocean Shore Boulevard and the site driveways;
2. Indication that the landscape island in the circular intersection south of the

ranger station will remain; and

3. Addition of signage for golf carts in the road and allowance within South Ocean Shore Boulevard between 28th Street South and South Central Avenue.

The FDEP paid the appropriate review fees.

The representative provided a traffic impact statement, a confirmation that the landscape island in the circular intersection south of the ranger station will remain, and a revised site plan with the requested golf cart signage added.

The proposed improvements do not affect any existing site access points. Additionally, the traffic impact statement concludes that the 71 average daily trips “do not generate enough traffic to require any additional turn lanes or deceleration lanes.” According to the *FDOT Plans Preparation Manual*, left turn lanes should be provided when turn volumes exceed 100 vehicles per hour (vph). The National Cooperative Highway Research Program Report 457, *Engineering Study Guide for Evaluating Intersection Improvements*, determined that left turn lanes are warranted for a two (2) lane road when left turn volumes are at least 43 vph, the advancing volumes are 400 vph, and the opposing volumes are 400 vph. With a projected 18 trips during the p.m. peak hour, the threshold for left turn lanes will not be met.

Section 2.06.02.1., Off-Street Parking, does not include an off-street parking requirement for a campground. However, Section 2.06.02.1(5) states that “the Planning and Architectural Review Board shall interpret the minimum required number of off-street parking spaces for any use not listed in the schedule of off-street parking requirements.” The proposed site plan shows 11 parking spaces, three (3) of which are handicapped accessible, in addition to the 30 recreational vehicle parking spaces. The 44 existing parking spaces, two (2) of which are handicapped accessible, are to remain. These additional spaces would bring the total number of parking spaces to 55. The existing access points at South Ocean Shore Boulevard are proposed to be used with minor modifications during asphalt resurfacing.

The proposed site plan is properly landscaped, the purpose of which is to further enhance the natural qualities of the land. The location and type of plants and materials are shown on the site plan. Furthermore, all landscaping complies with the criteria established in Section 5.04.00., Landscaping/Trees. Regarding Section 2.06.09., Tree and Vegetation Removal; Tree Protection, the applicant proposes to remove 42 Oak and four (4) Cedar trees, replace them with 25 Oak, ten (10) Pine, and 35 Cedar trees. Thirty of the removed 55 Palm trees will be relocated. The proposed improvements will formalize open spaces and preserve existing landscaping and vegetation.

Pursuant to Section 3.04.00., Determination of Concurrency Finding., in order to pass the test of concurrency, components of infrastructure must be available to the proposed development. For potable water, sewer, solid waste and drainage, at a minimum infrastructure must satisfy the following standards to meet the concurrency requirement:

- a. The necessary facilities and services are in place at the time a development permit is issued; or
- b. A development permit is issued subject to the condition that the necessary facilities and services will be in place when the impacts of the development occur; or

- c. The necessary facilities are under construction at the time a permit is issued; or
- d. The necessary facilities and services are guaranteed in an enforceable development agreement that includes the provisions of Rules 9J-5.0055(2)(a)a.-3. An enforceable development agreement may include, but is not limited to, development agreements pursuant to F.S. § 163.3220, or an agreement or development order issued pursuant to F.S. Ch. 380. The agreement must guarantee that the necessary facilities and services will be in place when the impacts of the development occur.

Staff has calculated that the proposed development with 34 potable water fixture units and 68 sanitary sewer fixture units will require the capacity of four (4) equivalent living units. Impact fee payments will be required. Regarding traffic circulation, capacity is available for the proposed estimated 37 average daily trips. Therefore, staff has determined that the necessary facilities and services are in place at the present time and the request for development approval may proceed through to site plan, subdivision, or building permit approval.

Recommendation

Staff recommends that the Planning and Architectural Review Board, pursuant to Section 8.05.00., Site Plan Approval., recommend that the City Commission approve the site plan of the improvements on the subject property.

Enclosures: Site Plan Review Application
Campgrounds and Day Use Area Improvements Project Plans,
January 2, 2014
Traffic Impact Statement, January 15, 2014

SPR#: _____ DATE FILED: _____

SITE PLAN REVIEW APPLICATION

PROJECT TITLE: Gamble Rodgers Memorial State Recreation Area – Camp Ground and Day Use Area Improvements

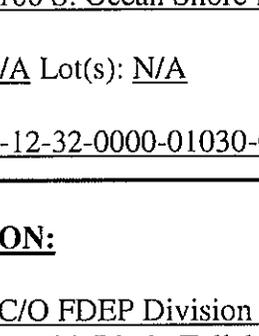
PROJECT ADDRESS: 3100 S. Ocean Shore Blvd., Flagler Beach, Florida 32136

Subdivision: N/A Block: N/A Lot(s): N/A

TAX MAP NUMBER: 30-12-32-0000-01030-0020 **ZONING DISTRICT:** Recreation

OWNERS INFORMATION:

OWNERS NAME: TIITF C/O FDEP Division of Recreation & Parks
ADDRESS: 3900 Commonwealth Blvd., Tallahassee, Florida 32399
PHONE NUMBER: N/A FAX NUMBER: N/A

SIGNATURE OF OWNER:  11/22/13

APPLICANTS INFORMATION:

APPLICANTS NAME (IF OTHER THAN OWNER): FDEP Bureau of Design & Construction Office of Operations; Matt Mitchell, Chief
ADDRESS: 3900 Commonwealth Blvd., MS520, Tallahassee, Florida 32399-3000
PHONE NUMBER: 850-245-2570 FAX NUMBER: 850-528-6288

SIGNATURE OF APPLICANT:  11/22/13

REPRESENTATIVE:

NAME: George F. Young, Inc.; John P. Bastow, PE
ADDRESS: 1905 South Main Street, Gainesville, Florida 32601
PHONE NUMBER: 352-378-1444 FAX NUMBER: 352-372-2502

SIGNATURE OF REPRESENTATIVE: 

PROPERTY OWNER AUTHORIZATION

FOR USE WHEN APPLICANT IS NOT THE OWNER OF SUBJECT PROPERTY:

Property Address: 3100 S. Ocean Shore Blvd.
Flagler Beach, FL 32136

Parcel ID: 30-12-32-0000-01030-0020

This is to certify that I am the owner of the subject property described above and that I authorize: (PRINT NAME) John Bastow to make and file the aforesaid application for site plan review.

OWNER'S SIGNATURE: *Matt Mitchell*
PRINT OWNER'S NAME: Matt Mitchell - Chief

Sworn to and subscribed before me this 22 day of November, 2013.
Personally known to me or produced identification: Yes (type)

Notary Public: *Angela McCauley* My commission expires: 02-25-2014



Notary Seal

SITE PLAN REVIEW

PROJECT DESCRIPTION

PRINT OR TYPE INFORMATION

A. Provide a detailed description of the proposed project:
The Project primarily consists of proposed 30 RV, 4 Tent Site camp ground with Bathhouse, a restroom in Day Use Area, drive improvements, sewer/water and electrical improvements.

B. Provide the lot size (parcel) and square footage of all building(s):
Park Parcel No. is 30-12-32-0000-1030-0020 containing 134+/- Acres, Proposed Bathhouse = 2090 SF, Proposed Day Use Restroom 300+/- SF, Ex Ranger Station 990 SF, Ex. Day Use Restroom 211 SF, Ex. Pavilions 2704 +/- SF, Ex. Ranger Residence and Maintenance 7900 +/- SF, Beach side Restroom 3735 SF. Total of all Buildings = 17,930+/- SF

C. Provide the size, height and proposed use of each building:
The Building described above (B) for use and size. The maximum height is approximately 16' to roof on structures. All structures are single story.

D. Provide a detailed description of the following:

Exterior finish and color: Concrete Block - Gray

Roof material and color: Metal -Silver

E. Indicate the project floor area ratio or lot coverage (if applicable):
N/A

F. Provide the total number of:

Required on-site parking spaces: 0

Proposed on-site parking spaces: 11

Required on-site Handicapped parking spaces: 0

Proposed on-site Handicapped Parking spaces: 3

G. Any off-site parking spaces proposed? If yes, describe number, location, and distance from proposed project location:

None

H. Will project be accomplished in phases? If Yes, describe phasing plans and timeframe:

One Phase

I. Describe the nature of any tree and native vegetation removal, if applicable:
Removing 47 Oaks, 5 Cedars and 56 Palms

J. If a Commercial use, describe the operational characteristics of the development (proposed hours of operation, any unique characteristics of the proposed use.
Camp Grounds and Day Use Area operated sun up to sun set

K. Provide other pertinent information regarding the proposed development:

Site Plan Review

Existing Conditions

- A. Describe all previous uses or activities on the site:
The Park has a Day Use area, Picnic Pavilions and a ramp for boats and canoes. The Park has a campground along the beach with restrooms and beach access.
- B. Describe all existing structures on the site in terms of their use, construction type, height, density, and size:
Restrooms at Beach side – (2) single story, block – Total 3735 +/- SF, Ranger Station – single story, wood frame – 990 +/- SF, Day Use Restroom – single story, wood, 211 SF, Ex. Pavilions – 1 story wood – 2704 +/- SF, Ranger Residences and Maintenance – single story – 7900 +/- SF Total
- C. Describe the project site as it presently exists before the project in terms of:
- Site topography:
Heavy tree cover, except in Day Use Area and proposed Campground areas. Elevations are high along A1A, then slope to inter-coastal waterway.
- Plant life (existing trees, vegetative cover):
Trees are primarily oaks, cedar and palms with some native grasses in open areas.
- Soil conditions:
Primarily fine surface sands with some fine shell and well drained.
- Historic or cultural resources (if applicable):
Limited Archeological findings expected.

D. Describe the land use and zoning of surrounding properties within 200 feet of project location:

North:

PUD/Residential Development

South:

Medium Density Residential

East:

Atlantic Ocean

West:

Inter-coastal waterway

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.H.U.	AIR HANDLING UNIT
ALUM.	ALUMINUM
ALTERNATE	ALTERNATE
APPROX.	APPROXIMATE
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BLT.	BUILT
BRK.	BRICK
BRKR.	BREAKER
BSMT.	BASEMENT
C.J.	CONTROL JOINT
CLG.	CLEAR
CMU	CONCRETE MASONRY UNIT
C.O.	CLEAR OUT
CONC.	CONCRETE
CU	COPPER
CU. FT.	CUBIC FOOT
CU. IN.	CUBIC INCH
CU. YD.	CUBIC YARD
DA. /ø	DIAMETER
DBL.	DOUBLE
DBT.	DRY-BULB TEMPERATURE
DEG.	DEGREE
DEPT.	DEPARTMENT
DF.	DRINKING FOUNTAIN
DISC.	DISCONNECT
DL.	DEAD LOAD
DN.	DOWN
D.S.	DOWN SPOUT
DWG.	DRAWING
E.F.	EXHAUST FAN
EXH.	EXHAUST
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR
FN.	FINISH
FLOR.	FLOOR
FLUOR.	FLUORESCENT
FR.	FIREPLACE
FR.	FIRE RATING
FT.	FOOT/FEET
FTG.	FOOTING
GALV.	GALVANIZED
GFI	GROUND FAULT
GOVT.	CIRCUIT INTERRUPTER
GR.FL.	GROUND FLOOR
GYP.	GYP-SUM
H.C.	HOLLOW CORE
H.D.G.	HOT DIPPED GALVANIZED
HR.	HIGH
HW.	HARDWARE
H.P.	HORSEPOWER
HT.	HEIGHT
HTR.	HEATER
HV.	HIGH VOLTAGE
HVAC.	HEATING, VENTILATING AND AIR CONDITIONING
HWY.	HIGHWAY
ID.	INSIDE DIAMETER
IN.	INCH
INCAND.	INCANDESCENT
INCL.	INCLUDED
INSUL.	INSULATION
INT.	INTERIOR
INV. EL.	INVERT ELEVATION
JST.	JOIST
KD.	KILN DRIED
KW.	KILOWATT
KWH.	KILOWATT HOUR
LAM.	LAMINATED
LAV.	LAVATORY
LB.	POUND
LIG.	LIGHTING
LGTH.	LENGTH
LN.	LINEAR
LL.	LIVE LOAD
MANUF.	MANUFACTURE
MAX.	MAXIMUM
MF.	MIL. FINISH
MIN.	MINIMUM
MOLD.	MOLDING
MHW.	MEAN HIGH WATER
MHHW.	MEAN HIGHER HIGH WATER
M.L.W.	MEAN LOW WATER
MELW.	MEAN LOWER LOW WATER
MSL.	MEAN SEA LEVEL
MCD.	MODIFICATION
NTS	NOT TO SCALE
NO. #	NUMBER
OA.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF.	OFFICE
O.P.	OVER HEAD
OPP.	OPPOSITE
PARTN.	PARTITION
PC.	PORTLAND CEMENT
PCF.	POUNDS PER CUBIC FOOT
P.E.	PROFESSIONAL ENGINEER
PERF.	PERFORATED
PERP.	PERPENDICULAR
PL.	PLATE
PLG.	PILING
PLY.	PLYWOOD
PNL.	PANEL
PREFAB.	PREFABRICATED
PRELIM.	PRELIMINARY
PSF.	POUNDS PER SQUARE FOOT
PSI.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
QS.	QUARTER SAWN
R.	RADIUS
RCPT.	RECEPTACLE
REBAR.	REINFORCING BAR
REFRIG.	REFRIGERATION
REIN.	REINFORCING
RFG.	ROOFING
ROH.	ROUGH
RM.	ROOM
R.O.	ROUGH OPENING
RS.	ROUGH SAWN
S.C.	SOLID CORE
SCH.	SCHEDULE
SDC.	SIDING
SECT.	SECTION
SECT.	SECTION
SFTWD.	SOFTWOOD
SGD.	SLIDING GLASS DOOR
SH.	SHINGLES
SPEC.	SPECIFICATION
SQR.	SQUARE
SQ.	SQUARE
SQ. FT.	SQUARE FOOT
SQ. IN.	SQUARE INCH
SQ. YD.	SQUARE YARD
SS.	STAINLESS STEEL
STL.	STEEL
SUB. FL.	SUBFLOOR
SUP.	SUPPLY
SW.	SWITCH
SYM.	SYMMETRICAL
S.Y.P.	SOUTHERN YELLOW PINE
SYS.	SYSTEM
S4S.	SURFACED FOUR SIDES
TEL.	TELEPHONE
T&G.	TONGUE-AND-GROOVE
TYP.	TYPICAL
U.E.	UNDERGROUND ELECTRIC
U.G.	UNDER GROUND
UL.	UNDERWRITERS LABORATORIES, INC.
V.	VOLT
VENT.	VENTILATOR
VERT.	VERTICAL
VF.	VERIFY IN FIELD
VOL.	VOLUME
VPI.	VENT FIRE
VTR.	VENT THRU ROOF
W.	WATER
WBT.	WET BULB TEMPERATURE
WC.	WATER CLOSET
WB.	WOOD
WF.	WATERPROOF
WWF.	WELDED WIRE FABRIC
YD.	YARD

GAMBLE ROGERS MEMORIAL STATE RECREATION AREA

DISTRICT 3
FLAGLER COUNTY

CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS

PROJECT # 60891

APPLICABLE CODES AND DESIGN DATA

CODE LIST

FLORIDA ACCESSIBILITY CODE.....	2012 Addition
FLORIDA BUILDING CODE, BUILDING (FBC-B).....	2010
FLORIDA BUILDING CODE, MECHANICAL (FBC-M).....	2010
FLORIDA BUILDING CODE, PLUMBING (FBC-P).....	2010
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB).....	2010
FLORIDA FIRE PREVENTION CODE (FFPC).....	2010 Edition
NATIONAL ELECTRICAL CODE NFPA-70.....	2008 Edition
FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONST.	Latest Edition
FDOT DESIGN STANDARDS.....	Latest Edition
SJRWMD STANDARDS.....	Latest Edition
FDEP STANDARDS.....	Latest Edition
STATE OF FLORIDA DEPARTMENT OF HEALTH.....	64E-6, FAC
CITY OF FLAGLER BEACH REGULATIONS.....	Latest Edition

DESIGN DATA: DAY USE RESTROOM

CONSTRUCTION TYPE:	V (B)	TOTAL BUILDING AREA: 300 S.F.
		173 S.F. (ENCLOSED) 127 S.F. (PORCH)
OCCUPANCY CLASS:	UTILITY "U"	BUILDING HEIGHT/NUMBER OF STORIES: 12'/1
OCCUPANT LOAD: 2		
TOTAL EXITS REQUIRED:	2	

DESIGN DATA: CAMPGROUND BATH HOUSE

CONSTRUCTION TYPE:	V (B)	TOTAL BUILDING AREA: 2090 S.F.
		1468 (ENCLOSED) 622 (PORCH)
OCCUPANCY CLASS:	UTILITY "U"	BUILDING HEIGHT/NUMBER OF STORIES: 16'/1
OCCUPANT LOAD: 22		
TOTAL EXITS REQUIRED:	4	

DESIGN LOADS (FBC-B CHAPTER 16):
RESTROOM FLOOR: 40 PSF
BATH HOUSE FLOOR: 20 PSF

WIND LOADS (FBC-B TABLE 1609.3.1):
BASIC WIND SPEED: V = 140 MPH

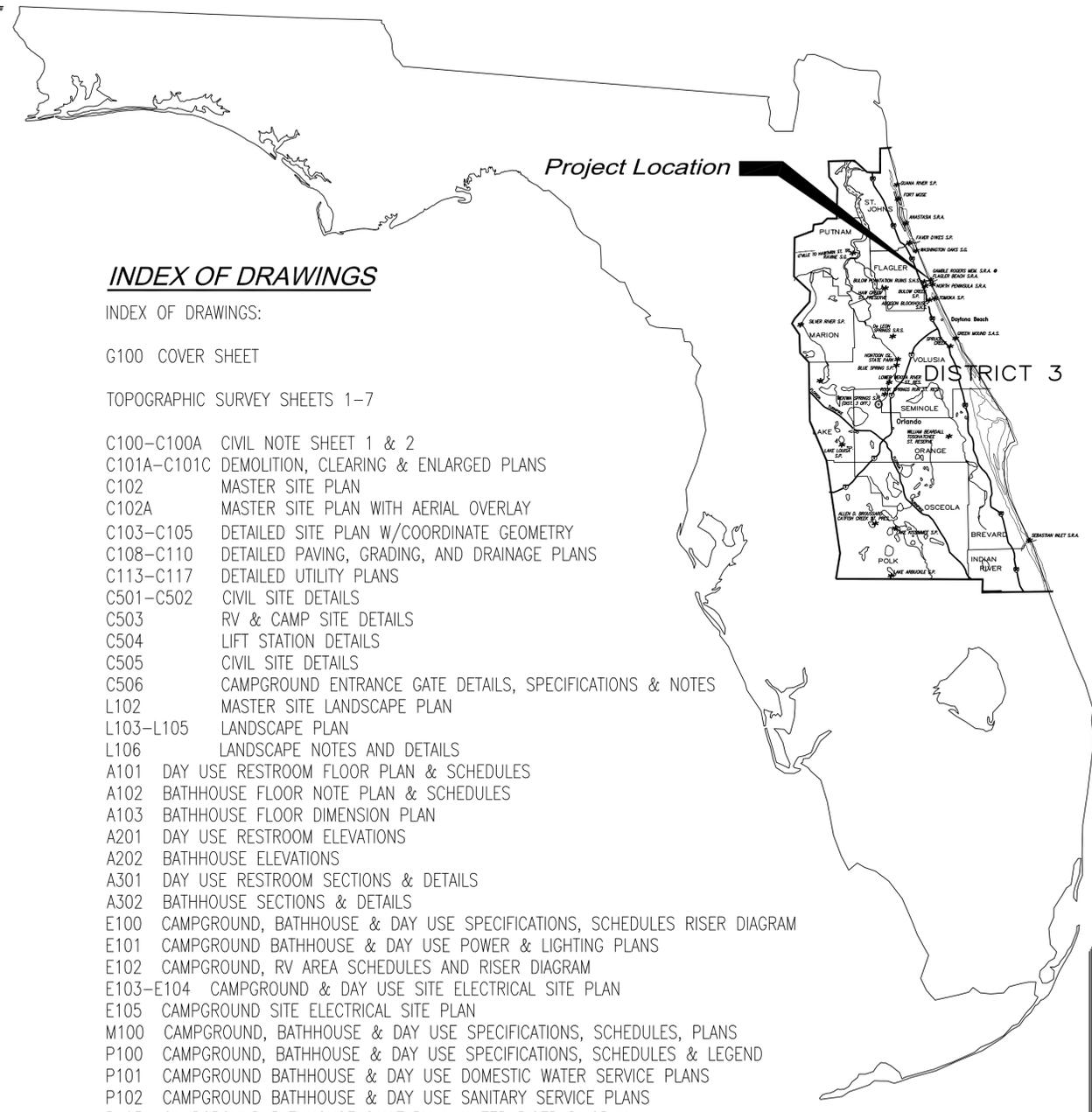
SCOPE OF PROJECT

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT, LABOR, AND SUPERVISION TO CONSTRUCT A DAY USE RESTROOM AND CAMPGROUND W/BATH HOUSE, INCLUDING WATER, ELECTRICAL AND SEWER HOOK-UPS AS SHOWN. THE PROJECT WILL INCLUDE THE CONSTRUCTION OF ALL PAVING, WALKS, DRAINAGE, GRADING, DEMOLITION, CLEARING, SITE LANDSCAPE, WATER AND SANITARY SYSTEMS AND FORCE MAINS TO CONNECT TO A CITY GRAVITY SEWER COLLECTION SYSTEM, SITE ELECTRICAL, TWO SANITARY PUMP STATIONS. THE PROJECT WILL INCLUDE APPROXIMATELY 457 LF OF DIRECTION DRILL FORCEMAIN WITHIN SOUTH CENTRAL AVENUE. ADDITIONALLY, THE CONTRACTOR SHALL INSTALL PRIMARY ELECTRICAL CONDUIT FROM FPL POLE ON A1A TO TRANSFORMER LOCATED AT DAY USE AREA AND CONTINUE CONDUIT TO CAMPGROUND BATH HOUSE TRANSFORMER. (FPL) FLORIDA POWER AND LIGHT WILL PROVIDE CONTRACTOR WITH CONDUIT MATERIALS AND FITTINGS. FPL WILL PROVIDE PRIMARY WIRING AND TRANSFORMER INSTALLATION.

JOHN P. BASTOW, PE
DESIGNER

2014-1-A,C,S,E,P_60891C_GAM_P
FILE No.

1-2-2014
INITIAL ISSUE DATE



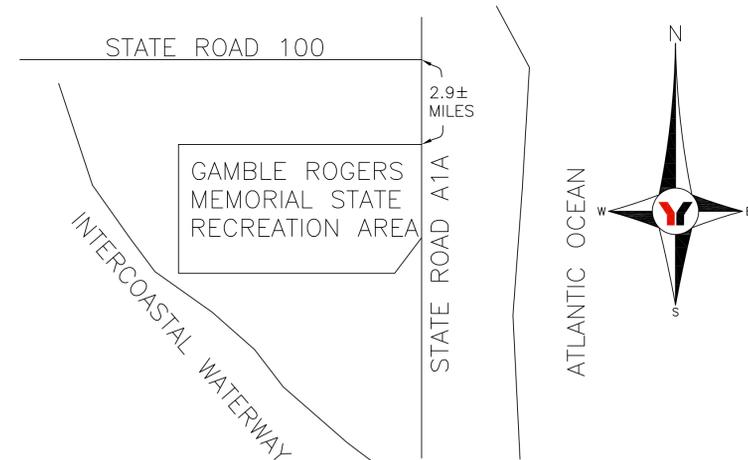
INDEX OF DRAWINGS

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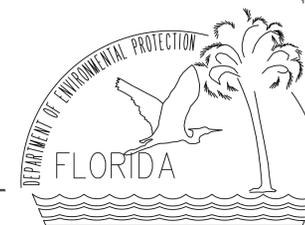
G100 COVER SHEET

TOPOGRAPHIC SURVEY SHEETS 1-7

- C100-C100A CIVIL NOTE SHEET 1 & 2
- C101A-C101C DEMOLITION, CLEARING & ENLARGED PLANS
- C102 MASTER SITE PLAN
- C102A MASTER SITE PLAN WITH AERIAL OVERLAY
- C103-C105 DETAILED SITE PLAN W/COORDINATE GEOMETRY
- C108-C110 DETAILED PAVING, GRADING, AND DRAINAGE PLANS
- C113-C117 DETAILED UTILITY PLANS
- C501-C502 CIVIL SITE DETAILS
- C503 RV & CAMP SITE DETAILS
- C504 LIFT STATION DETAILS
- C505 CIVIL SITE DETAILS
- C506 CAMPGROUND ENTRANCE GATE DETAILS, SPECIFICATIONS & NOTES
- L102 MASTER SITE LANDSCAPE PLAN
- L103-L105 LANDSCAPE PLAN
- L106 LANDSCAPE NOTES AND DETAILS
- A101 DAY USE RESTROOM FLOOR PLAN & SCHEDULES
- A102 BATHHOUSE FLOOR NOTE PLAN & SCHEDULES
- A103 BATHHOUSE FLOOR DIMENSION PLAN
- A201 DAY USE RESTROOM ELEVATIONS
- A202 BATHHOUSE ELEVATIONS
- A301 DAY USE RESTROOM SECTIONS & DETAILS
- A302 BATHHOUSE SECTIONS & DETAILS
- E100 CAMPGROUND, BATHHOUSE & DAY USE SPECIFICATIONS, SCHEDULES RISER DIAGRAM
- E101 CAMPGROUND BATHHOUSE & DAY USE POWER & LIGHTING PLANS
- E102 CAMPGROUND, RV AREA SCHEDULES AND RISER DIAGRAM
- E103-E104 CAMPGROUND & DAY USE SITE ELECTRICAL SITE PLAN
- E105 CAMPGROUND SITE ELECTRICAL SITE PLAN
- M100 CAMPGROUND, BATHHOUSE & DAY USE SPECIFICATIONS, SCHEDULES, PLANS
- P100 CAMPGROUND, BATHHOUSE & DAY USE SPECIFICATIONS, SCHEDULES & LEGEND
- P101 CAMPGROUND BATHHOUSE & DAY USE DOMESTIC WATER SERVICE PLANS
- P102 CAMPGROUND BATHHOUSE & DAY USE SANITARY SERVICE PLANS
- P103 CAMPGROUND BATHHOUSE SANITARY & WATER RISER DIAGRAM

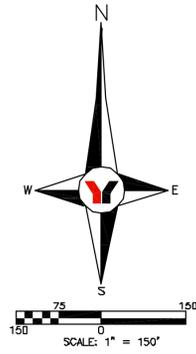


VICINITY MAP
NOT TO SCALE



LEGEND

- ⊙ B1 TYPICAL BORING LOCATION
- ⊙ HA TYPICAL HAND AUGER LOCATION
- ▣ PINE TREE
- △ OAK TREE
- PALM
- * CEDAR TREE
- ▲ GOPHER TORTOISE BURROW
- sf—sf— PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- T-T-T- PROPOSED TREE BARRIER
- ⊙ PROPOSED TORTOISE HOLES TO BE EXCAVATED TO VERIFY TORTOISE FOR RELOCATION



NOTES

1. ALL WORK TO BE DONE ACCORDING TO CITY OF FLAGLER BEACH, FL. FISH AND WILDLIFE AND ALL OTHER APPLICABLE AGENCY REQUIREMENTS.
2. CONTRACTOR TO EXCAVATE TORTOISE HOLES WITH COORDINATION OF PROJECT ENVIRONMENTALIST.
3. CONTRACTOR TO BACKFILL ALL EXCAVATED TORTOISE HOLES AND SILT FENCE AND GRADE BACK TO EXISTING GROUND ELEVATION.
4. CONTRACTOR TO TRENCH IN SILT FENCE AND BACKFILL PER DETAIL.
5. CONTRACTOR TO MINIMIZE TREE AND VEGETATION GROUND COVER IMPACTS DURING SILT FENCE INSTALLATION AND TORTOISE HOLE EXCAVATION.
6. CONTRACTOR TO USE CARE DURING SILT FENCE INSTALLATION AND EXCAVATION TO AVOID TORTOISE CONTACT AND DISTURBANCE.

SITE DATA

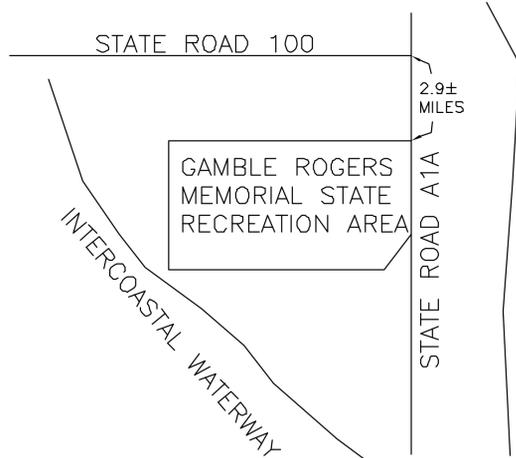
PARCEL NO. 30-12-32-0000-1030-0020

TOTAL SITE = 134 AC.
 EXISTING IMPERVIOUS = 70,328.18 SF±
 PROPOSED ADDITIONAL IMPERVIOUS = 167,641.09 SF±

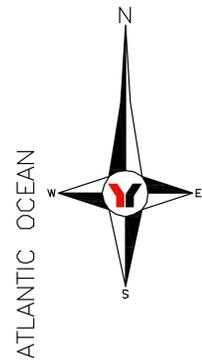
PROPOSED CAMPGROUND BATHHOUSE = 2,090.48 SF
 PROPOSED DAY USE RESTROOM = 293.4 SF±

NO REQUIRED PARKING
 PROPOSED PARKING
 8 REGULAR PARKING SPACES
 3 HANDICAP PARKING SPACES

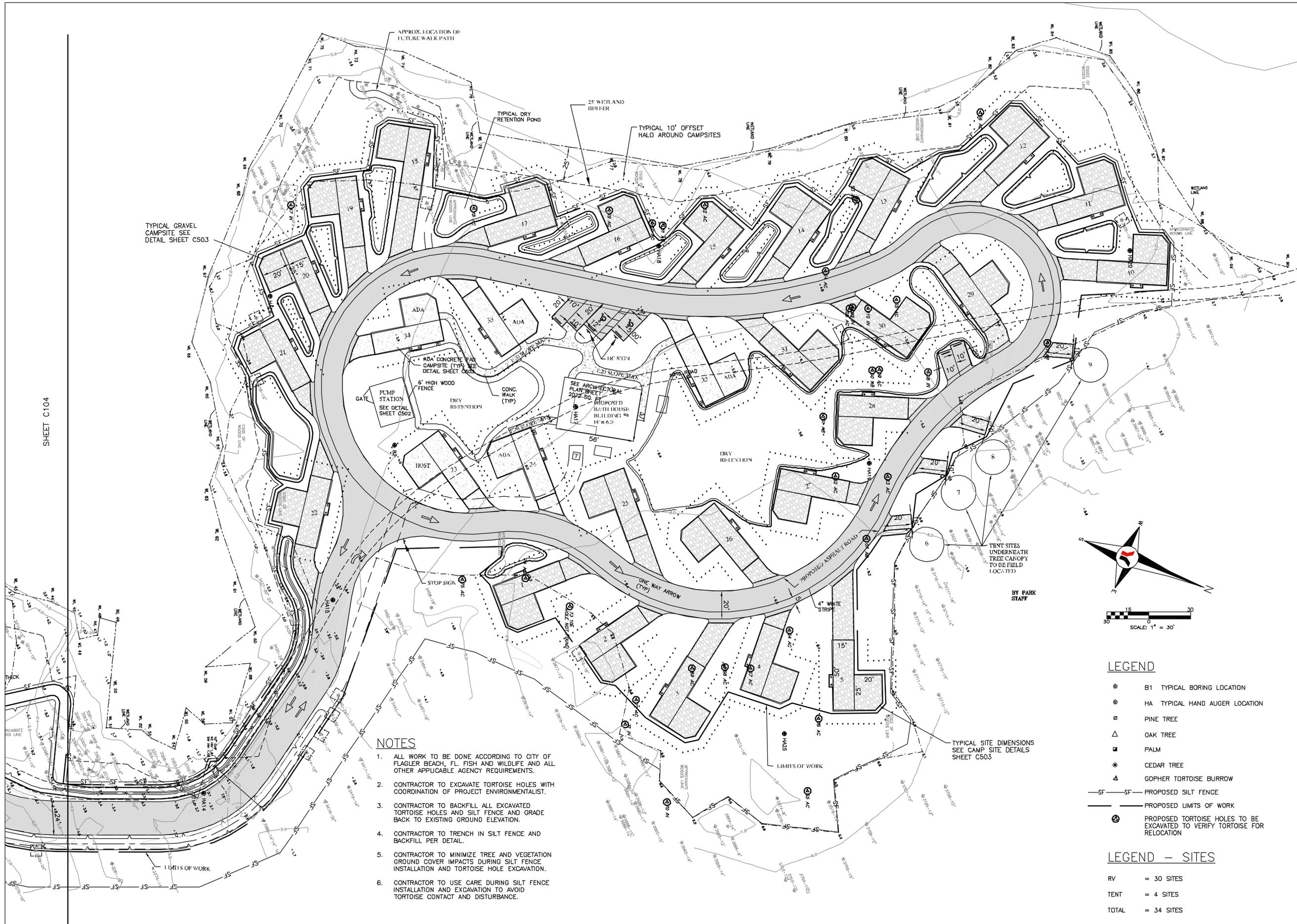
PROPOSED CAMPGROUND
 30 RV SITES
 4 TENT SITES
 34 TOTAL CAMPSITES



VICINITY MAP
NOT TO SCALE



DATE	REVISION	SYMBOL	DATE	REVISION	SYMBOL	DATE	REVISION	SYMBOL	DATE	REVISION	SYMBOL
		(A)			(B)			(C)			(D)
ISSUE DATE: JAN 2014	COMPL. FILE NO.: 0921016412-SP	STATE PROJECT NO.: 60891	DESIGNER: BASTOW	DRAWN BY: MARKUM	REVIEWED BY: OLNEY	PROFESSIONAL REGISTRATION JOHN P. BASTOW, P.E. NO. 37232	GAMBLE ROGERS MEMORIAL STATE RECREATION AREA	SHEET TITLE MASTER SITE	SHEET NO. C102	PROJECT TITLE CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS	DATE
Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372											
George F. Young, Inc. 1000 W. 10th St., Tallahassee, FL 32309 ARCHITECTURE, ENGINEERING, PLANNING, INTERIORS, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL SCIENCE, HISTORIC PRESERVATION, INTERIOR DESIGN, PROJECT MANAGEMENT SINCE 1919 PROJECT NO. 0921016412											



SHEET C104

TYPICAL GRAVEL CAMPSITE SEE DETAIL SHEET C503

NOTES

1. ALL WORK TO BE DONE ACCORDING TO CITY OF FLAGLER BEACH, FL FISH AND WILDLIFE AND ALL OTHER APPLICABLE AGENCY REQUIREMENTS.
2. CONTRACTOR TO EXCAVATE TORTOISE HOLES WITH COORDINATION OF PROJECT ENVIRONMENTALIST.
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6. CONTRACTOR TO USE CARE DURING SILT FENCE INSTALLATION AND EXCAVATION TO AVOID TORTOISE CONTACT AND DISTURBANCE.

LEGEND

- B1 TYPICAL BORING LOCATION
- HA TYPICAL HAND AUGER LOCATION
- PINE TREE
- △ OAK TREE
- PALM
- * CEDAR TREE
- ▲ GOPHER TORTOISE BURROW
- SF- SF PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- ⊙ PROPOSED TORTOISE HOLES TO BE EXCAVATED TO VERIFY TORTOISE FOR RELOCATION

LEGEND - SITES

- RV = 30 SITES
- TENT = 4 SITES
- TOTAL = 34 SITES

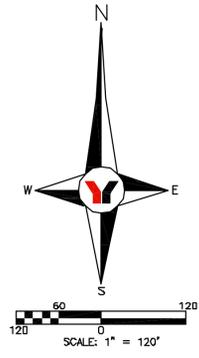
PROFESSIONAL REGISTRATION JOHN P. BASTOW, P.E. NO. 37232	DESIGNER: BASTOW	ISSUE DATE: JAN 2014	SYMBOL	REVISION	DATE	REASON
JOHN P. BASTOW, P.E. NO. 37232	DRAWN BY: MARKUM	COMP. FILE NO.: 0921016412-SP	Ⓐ			
DATE	REVIEWED BY: OLNEY	STATE PROJECT NO.: 60891	Ⓑ			
<p>GAMBLE ROGERS MEMORIAL STATE RECREATION AREA</p> <p>SHEET TITLE: DETAILED SITE</p> <p>PROJECT TITLE: WITH COORDINATE GEOMETRY CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS</p>						
<p>C105</p>						

Department of Environmental Protection
Division of Recreation and Parks
 Bureau of Design and Construction
 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372

George F. Young, Inc.
 100 W. GOLF LINKS BLVD., SUITE 200
 TAMPA, FL 33606
 ARCHITECTS, ENGINEERS, PLANNERS, LANDSCAPE ARCHITECTS, INTERIORS
 SINCE 1919 MEMBER: AIA, ASCE, NSPE, NCEM, NCB, NCS, NCS-C, NCS-E, NCS-P, NCS-S, NCS-T, NCS-U, NCS-V, NCS-W, NCS-X, NCS-Y, NCS-Z
 PROJECT NO. 922100000

LEGEND

- ⊙ B1 TYPICAL BORING LOCATION
- ⊙ HA TYPICAL HAND AUGER LOCATION
- ⊠ EX. PINE TREE
- △ EX. OAK TREE
- EX. PALM
- * EX. CEDAR TREE
- ▲ GOPHER TORTOISE BURROW
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- ⊙ TORTOISE HOLES TO BE EXCAVATED, VERIFY TORTOISE FOR RELOCATION
- x EXISTING TREE TO BE REMOVED



PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION - REMARKS
TREES AND PALMS				
JS	35	Juniperus atlantica	SOUTHERN REDCEDAR	10'-12' HT MIN., 2" CAL. MIN., FIELD GROWN, B&B
PC	5	Pinus clausa	SAND PINE	10'-12' HT MIN., 2" CAL. MIN., FIELD GROWN, B&B
PE	5	Pinus elliotii	SLASH PINE	10'-12' HT MIN., 2" CAL. MIN., FIELD GROWN, B&B
QC	15	Quercus geminata	SAND LIVE OAK	10'-12' HT MIN., 2" CAL. MIN., FIELD GROWN, B&B
QV	10	Quercus virginiana	SOUTHERN LIVE OAK	10'-12' HT MIN., 2" CAL. MIN., FIELD GROWN, B&B
SP	30	Sabal palmetto	CABBAGE PALM	RELOCATED PALMS

46 REPLACEMENT TREES REQUIRED, 70 REPLACEMENT TREES AND 30 RELOCATED PALMS PROVIDED.

MAINTENANCE AND WARRANTY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, WATERING AND FERTILIZING ALL NEW TREES AND LANDSCAPING THROUGH THE END OF THE ONE YEAR WARRANTY PERIOD. CONTRACTOR SHALL PROVIDE A TEMPORARY AUTOMATIC IRRIGATION SYSTEM USING EXISTING ON-SITE POTABLE WATER. PARKS PERSONNEL WILL BE RESPONSIBLE FOR PROVIDING SUPPLEMENTARY WATERING, IN TIMES OF DROUGHT IN ORDER TO MAINTAIN TREE HEALTH, FOLLOWING FINAL ACCEPTANCE.

TREES TO BE REMOVED

SIZE (DBH)	LINE OAKS (L1)	REDCEDAR (R1)
6"	3	0
7"	7	0
8"	3	0
9"	4	1
10"	6	0
11"	3	0
12"	4	0
13"	2	0
14"	2	0
15"	0	0
16"	0	0
17"	0	0
18"	0	0
19"	0	1
20"	0	0
21"	0	0
22"	0	0
23"	0	0
24"	1	0
25"	0	0
26"	1	1
27"	0	0
28"	0	0
29"	1	0
30"	1	1
TOTAL	42	4

42 OAKS AND 4 REDCEDAR TO BE REMOVED AND REPLACED WITH MIN. 2" CAL. REPLACEMENT TREES ON A TREE FOR TREE BASIS. 30 SABAL PALMS ARE TO BE REMOVED OF WHICH 30 ARE TO BE RELOCATED ON-SITE AS SHOWN.

PROPOSED PLANT LEGEND

- ⊙ SOUTHERN LIVE OAK
- ⊙ SAND LIVE OAK
- ⊙ REDCEDAR
- ⊙ RELOCATED SABAL PALM
- ⊙ SAND PINE
- ⊙ SLASH PINE

LANDSCAPE NOTES

- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL REMAIN GREEN SHALL BE SMOOTH GRADED (PER PLAN) AND COVERED WITH BAHIA SOD OR OTHER GROUNDCOVER APPROVED BY THE ENGINEER AND FDEP.
- ALL EDGES OF NEW ASPHALT TO BE PROVIDED WITH A 2' WIDE STRIP OF BAHIA SOD OR OTHER GROUNDCOVER APPROVED BY ENGINEER AND FDEP.
- IF EDGE OF ASPHALT IS ABUTTING AN UNDERDRAIN WITH GRAVEL SURFACE, PROVIDE SOD OR OTHER GROUNDCOVER APPROVED BY ENGINEER AND FDEP TO OUTSIDE EDGE OF UNDERDRAIN.
- IF EDGE OF ASPHALT ABUTS A PROPOSED SWALE OR RETENTION AREA THEN SOD OR OTHER GROUNDCOVER APPROVED BY ENGINEER AND FDEP WILL ABUT ASPHALT AND CONTINUE TO OTHER TOP OF BANK OR SWALE OR RETENTION AREA.

SODDING NOTE

- RETENTION AREAS, SWALES AND UNDERDRAINS SHALL BE SODDED WITH BAHIA SOD OR OTHER GROUNDCOVER APPROVED BY ENGINEER AND FDEP UNLESS OTHERWISE SPECIFIED.
- A 2' WIDE STRIP OF BAHIA SOD OR OTHER GROUNDCOVER APPROVED BY ENGINEER AND FDEP SHALL BE PROVIDED ABUTTING ALL NEW ASPHALT. IF EDGE OF ASPHALT HAS ABUTTING UNDERDRAIN WITH GRAVEL SURFACE, PROVIDE SOD ON OUTSIDE EDGE OF UNDERDRAIN. IF EDGE OF ASPHALT HAS PROPOSED SWALE OR RETENTION THEN SOD WILL ABUT ASPHALT AND CONTINUE TO OTHER TOP OF BANK OF SWALE OR RETENTION.



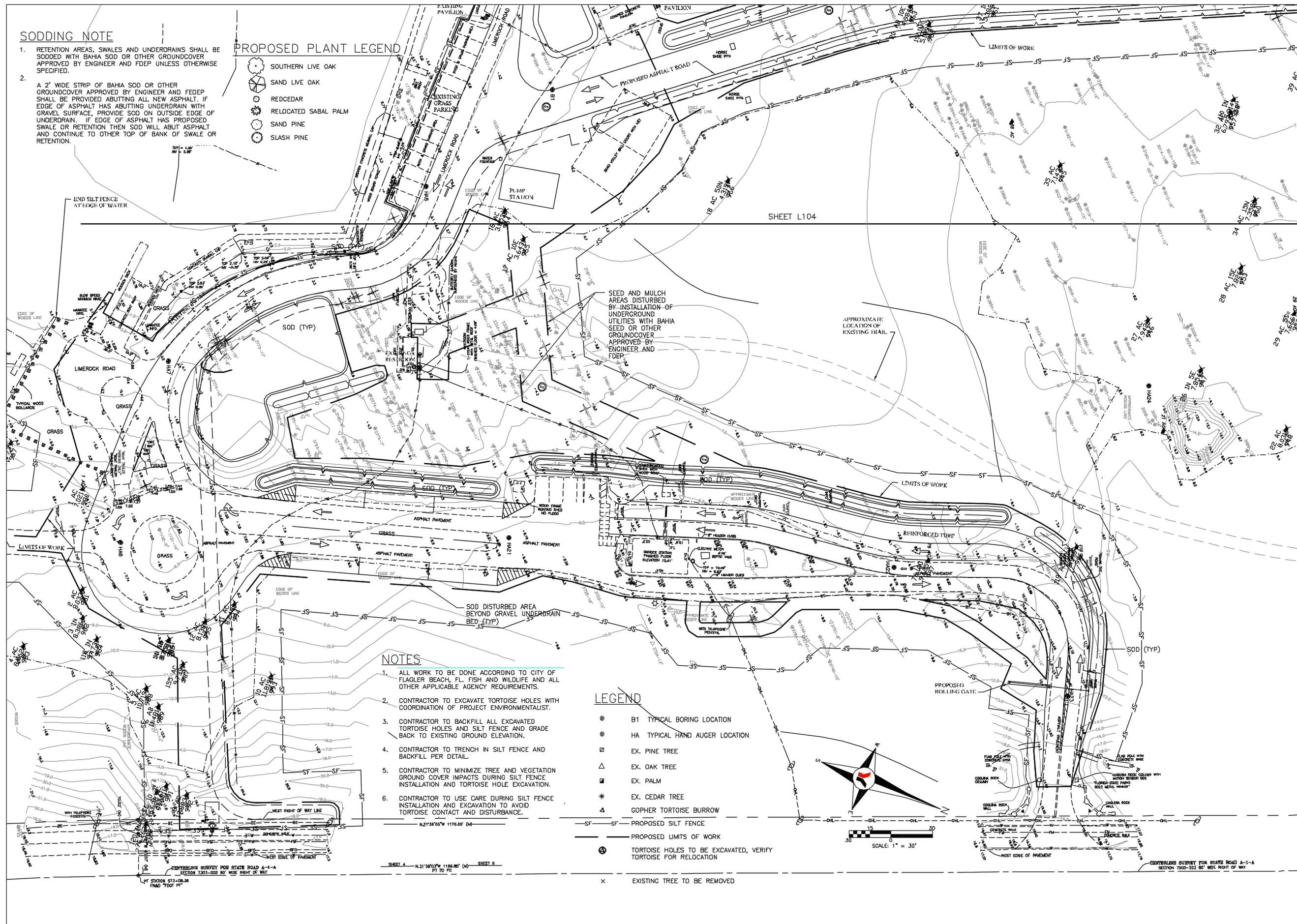
PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, RLA LA 15256	DESIGNER: WJR	ISSUE DATE: OCT 2013	SYMBOL	REVISION	DATE
	DRAWN BY: WJR	COMP. FILE NO.: 0921016412-SP	⊙		
	REVIEWED BY: BASTOW	STATE PROJECT NO.: 60891	⊙		
	Consultant:				
	PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, RLA LA 15256	George F. Young, Inc. 1000 W. GULF BLVD., SUITE 200 TALLAHASSEE, FL 32309 ARCHITECTS, ENGINEERS, PLANNERS AND LANDSCAPE ARCHITECTS SINCE 1919			
	PROJECT TITLE GAMBLE ROGERS MEMORIAL STATE RECREATION AREA MASTER SITE LANDSCAPE PLAN CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS	PROJECT NO.: 0921016412			
	SHEET NO. L102				

SODDING NOTE

- RETENTION AREAS, SWALES AND UNDERDRAINS SHALL BE SODDED WITH BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FEDEP UNLESS OTHERWISE SPECIFIED.
- A 2' WIDE STRIP OF BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FEDEP SHALL BE PROVIDED ABUTTING ALL NEW ASPHALT. IF EDGE OF ASPHALT HAS ABUTTING UNDERDRAIN WITH GRAVEL SURFACE, PROVIDE SOD ON OUTSIDE EDGE OF UNDERDRAIN. IF EDGE OF ASPHALT HAS PROPOSED SWALE OR RETENTION THEN SOD WILL ABUT ASPHALT AND CONTINUE TO OTHER TOP OF BANK OF SWALE OR RETENTION.

PROPOSED PLANT LEGEND

- SOUTHERN LIVE OAK
- SAND LIVE OAK
- REDCEDAR
- RELOCATED SABAL PALM
- SAND PINE
- SLASH PINE



NOTES

- ALL WORK TO BE DONE ACCORDING TO CITY OF FLAGLER BEACH, FL. FISH AND WILDLIFE AND ALL OTHER APPLICABLE AGENCY REQUIREMENTS.
- CONTRACTOR TO EXCAVATE TORTOISE HOLES WITH COORDINATION OF PROJECT ENVIRONMENTALIST.
- CONTRACTOR TO BACKFILL ALL EXCAVATED TORTOISE HOLES AND SILT FENCE AND GRADE BACK TO EXISTING GROUND ELEVATION.
- CONTRACTOR TO TRENCH IN SILT FENCE AND BACKFILL PER DETAIL.
- CONTRACTOR TO MINIMIZE TREE AND VEGETATION GROUND COVER IMPACTS DURING SILT FENCE INSTALLATION AND TORTOISE HOLE EXCAVATION.
- CONTRACTOR TO USE CARE DURING SILT FENCE INSTALLATION AND EXCAVATION TO AVOID TORTOISE CONTACT AND DISTURBANCE.

LEGEND

- B1 TYPICAL BORING LOCATION
- HA TYPICAL HAND AUGER LOCATION
- EX. PINE TREE
- EX. OAK TREE
- EX. PALM
- EX. CEDAR TREE
- GOPHER TORTOISE BURROW
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- TORTOISE HOLES TO BE EXCAVATED, VERIFY TORTOISE FOR RELOCATION
- EXISTING TREE TO BE REMOVED

PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, RLA LA 15256	DESIGNER: WJR	ISSUE DATE: OCT 2013	REVISION	DATE	SYMBOL	REVISION	DATE
WILLIAM J. RICHMOND, RLA LA 15256	DRAWN BY: MARKUM	COMP. FILE NO.: 0921016412-SP					
DATE	REVISION	STATE PROJECT NO.: 60891					
GAMBLE ROGERS MEMORIAL STATE RECREATION AREA		LANDSCAPE PLAN					
PROJECT TITLE: CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS		CONSULTANT: George F. Young, Inc. 100 W. GOLF COURSE BLVD., SUITE 200 TALLAHASSEE, FL 32309 ARCHITECTURAL, ENGINEERING, PLANNING, AND ENVIRONMENTAL SERVICES SINCE 1919					
SHEET NO. L103		DEPARTMENT OF ENVIRONMENTAL PROTECTION DIVISION OF RECREATION AND PARKS BUREAU OF DESIGN AND CONSTRUCTION 3540 THOMASVILLE RD., TALLAHASSEE, FL 32309 (850) 488-5372					

LEGEND

- ⊙ B1 TYPICAL BORING LOCATION
- ⊙ HA TYPICAL HAND AUGER LOCATION
- EX. PINE TREE
- △ EX. OAK TREE
- EX. PALM
- * EX. CEDAR TREE
- ▲ GOPHER TORTOISE BURROW
- SF— PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- ⊙ TORTOISE HOLES TO BE EXCAVATED, VERIFY TORTOISE FOR RELOCATION
- × EXISTING TREE TO BE REMOVED

PROPOSED PLANT LEGEND

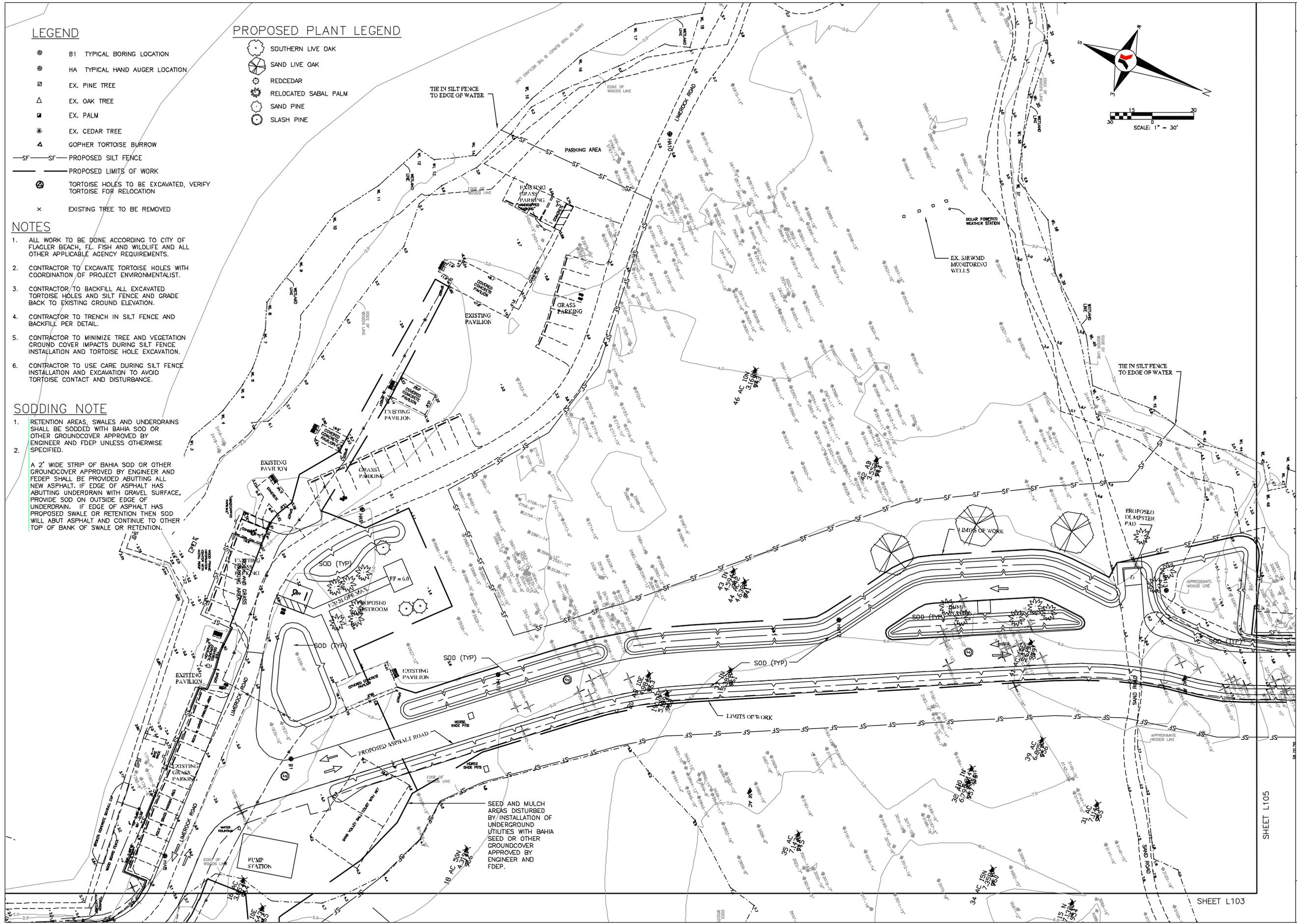
- ⊙ SOUTHERN LIVE OAK
- ⊙ SAND LIVE OAK
- ⊙ RED CEDAR
- ⊙ RELOCATED SABAL PALM
- ⊙ SAND PINE
- ⊙ SLASH PINE

NOTES

1. ALL WORK TO BE DONE ACCORDING TO CITY OF FLAGLER BEACH, FL. FISH AND WILDLIFE AND ALL OTHER APPLICABLE AGENCY REQUIREMENTS.
2. CONTRACTOR TO EXCAVATE TORTOISE HOLES WITH COORDINATION OF PROJECT ENVIRONMENTALIST.
3. CONTRACTOR TO BACKFILL ALL EXCAVATED TORTOISE HOLES AND SILT FENCE AND GRADE BACK TO EXISTING GROUND ELEVATION.
4. CONTRACTOR TO TRENCH IN SILT FENCE AND BACKFILL PER DETAIL.
5. CONTRACTOR TO MINIMIZE TREE AND VEGETATION GROUND COVER IMPACTS DURING SILT FENCE INSTALLATION AND TORTOISE HOLE EXCAVATION.
6. CONTRACTOR TO USE CARE DURING SILT FENCE INSTALLATION AND EXCAVATION TO AVOID TORTOISE CONTACT AND DISTURBANCE.

SODDING NOTE

1. RETENTION AREAS, SWALES AND UNDERDRAINS SHALL BE SODDED WITH BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FDEP UNLESS OTHERWISE SPECIFIED.
2. A 2' WIDE STRIP OF BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FDEP SHALL BE PROVIDED ABUTTING ALL NEW ASPHALT. IF EDGE OF ASPHALT HAS ABUTTING UNDERDRAIN WITH GRAVEL SURFACE, PROVIDE SOD ON OUTSIDE EDGE OF UNDERDRAIN. IF EDGE OF ASPHALT HAS PROPOSED SWALE OR RETENTION THEN SOD WILL ABUT ASPHALT AND CONTINUE TO OTHER TOP OF BANK OF SWALE OR RETENTION.

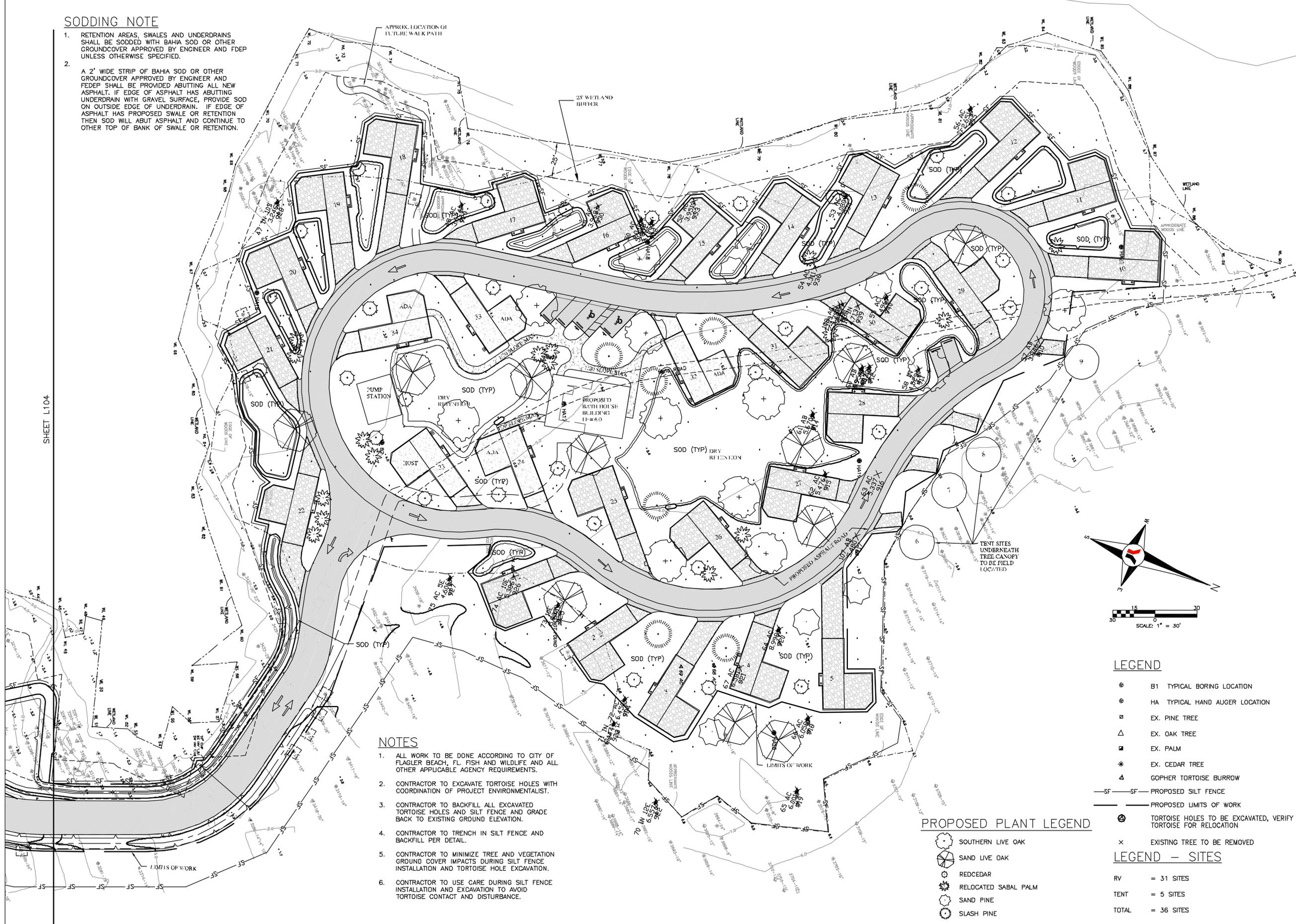


PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, RLA LA 1256	DESIGNER: WJR	ISSUE DATE: OCT 2013	SYMBOL	REVISION	DATE
WILLIAM J. RICHMOND, RLA LA 1256	DRAWN BY: WJR	COMP. FILE NO.: 0921016412-SP	(A)		
DATE	REVIEWED BY: BASTOW	STATE PROJECT NO.: 60891	(B)		
PROJECT TITLE GAMBLE ROGERS MEMORIAL STATE RECREATION AREA LANDSCAPE PLAN		Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372			
SHEET NO. L104		PROJECT NO. 922100500			

SODDING NOTE

- RETENTION AREAS, SWALES AND UNDERDRAINS SHALL BE SODDED WITH BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FDEP UNLESS OTHERWISE SPECIFIED.
- A 2' WIDE STRIP OF BAHIA SOD OR OTHER GROUND COVER APPROVED BY ENGINEER AND FDEP SHALL BE PROVIDED ABUTTING ALL NEW ASPHALT. IF EDGE OF ASPHALT HAS ABUTTING UNDERDRAIN WITH GRAVEL SURFACE, PROVIDE SOD ON OUTSIDE EDGE OF UNDERDRAIN. IF EDGE OF ASPHALT HAS PROPOSED SWALE OR RETENTION THEN SOD WILL ABUT ASPHALT AND CONTINUE TO OTHER TOP OF BANK OF SWALE OR RETENTION.

SHEET L104



NOTES

- ALL WORK TO BE DONE ACCORDING TO CITY OF FLAGLER BEACH, FL FISH AND WILDLIFE AND ALL OTHER APPLICABLE AGENCY REQUIREMENTS.
- CONTRACTOR TO EXCAVATE TORTOISE HOLES WITH COORDINATION OF PROJECT ENVIRONMENTALIST.
- CONTRACTOR TO BACKFILL ALL EXCAVATED TORTOISE HOLES AND SILT FENCE AND GRADE BACK TO EXISTING GROUND ELEVATION.
- CONTRACTOR TO TRENCH IN SILT FENCE AND BACKFILL PER DETAIL.
- CONTRACTOR TO MINIMIZE TREE AND VEGETATION GROUND COVER IMPACTS DURING SILT FENCE INSTALLATION AND TORTOISE HOLE EXCAVATION.
- CONTRACTOR TO USE CARE DURING SILT FENCE INSTALLATION AND EXCAVATION TO AVOID TORTOISE CONTACT AND DISTURBANCE.

PROPOSED PLANT LEGEND

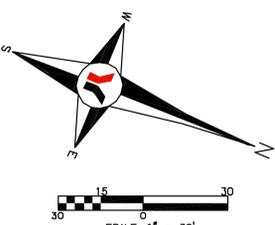
- SOUTHERN LIVE OAK
- SAND LIVE OAK
- RED CEDAR
- RELOCATED SABAL PALM
- SAND PINE
- SLASH PINE

LEGEND

- B1 TYPICAL BORING LOCATION
- HA TYPICAL HAND AUGER LOCATION
- EX. PINE TREE
- EX. OAK TREE
- EX. PALM
- EX. CEDAR TREE
- GOPHER TORTOISE BURROW
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF WORK
- TORTOISE HOLES TO BE EXCAVATED, VERIFY TORTOISE FOR RELOCATION
- EXISTING TREE TO BE REMOVED

LEGEND - SITES

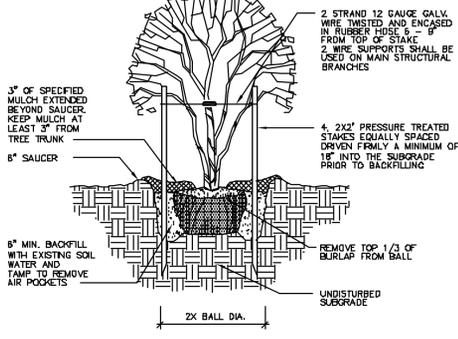
- RV = 31 SITES
- TENT = 5 SITES
- TOTAL = 36 SITES



PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, P.E. LA 12556	DESIGNER: WJR	ISSUE DATE: OCT 2013	SYMBOL	REVISION	DATE	REASON
WILLIAM J. RICHMOND, P.E. LA 12556	DRAWN BY: WJR	COMP. FILE NO.: 09271016412-SP	(A)			
DATE	REVIEWED BY: BASTOW	STATE PROJECT NO.: 60891	(B)			
PROJECT TITLE: GAMBLE ROGERS MEMORIAL STATE RECREATION AREA		Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372				
SHEET TITLE: LANDSCAPE PLAN		George F. Young, Inc. 1000 N. GULF BLVD., SUITE 200 TALLAHASSEE, FL 32302 ARCHITECTURE, ENGINEERING, PLANNING AND CONSTRUCTION SINCE 1919				
PROJECT TITLE: CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS		PROJECT NO.: 922700000				
L105						



STAKING PLAN
N.T.S.

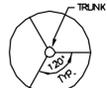


NOTES:

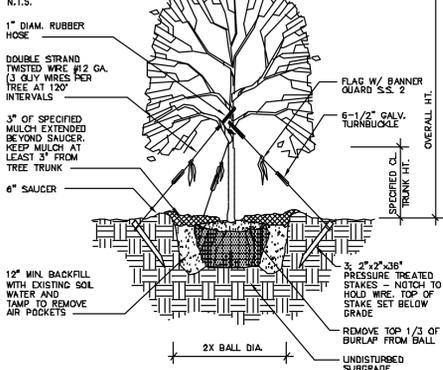
- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT.
- WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.

MULTI-TRUNK TREE STAKING DETAIL

N.T.S.



GUYING PLAN
N.T.S.

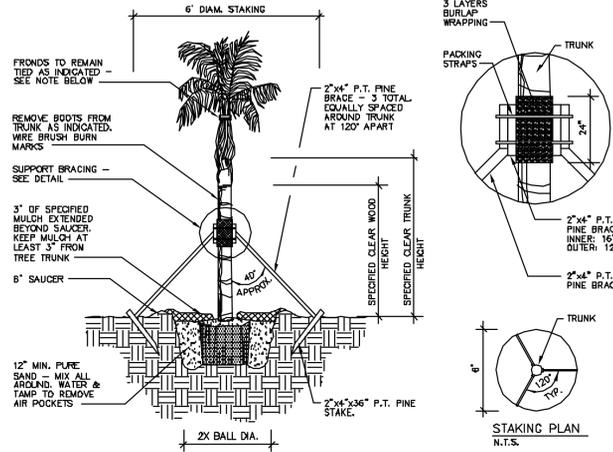


NOTES:

- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
- BOTTOM OF ROOT BALL SHALL BE SEATED DIRECTLY ON UNDISTURBED SUBGRADE.
- STAKE ABOVE FIRST STRONG BRANCHES OR AS NECESSARY FOR FIRM SUPPORT.
- FLAG GUYING WIRES WITH BANNER GUARD S.S. 2 OR APPROVED EQUAL.

TREE PLANTING DETAIL - GUY WIRES

N.T.S.



NOTES:

- PALM FRONDS SHALL BE TIED UP UNTIL AFTER PLANTING. TIES SHALL BE REMOVED AS FOLLOWS: DATE PALM - ONE WEEK; WASHINGTON PALM & QUEEN PALM - IMMEDIATELY; SABAL PALMS WHICH ARE NOT HURRICANE CUT SHALL REMAIN TIED FOR SIX MONTHS. REMOVE ALL DEAD AND BROKEN FRONDS. NEVER CUT BUDS.
- ALL TRUNKS SHALL BE PREPARED PRIOR TO DELIVERY. DATE PALMS SHALL BE "CLASSIC CUT"; SABAL AND WASHINGTON PALMS SHALL BE BOOTED OR SHAVED AS SPECIFIED.
- PLANT IN PURE SAND. PLANT SO THAT TOP OF ROOT BALL IS 2" ABOVE FINISHED GRADE; BOTTOM OF ROOT BALL SHALL BE SEATED DIRECTLY ON UNDISTURBED SUBGRADE.
- NEVER NAIL INTO TRUNK.

PALM PLANTING DETAIL

N.T.S.

INSTALLATION SPECIFICATIONS:

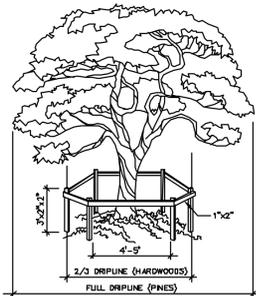
- NOTE: EITHER TYPE 'A' BARRICADE (WOOD) OR TYPE 'B' BARRICADE (RIBBON) MAY BE USED.

1. MINIMUM RADIUS TO BE PROTECTED:
PINES:
DRIPLINE OR 6', WHICHEVER IS GREATER.

HARDWOODS AND ALL OTHERS:
2/3 OF THE DRIPLINE OR 6', WHICHEVER IS GREATER.

2. METHOD OF ERECTION: (SEE DIAGRAM)

- A. MINIMUM HEIGHT OF UPRIGHTS SHALL BE 3" AND NO LESS THAN 2"x2" LUMBER.
- B. UPRIGHTS SHALL HAVE HORIZONTAL RIBBING AT THE TOP AND 12" BELOW THE TOP. (TYPE 'B' BARRIER)
- C. UPRIGHTS SHALL BE SPACED AT NO MORE THAN 4'-0" INTERVALS.
- D. HORIZONTAL MEMBERS SHALL BE OF NO LESS THAN 1"x2" LUMBER. (TYPE 'A' BARRIER)



NOTES:

1. NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE ENGINEER.
2. THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE ANY TREES THAT ARE TO REMAIN.
3. ROOTS GREATER THAN 1" DIAM. SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
4. ROOTS OF 1" DIAM. OR LARGER THAT NEED TO BE CUT SHALL BE CUT NEATLY.
5. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
6. TYPE 'A' BARRIER OR TYPE 'B' BARRIER SHALL BE CONSTRUCTED WHEN CALLED FOR ON PLANS OR AS DIRECTED BY THE ENGINEER. BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS DIRECTED BY THE ENGINEER.

TREE BARRICADE DETAIL

N.T.S.

GENERAL NOTES

- IF ISSUED, WRITTEN SPECIFICATIONS SHALL BE AN INTEGRAL PART OF THIS PLAN SET.
- ALL TREES, INCLUDING PALMS, SHALL BE SET VERTICALLY TO THE GROUND, OR IF ON SLOPES OR BERMS, SHALL BE SET VERTICALLY TO THE SURROUNDING FLAT TERRAIN.
- ALL SOD SHALL BE 100% SOLID SOD, 98% FREE OF NOXIOUS WEEDS, WITH A 2" THICKNESS OF ROOTS CAPABLE OF HOLDING SAND. SOD SHALL BE FRESHLY-CUT WITHIN TWENTY-FOUR (24) HOURS OF LAYING, LAID WITH TIGHTLY-BUTTED JOINTS, AND ROLLED. HAND RAKING SHALL BE DONE AS NECESSARY TO ENSURE PROPER EVEN GRADES AND CLEAR SURFACES FOR SOD.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY PROPERTY LINE LOCATIONS BEFORE INSTALLATION OF ANY PERIMETER PLANT MATERIAL OR IRRIGATION SYSTEM.
- ALL PLANTINGS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, IF REQUIRED.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING FULLY BOTH THE SITE AND THE BID DOCUMENTS. DISCREPANCIES IN DOCUMENTS OR SITE CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IN WRITING AT TIME OF BIDDING OR DISCOVERY, AND NO ACCOUNT SHALL BE MADE AFTER CONTRACT COMPLETION FOR FAILURE TO REPORT SUCH CONDITION, OR FOR ERRORS ON THE PART OF THE LANDSCAPE CONTRACTOR AT TIME OF BIDDING. (ONLY EXTREMELY PECULIAR AND UNUSUAL CONDITIONS WILL BE CONSIDERED FOR NEGOTIATION.)
- ALL QUESTIONS CONCERNING THIS PLAN SET OR SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER.
- PLANT MATERIALS ARE TO BE BID AS SPECIFIED UNLESS UNAVAILABLE, AT WHICH TIME THE LANDSCAPE ARCHITECT WILL BE NOTIFIED BY TELEPHONE AND IN WRITING OF THE INTENDED CHANGES.
- THE PLANT KEY IS PRESENTED FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL PREVAIL.
- THE LANDSCAPE CONTRACTOR WILL PROVIDE A SOIL SAMPLE ANALYSIS TO DETERMINE APPROPRIATE SOIL AMENDMENTS (I.E., FERTILIZER, LIME, ETC.). THE CONTRACTOR WILL PROVIDE COPIES OF THE TEST RESULTS TO THE OWNER AND THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE FERTILIZED WITH AGRIFORM 20-10-05 TABLETS AS PER INSTRUCTIONS IN CONJUNCTION WITH NOTE K.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY APPLICABLE PERMITS AND LICENSES TO PERFORM THE WORK SET FORTH IN THE PLAN SET OR WRITTEN SPECIFICATIONS.
- THERE SHALL BE NO ADDITIONS, DELETIONS, OR SUBSTITUTIONS WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES OR PROFESSIONALS ON THE SITE WHOSE WORK MAY OVERLAP OR INTERFERE WITH THE WORK SET FORTH IN THE PLAN SET OR WRITTEN SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS OR AREAS SHALL BE CLEAN OF ALL TRASH, DEBRIS, OR OTHER NON-INDIGENOUS MATERIALS TO A DEPTH OF 18"-24" PRIOR TO ANY LANDSCAPE INSTALLATION.
- THE LANDSCAPE CONTRACTOR AND/OR GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN SITE CONDITIONS OR NON-COMFORMANCE TO SPECIFICATIONS, SUCH AS GRADING, BACKFILLING, REMOVAL OF DEBRIS, GRUBBING, ETC.
- ALL EXISTING TREES TO REMAIN SHALL BE BARRICADED (SEE DETAIL), OR AS NOTED ON PLAN.
- ALL CLEARING, GRUBBING, EXCAVATING, AND/OR GRADING UNDER THE DRIP LINE OF TREES TO REMAIN TO BE DONE BY HAND. ANY EXCEPTIONS TO THIS SHALL BE APPROVED AND SUPERVISED BY THE LANDSCAPE ARCHITECT.

LANDSCAPE NOTES

- PLANT MATERIAL STANDARDS**
ALL PLANT MATERIAL USED ON THIS PROJECT SHALL BE "FLORIDA NO. 1" AS DESCRIBED IN THE LATEST EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS", PARTS I AND II, BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. REFER TO DETAILS FOR FURTHER QUALITY SPECIFICATIONS.
- GRADING OF PLANTING BEDS**
ALL PLANTING BEDS SHALL BE 6" BELOW ADJACENT STRUCTURES AND SLOPE AT 3% AWAY FROM EXISTING STRUCTURES. VERIFY THIS CONDITION WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK. PARKING LOT ISLANDS SHALL SLOPE AT 3% FROM CENTER OF ISLAND TO CURB. TOE OF SLOPE ON ALL BEDS SHALL FINISH AT 2" BELOW SIDEWALKS, CURBS OR OTHER HARD EDGING TO ALLOW FOR MULCH THICKNESS.
- BED PREPARATION AND PLANTING**
LOOSEN SOIL TO A MINIMUM DEPTH OF FOUR INCHES AND REMOVE ALL DEBRIS. REGRADE THE BED TO ITS PRE-PLANTING SUBGRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH 50% EXISTING SOIL AND 50% TOPSOIL (SEE BELOW) AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8" DEPTH OF ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE OF 6-6-6 FERTILIZER AND/OR AGRIFORM TABLETS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL DIRT AND RAKE THE BED TO ITS FINISH GRADING. COVER ALL BED AREAS WITH A 3" DEPTH OF GRADE A SHREDED CYPRESS MULCH OR PINE BARK MULCH. REMOVE ALL DEBRIS FROM MULCH.
- TOPSOIL**
TOPSOIL SHALL BE A NATURAL FRIABLE, FERTILE, FINE LOAM SOIL. IT SHALL BE CERTIFIED (BY TESTING) TO BE FREE OF WEED SEEDS AND PATHOGENS. IT SHALL ALSO BE FREE OF LITTER, SOD, CLAY, STONES, ROOTS AND STUMPS. IT SHALL BEAR A PH OF BETWEEN 5.5 AND 7.5.
- EDGING**
ALL EDGING SHALL BE AS DESCRIBED IN THE PLANTING DETAILS.
- TREE STAKING**
ALL TREES TO BE STAKED AND GUYED AS SHOWN IN THE DETAILS UNLESS OTHERWISE SPECIFIED BY THE GENERAL CONTRACTOR. TREE STAKING OR SUPPORT WIRE SHALL BE REMOVED AFTER ONE (1) COMPLETE GROWING SEASON.
- WARRANTY**
ALL PLANT MATERIAL SHALL BE GUARANTEED BY CONTRACTOR FOR A PERIOD OF ONE YEAR FROM RECEIVING FINAL ACCEPTANCE BY THE OWNER AND/OR LANDSCAPE ARCHITECT.

PROFESSIONAL REGISTRATION WILLIAM J. RICHMOND, RLA LA 15356	DESIGNER: WJR DRAWN BY: WJR REVIEWED BY: BASTOW	ISSUE DATE: OCT 2013 COMP. FILE NO.: 0921010412-SP STATE PROJECT NO.: 60891	SYMBOL A B	REVISION	DATE	REASON
WILLIAM J. RICHMOND, RLA LA 15356	CONSULTANT: George F. Young, Inc. 1000 W. GULF BLVD. SUITE 100 TALLAHASSEE, FL 32309 ARCHITECTURE, ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, ENVIRONMENTAL DESIGN, CONSTRUCTION MANAGEMENT, PROJECT MANAGEMENT, PROGRAM MANAGEMENT, REAL ESTATE CONSULTING, TRAFFIC ENGINEERING, HISTORIC PRESERVATION, PLANNING, AND DESIGN SERVICES. SINCE 1919	PROJECT NO.: 0221000000	SYMBOL C D	REVISION	DATE	REASON
GAMBLE ROGERS MEMORIAL STATE RECREATION AREA		LANDSCAPE NOTES AND DETAILS		PROJECT TITLE: CAMPGROUNDS AND DAY USE AREA IMPROVEMENTS		
SHEET NO.		L106		Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-6372		

ROOM FINISH SCHEDULE									
ROOM NO	ROOM NAME	FLOOR	WALLS				CEILING		NOTES
			N	S	E	W	MATL	HEIGHT	
100	PORCH	LT BROOM CONC.	SPLIT-FACE CMU	SPLIT-FACE CMU	SPLIT-FACE CMU	SPLIT-FACE CMU	PLYWOOD SOFFIT/BATTENS	9'-4"	Slope flr. to drain (Max. 1/4"/ft)
101	UNISEX H.C. TOILET	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
102	UNISEX H.C. TOILET	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
103	CHASE	SEALED CONCRETE	---	---	---	---	EXPOSED TRUSSES	9'-4"	Slope flr. to drain (Max. 1/4"/ft)

DOOR AND FRAME SCHEDULE																
MARK	DOOR			FRAME				FIRE RATING LABEL	HARDWARE		NOTES					
	WD	HGT	THK	MATL	GLAZING	WD	HGT		HEAD	JAMB		SILL	SET NO	KEYSIDE RM NO.		
01	3'-0"	7'-0"	1 3/4"	FIBERGLASS	---	0"	0"	F.G.	6/A---	9/A---	8/A---	7/A---	---	1	COVERED ENTRY	* TRANSOM OVER DOOR
02	3'-0"	7'-0"	1 3/4"	FIBERGLASS	1/2" INSUL. GL.	0"	0"	F.G.	7/A---	12/A---	8/A---	7/A---	---	2	COVERED ENTRY	
03	3'-0"	7'-0"	1 3/4"	FIBERGLASS	1/2" INSUL. GL.	0"	0"	F.G.	15/A---	9/A---	8/A---	11/7/A---	---	3	EXTERIOR	12"x12" FROSTED INSUL. GLASS LIGHT

WINDOW/LOUVER SCHEDULE						
MARK	SIZE		TYPE	MAT'L	EL.	NOTES
	WIDTH	HEIGHT				
1	1'-4"	5'-8"	FIXED	ALUMINUM	8/A---	HURRICANE RATED GLASS & LOUVER

GENERAL NOTES

UNLESS OTHERWISE NOTED, TOILET AND BATH ACCESSORIES ARE FROM "A AND J WASHROOM ACCESSORIES" (845-562-3332) TO INDICATE TYPE, MATERIAL, AND QUALITY OF ACCESSORY. OTHER MANUFACTURERS ARE ACCEPTABLE IF EQUAL AND APPROVED.

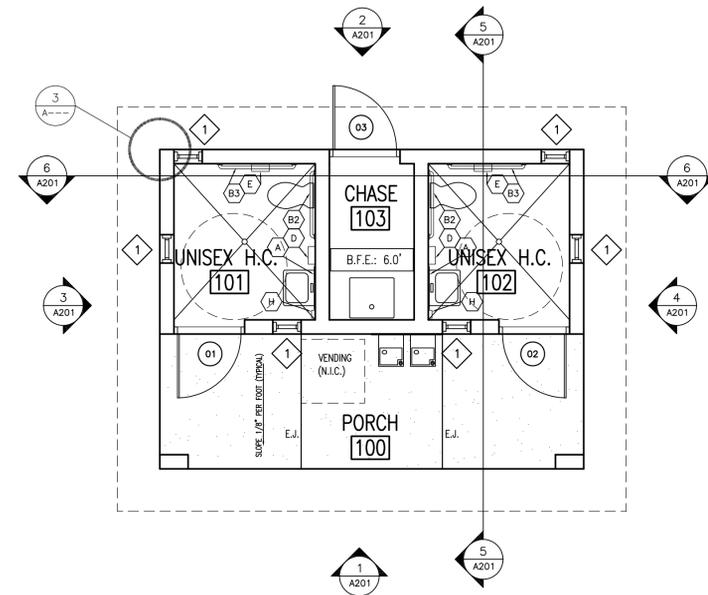
DOOR HARDWARE IS FROM "GRAINGER GENERAL" CATALOG, LATEST EDITION. MANUFACTURER CHANGES WILL BE DEPARTMENT APPROVED EQUAL ONLY.

HARDWARE SCHEDULE						
SET #	ITEM	DESCRIPTION	SIZE	FINISH	MFR/ MODEL #	
1	HINGES	1 1/2" PAIR BUTTS, FULL MORTISE, HEAVY WEIGHT BALL BEARING	4 1/2" X 4 1/2"	US26D / 626	STANLEY FBB168 / 06-1676	
2	DEADBOLT	CYLINDRICAL DEADBOLT, KEYPED TO EXISTING PARK SYSTEM	---	US26D / 626	YALE 3522B (GRAINGER 51714)	
3	LOCKSET	HEAVY-DUTY CYLINDRICAL LOCKSET, CLASSROOM FUNCTION, BARRIER FREE	---	US26D / 626	YALE PB402LN (GRAINGER 32755)	
4	LOCKSET	HEAVY-DUTY, CYL. LOCKSET, STOREROOM FUNCTION (KEYED TO PARK SYSTEM)	---	US26D / 626	YALE PB405 (GRAINGER 32757)	
5	PUSH PLATE	CHROME PLATED STEEL PUSH PLATE WITH TAMPER PROOF SCREWS	4" X 16" X .050"	US26D / 626	TRIDENT (GRAINGER 51633)	
6	DOOR PULL	CHROME PLATED STEEL PLATE WITH A.D.A. APPROVED PULL - A.D.A. MNT. HT.	4" X 16" X .050"	US26D / 626	TRIDENT (GRAINGER 51640)	
7	KICK PLATE	STAINLESS STEEL KICK PLATE - INSTALL BOTH SIDES OF DOOR	8" X 40" X .050"	US32D / 630	TRIDENT (GRAINGER 51657)	
8	DOOR HOLDER	RUBBER FOOT STOP, STAINLESS STEEL SPRING RELEASE	4"	US26D / 626	TRIDENT (GRAINGER 51618)	
9	DOOR CLOSER	HYDRAULIC DOOR CLOSER, 13" L X 2 3/4" W X 2 3/4" H, BARRIER FREE	13" L X 2 3/4" W X 2 3/4" H	ALUMINUM	NORTON 83018F	
10	THRESHOLD	SADDLE TYPE ALUMINUM THRESHOLD, 3" HIGH X 5" WIDE X 36" LONG	5" X 36"	ALUMINUM	NATIONAL GUARD # 425	

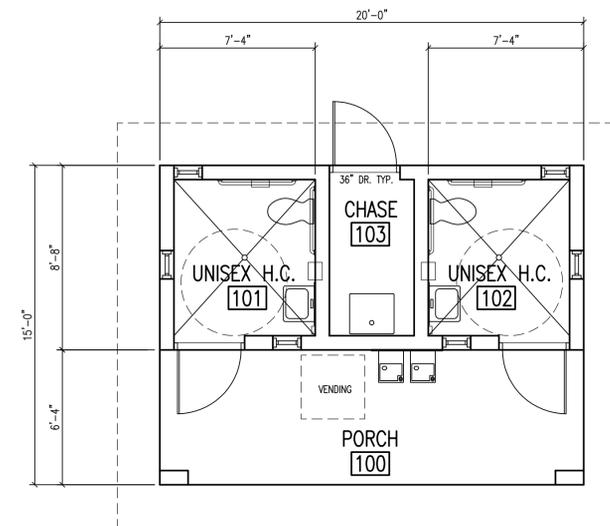
ACCESSORY SCHEDULE						
MARK	ITEM	DESCRIPTION	MOUNTING HT.	MFR/MODEL	REMARKS	
A	MIRROR	1/4" PLATE GLASS - TYPE 304 #18 GAUGE STAINLESS STEEL FRAME, BRIGHT FINISH	40" TO BOTTOM	A&J U700 24 X 36	INSTALL AS PER MFR. REC. W/ CONCEALED WALL HANGER, 15 YR. SILVER SPOILAGE GUARANTEE	
B	GRAB BAR - 30"(B1) OR 36"(B2), OR 42" (B3)	CONCEALED TYPE GRAB BAR, 1 1/2" O.D. DIAMETER, TYPE 304 S.S. SATIN FINISH, 18 GA. W/ 3" DIA. FLANGE, 1" DEEP, 11 GA. W/ TAMPER-RES. SET SCREWS	TOP @ 36" A.F.F.	A&J UG30 X 30/36/42"	INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS	
C						
D	HANDS FREE ELECTRIC HAND DRYER	SURFACE-MOUNTED WALL UNIT (14.25" W X 48" H X 4.25" D)	NOZZLE @ 42" A.F.F.	A&J U1521EA	INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS	
E	TOILET PAPER DISPENSER	SURFACE-MOUNTED DOUBLE ROLL DISPENSER	19" MIN. A.F.F. TO BOTTOM OF DISPENSER	GEORGIA-PACIFIC #59209	INSTALL AS PER MFR. REC. (INSTALL 36" MAX. FROM BACK WALL & AVOID CONFLICT W/ DOOR)	
F	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
G	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
H	SOAP DISPENSER	WALL MOUNTED LIQUID SOAP DISPENSER - PLASTIC (8" H X 5 1/2" W X 4 3/4" D)	SPOUT 40" A.F.F.	PRIDE #9320	INSTALL AS PER MFR. RECOMMENDATIONS	
J	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
K	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
L	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
M	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
N	DRY CHEMICAL FIRE EXTINGUISHER	20# ABC FIRE EXTINGUISHER IN RECESSED CABINET	TOP @ 4'-0" A.F.F.	KIDDE ABC #21005785	INSTALL AS PER MFR. RECOMMENDATIONS	
P	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	
Q	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	

COATING SYSTEMS SCHEDULE								
MATERIAL	SURFACES	FINISH	TYPE	FINISH COAT	PRIMER	SURF. PREP/ CLEANING	COLORS	NOTES
INTERIOR TRIM	P.T. PINE	SEMI-GLOSS	LATEX	2 COATS MOORCRAFT SUPER HIDE LATEX SEMI-GLOSS ENAMEL (283)	MOORCRAFT SUPER HIDE INTERIOR LATEX PRIMER/UNDERCOATER (284)	SAND/ PRIME/ COAT LIGHTLY	"WHITE DOVE" #OC17	1, 5, 6
GYPSON BOARD	CEILING	MATTE	LATEX	1 COAT BENJAMIN MOORE "AURA BATH & SPA" PAINT (532)	1 COAT BENJAMIN MOORE "AURA BATH & SPA" PRIMER (532)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"WHITE DOVE" #OC17	1, 5, 8
CONCRETE BLOCK	EXTERIOR WALLS	SEMI-GLOSS	LATEX	2 COATS MOORCRAFT SUPER SPEC LATEX HOUSE AND TRIM PAINT (170)	MOORCRAFT SUPER SPEC LATEX EXTERIOR PRIMER (169)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"STONINGTON GRAY"	1, 2, 3
DOORS & FRAMES	FIBERGLASS	FACTORY	GEL-COAT	FACTORY FINISH BY MFR.	FACTORY FINISH BY MFR.	---	WHITE	---
EXT. WOOD FASCIA & TRIM	HARDTRIM/P.T.	MEDIUM GLOSS	LATEX	2 COATS MOORCRAFT SUPER SPEC LATEX HOUSE AND TRIM PAINT (170)	MOORCRAFT SUPER SPEC LATEX EXTERIOR PRIMER (169)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"ICICLE WHITE"	1, 2, 3
CHASE FLOOR	CONCRETE	LOW SHEEN	SILICONE ACRYLIC	BENJAMIN MOORE & CO. CONCRETE WATERPROOFING SEALER (075)	BENJAMIN MOORE & CO. CONCRETE WATERPROOFING SEALER (075)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	GRAY	1, 2, 3

- NOTES:
- BENJAMIN MOORE PAINTS ONLY
 - COLORS TO BE SELECTED BY ARCHITECT & PARK MANAGER
 - APPLY WHEN AIR & SURFACE TEMPERATURES ARE 50 DEGREES F OR HIGHER
 - APPLY AS RECEIVED IN THE CONTAINER WITH A GOOD QUALITY BRUSH OR SHORT-NAP ROLLER
 - APPLY WHEN AIR & SURFACE TEMPERATURES ARE ABOVE 40 DEGREES F & BELOW 85 DEGREES F
 - ADEQUATE VENTILATION IS REQUIRED TO AVOID BUILD-UP OF FUMES. TURN OFF ALL ELECTRIC MOTORS
 - APPLY BY AIRLESS SPRAY, BRUSH, OR SHORT-NAP ROLLER. AIR & SURFACE TEMPERATURES SHALL BE ABOVE 60 DEGREES F OR WHEN HUMIDITY IS BELOW 85%
 - APPLY BY LOW PRESSURE (20 PSI) AIRLESS SPRAY EQUIPMENT OR WITH A HEAVILY SATURATED BRUSH OR ROLLER.



2 DAY USE FLOOR (NOTE) PLAN
SCALE: 1/4"=1'-0"



1 DAY USE FLOOR (DIMENSION) PLAN
SCALE: 1/4"=1'-0"

NOTES:

B.F.E.: 6.0'

(BASE FLOOR ELEVATION - TOP OF FLOOR SLAB @ SPACES 101, 102 & 103)

ISSUE DATE: DECEMBER 2013	REVISION	DATE	REVISION
COMP. FILE NO.: 0921016412	SYMBOL	DATE	REVISION
STATE PROJECT NO.: 60891	SYMBOL	DATE	REVISION
DESIGNER: M.T.L.	SYMBOL	DATE	REVISION
DRAWN BY: W.B.R.	SYMBOL	DATE	REVISION
REVIEWED BY:	SYMBOL	DATE	REVISION
PROFESSIONAL REGISTRATION Martin T. Lott BA LEED AP AR0000716	SYMBOL	DATE	REVISION
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA DAY USE RESTROOM FLOOR PLAN & SCHEDULES CAMPGROUND & DAY USE AREA IMPROVEMENTS			
George F. Young, Inc. Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372 Since 1919			
SHEET NO. A101			

ROOM FINISH SCHEDULE									
ROOM NO	ROOM NAME	FLOOR	WALLS				CEILING		NOTES
			N	S	E	W	MATL	HEIGHT	
100	PORCH	LT BROOM CONC.	SPLIT-FACE CMU	SPLIT-FACE CMU	SPLIT-FACE CMU	SPLIT-FACE CMU	PLYWOOD SOFFIT/BATTENS	9'-4"	Slope flr. to drain (Max. 1/4"/ft)
101	MEN	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
102	MEN H.C.	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
103	UNISEX H.C. TOILET	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
104	WOMEN	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
105	WOMEN H.C.	2"x2" CERAMIC TILE	4 1/4" CERAMIC TILE	PAINT ON "AQUA-TOUGH"	9'-4"	Slope flr. to drain (Max. 1/4"/ft)			
106	CHASE	SEALED CONCRETE	---	---	---	---	EXPOSED TRUSSES	9'-4"	Slope flr. to drain (Max. 1/4"/ft)

DOOR AND FRAME SCHEDULE																	
MARK	DOOR			FRAME				FIRE RATING LABEL	HARDWARE		NOTES						
	WD	HGT	THK	MATL	GLAZING	WD	HGT		MATL	EL		HEAD	JAMB	SILL	SET NO	KEYSIDE RM NO.	
01	3'-0"	7'-0"	1 3/4"	FIBERGLASS	---	0"	0"	F.G.	6/A---	9/A---	8/A---	7/A---	---	1	COVERED ENTRY		
02	3'-0"	7'-0"	1 3/4"	FIBERGLASS	1/2" INSUL. GL.	0"	0"	F.G.	7/A---	12/A---	8/A---	7/A---	---	2	COVERED ENTRY		* TRANSOM OVER DOOR
03	3'-0"	7'-0"	1 3/4"	FIBERGLASS	---	0"	0"	F.G.	8/A---	9/A---	8/A---	7/A---	---	1	COVERED ENTRY		
04	3'-0"	7'-0"	1 3/4"	FIBERGLASS	1/2" INSUL. GL.	0"	0"	F.G.	5/A---	9/A---	8/A---	5IM.7/---	---	3	EXTERIOR	12"x12" FROSTED INSUL. GLASS LIGHT	

WINDOW/LOUVER SCHEDULE						
MARK	SIZE		TYPE	MAT'L	EL.	NOTES
	WIDTH	HEIGHT				
1	3'-4"	5'-8"	FIXED	ALUMINUM	8/A401	HURRICANE RATED GLASS & LOUVER

GENERAL NOTES

UNLESS OTHERWISE NOTED, TOILET AND BATH ACCESSORIES ARE FROM "A AND J WASHROOM ACCESSORIES" (845-562-3332) TO INDICATE TYPE, MATERIAL, AND QUALITY OF ACCESSORY. OTHER MANUFACTURERS ARE ACCEPTABLE IF EQUAL AND APPROVED.

DOOR HARDWARE IS FROM "GRANGER GENERAL" CATALOG, LATEST EDITION. MANUFACTURER CHANGES WILL BE DEPARTMENT APPROVED EQUAL ONLY.

HARDWARE SCHEDULE					
SET #	ITEM	DESCRIPTION	SIZE	FINISH	MFR/ MODEL #
1	X	HINGES	1 1/2" PAIR BUTTS, FULL MORTISE, HEAVY WEIGHT BALL BEARING	4 1/2 x 4 1/2	US26D / 626 STANLEY FBB168 / 06-1676
2	X	DEADBOLT	CYLINDRICAL DEADBOLT, KEYPED TO EXISTING PARK SYSTEM	---	US26D / 626 YALE 3522B (GRANGER 51714)
3	X	LOCKSET	HEAVY-DUTY CYLINDRICAL LOCKSET, CLASSROOM FUNCTION, BARRIER FREE	---	US26D / 626 YALE PB402LN (GRANGER 32955)
4	X	LOCKSET	HEAVY-DUTY, CYL. LOCKSET, STOREROOM FUNCTION (KEYED TO PARK SYSTEM)	---	US26D / 626 YALE PB405 (GRANGER 32957)
5	X	PUSH PLATE	CHROME PLATED STEEL PUSH PLATE WITH TAMPER PROOF SCREWS	4" x 16" x .050"	US26D / 626 TRIDENT (GRANGER 5U633)
6	X	DOOR PULL	CHROME PLATED STEEL PLATE WITH A.D.A. APPROVED PULL - A.D.A. MNT. HT.	4" x 16" x .050"	US26D / 626 TRIDENT (GRANGER 5U640)
7	X	KICK PLATE	STAINLESS STEEL KICK PLATE - INSTALL BOTH SIDES OF DOOR	8" x 40" x .050"	US32D / 630 TRIDENT (GRANGER 5U657)
8	X	DOOR HOLDER	RUBBER FOOT STOP, STAINLESS STEEL SPRING RELEASE	4"	US26D / 626 TRIDENT (GRANGER 5U618)
9	X	DOOR CLOSER	HYDRAULIC DOOR CLOSER, 13" L X 2 3/4" W X 2 3/4" H, BARRIER FREE	13" L X 2 3/4" W X 2 3/4" H	ALUMINUM NORTON 83018F
10	X	THRESHOLD	SADDLE TYPE ALUMINUM THRESHOLD, 3" HIGH X 5" WIDE X 36" LONG	5" x 36"	ALUMINUM NATIONAL GUARD # 425

ACCESSORY SCHEDULE					
MARK	ITEM	DESCRIPTION	MOUNTING HT.	MFR/MODEL	REMARKS
A	MIRROR	1/4" PLATE GLASS - TYPE 304 #18 GAUGE STAINLESS STEEL FRAME, BRIGHT FINISH	40" TO BOTTOM	A&J U700 24 X 36	INSTALL AS PER MFR. REC. W/ CONCEALED WALL HANGER, 15 YR. SILVER SPOILAGE GUARANTEE
B	GRAB BAR - 36"(B1) OR 36"(B2), OR 48"(B3)	CONCEALED TYPE GRAB BAR, 1 1/2" O.D. DIAMETER, TYPE 304 S.S. SATIN FINISH, 18 GA. W/ 3" DIA. FLANGE, 1" DEEP, 1 1/2" W/ TAMPER-RES. SET SCREWS	TOP @ 36" A.F.F.	A&J U530 X 30"/36"/42"	INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS
C	BULLETIN BOARD	SURFACE-MOUNTED ALUMINUM ENCLOSED BULLETIN BOARD W/ LOCKABLE ACRYLIC DOOR - 48" W X 36" H X 3" D	TOP AT +7'-0"	BI-OFFICE VT640103727	INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS (CAULK AT EDGES)
D	PAPER TOWEL DISPENSER/DISPOSAL	SURFACE-MOUNTED WALL UNIT (14.25" W X 48" H X 4.25" D)	TOP AT 60" A.F.F. (DISPENSE @ +42") 19" MIN. A.F.F.	A&J U640-SM	INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS
E	TOILET PAPER DISPENSER	SURFACE-MOUNTED DOUBLE ROLL DISPENSER	TO BOTTOM OF DISPENSER	GEORGIA-PACIFIC #59209	INSTALL AS PER MFR. REC. (INSTALL 36" MAX. FROM BACK WALL & AVOID CONFLICT W/ DOOR)
F	BABY CHANGING STATION	SURFACE-MOUNTED UNIT (HORIZONTAL) HIGH IMPACT POLYETHYLENE	CHANGING SURFACE 33" A.F.F. (WHEN OPEN)	A&J U945H	INSTALL AS PER MFR. RECOMMENDATIONS UNIT: 35" W X 20" H X 4" D (WHITE)
G	SANITARY NAPKIN DISPOSAL	SURFACE-MOUNTED, TYPE 304 STAINLESS STEEL - SATIN FINISH (2 GALLON CAPACITY)	TOP @ +28" A.F.F.	A&J U591	INSTALL AS PER MFR. RECOMMENDATIONS
H	SOAP DISPENSER	WALL MOUNTED LIQUID SOAP DISPENSER - PLASTIC (8" H X 5 1/2" W X 4-3/4" D)	SPOUT 40" A.F.F.	PRIDE #9320	INSTALL AS PER MFR. RECOMMENDATIONS
J	SHOWER VOUCHAIN ROD & FLANGE	RODS - TYPE 304 #18 GA. S.S. 1 1/4" DIAMETER, RINGS - STAINLESS STEEL, CURTAIN - FLAME RESISTANT, ANTIBACTERIAL, SELF-DEODORIZING	6'-6" A.F.F.	ROD: UX2-H, RINGS: UX169, CURTAIN: 250A	INSTALL AS PER MFR. RECOMMENDATIONS
K	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
L	SOAP DISH/ GRAB BAR	SEMI-RECESSED SOAP DISH, #18 GA. STAINLESS STEEL W/ BAR	36" A.F.F. TO BOTT. (ADA)	A&J UX81M-A	INSTALL AS PER MFR. RECOMMENDATIONS
M	S.S. ACCESS DOOR	LOCKABLE, TYPE 304 STAINLESS STEEL SATIN FINISH	POSITION SO THAT VALVE IS IN CENTER OF DOOR	WB-GP PREMIUM WILLIAMS BROS. CORP. KIDDE ABC #21005785	INSTALL AS PER MFR. RECOMMENDATIONS
N	DRY CHEMICAL FIRE EXTINGUISHER	20# ABC FIRE EXTINGUISHER IN RECESSED CABINET	TOP @ 4'-0" A.F.F.	---	INSTALL AS PER MFR. RECOMMENDATIONS
P	CHILD PROTECTION SEAT	SURFACE-MOUNTED A.B.S. PLASTIC WITH SAFETY STRAPS (150#STATIC LOAD)	BOTTOM OF UNIT 14" A.F.F.	A&J U946	INSTALL AS PER MFR. RECOMMENDATIONS
Q	SECURITY HOOK STRIP	SURFACE-MOUNTED S.S. HOOK STRIP (TYPE 304 #14 GAUGE S.S.) W/ 1" OR 4" PIVOTING BALL JOINT COLLAPSIBLE HOOKS - 4" W OR 18" W X 5 1/2" H	4'-0" A.F.F.	A&J U518 OR U540	INSTALL AS PER MFR. RECOMMENDATIONS

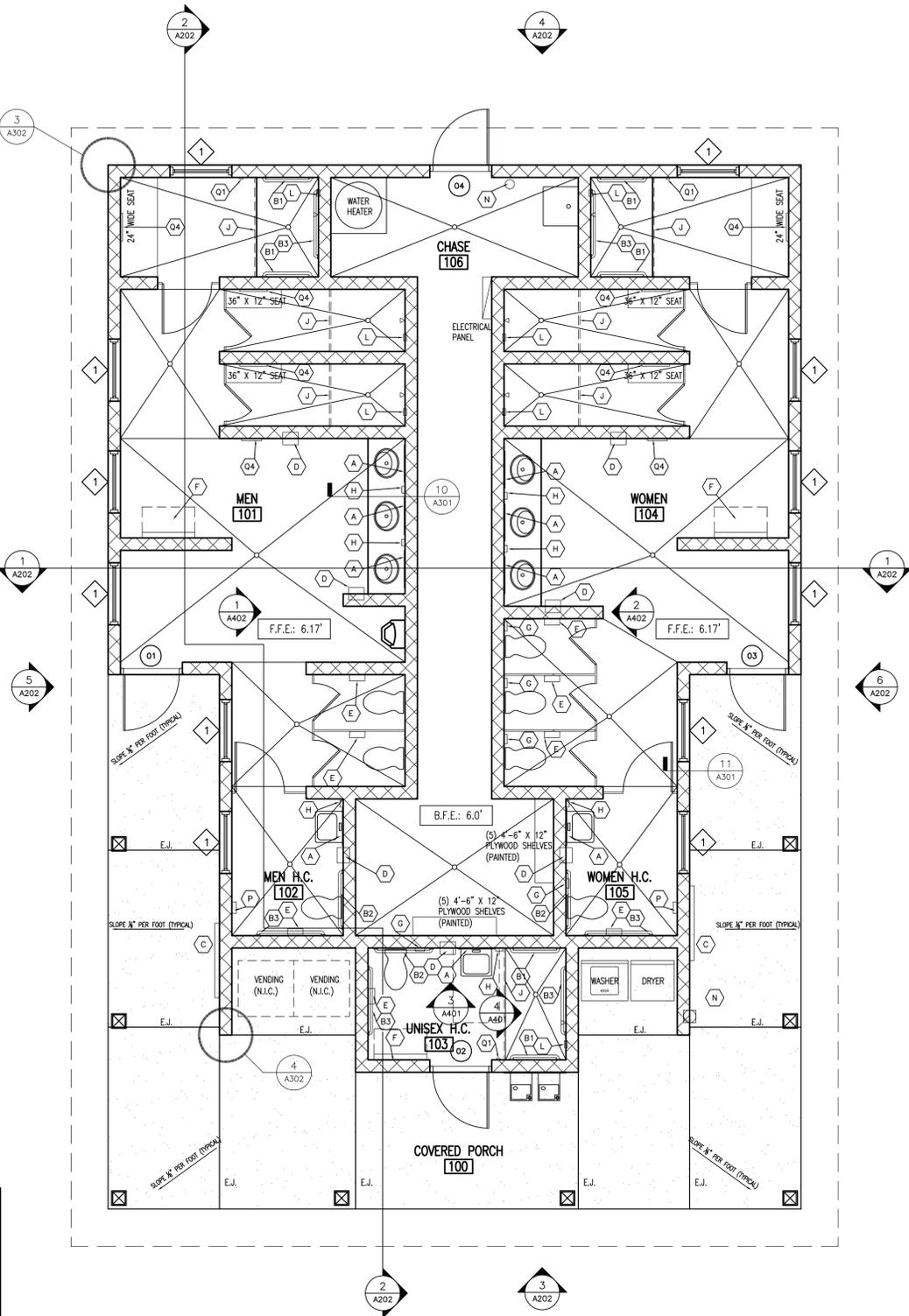
COATING SYSTEMS SCHEDULE								
MATERIAL	SURFACES	FINISH	TYPE	FINISH COAT	PRIMER	SURF. PREP/ CLEANING	COLORS	NOTES
INTERIOR TRIM	P.T. PINE	SEMI-GLOSS	LATEX	2 COATS MOORCRAFT SUPER HIDE LATEX SEMI-GLOSS ENAMEL (283)	MOORCRAFT SUPER HIDE INTERIOR LATEX PRIMER/UNDERCOATER (284)	SAND/ PRIME/ COAT LIGHTLY	"WHITE DOVE" #OC17	1, 5, 6
GYPNUM BOARD	CEILINGS	MATTE	LATEX	1 COAT BENJAMIN MOORE "AURA BATH & SPA" PAINT (532)	1 COAT BENJAMIN MOORE "AURA BATH & SPA" PAINT (532)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"WHITE DOVE" #OC17	1, 5, 8
CONCRETE BLOCK	EXTERIOR WALLS	SEMI-GLOSS	LATEX	2 COATS MOORCRAFT SUPER SPEC LATEX HOUSE AND TRIM PAINT (170)	MOORCRAFT SUPER SPEC LATEX EXTERIOR PRIMER (169)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"STONINGTON GRAY"	1, 2, 3
DOORS & FRAMES	FIBERGLASS	FACTORY	GEL-COAT	FACTORY FINISH BY MFR.	FACTORY FINISH BY MFR.	---	WHITE	---
EXT. WOOD FASCIA, COLUMNS, & TRIM	HARDTRIM/P.T.	MEDIUM GLOSS	LATEX	2 COATS MOORCRAFT SUPER SPEC LATEX HOUSE AND TRIM PAINT (170)	MOORCRAFT SUPER SPEC LATEX EXTERIOR PRIMER (169)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	"ICICLE WHITE"	1, 2, 3
CHASE FLOOR	CONCRETE	LOW SHEEN	SILICONE ACRYLIC	BENJAMIN MOORE & CO. CONCRETE WATERPROOFING SEALER (075)	BENJAMIN MOORE & CO. CONCRETE WATERPROOFING SEALER (075)	REMOVE ALL DUST & DIRT FOR SMOOTH SURF.	GRAY	1, 2, 3

- NOTES:**
- BENJAMIN MOORE PAINTS ONLY
 - COLORS TO BE SELECTED BY ARCHITECT & PARK MANAGER
 - APPLY WHEN AIR & SURFACE TEMPERATURES ARE 50 DEGREES F OR HIGHER
 - APPLY AS RECEIVED IN THE CONTAINER WITH A GOOD QUALITY BRUSH OR SHORT-NAP ROLLER
 - APPLY WHEN AIR & SURFACE TEMPERATURES ARE ABOVE 40 DEGREES F & BELOW 85 DEGREES F
 - ADEQUATE VENTILATION IS REQUIRED TO AVOID BUILD-UP OF FUMES. TURN OFF ALL ELECTRIC MOTORS
 - APPLY BY AIRLESS SPRAY, BRUSH, OR SHORT-NAP ROLLER. AIR & SURFACE TEMPERATURES SHALL BE ABOVE 60 DEGREES F OR WHEN HUMIDITY IS BELOW 85%
 - APPLY BY LOW PRESSURE (20 PSI) AIRLESS SPRAY EQUIPMENT OR WITH A HEAVILY SATURATED BRUSH OR ROLLER.

NOTES:

B.F.E.: 6.0' (BASE FLOOR ELEVATION - TOP OF FLOOR SLAB @ SPACES 101, 102, 103, 104 105 & 106)

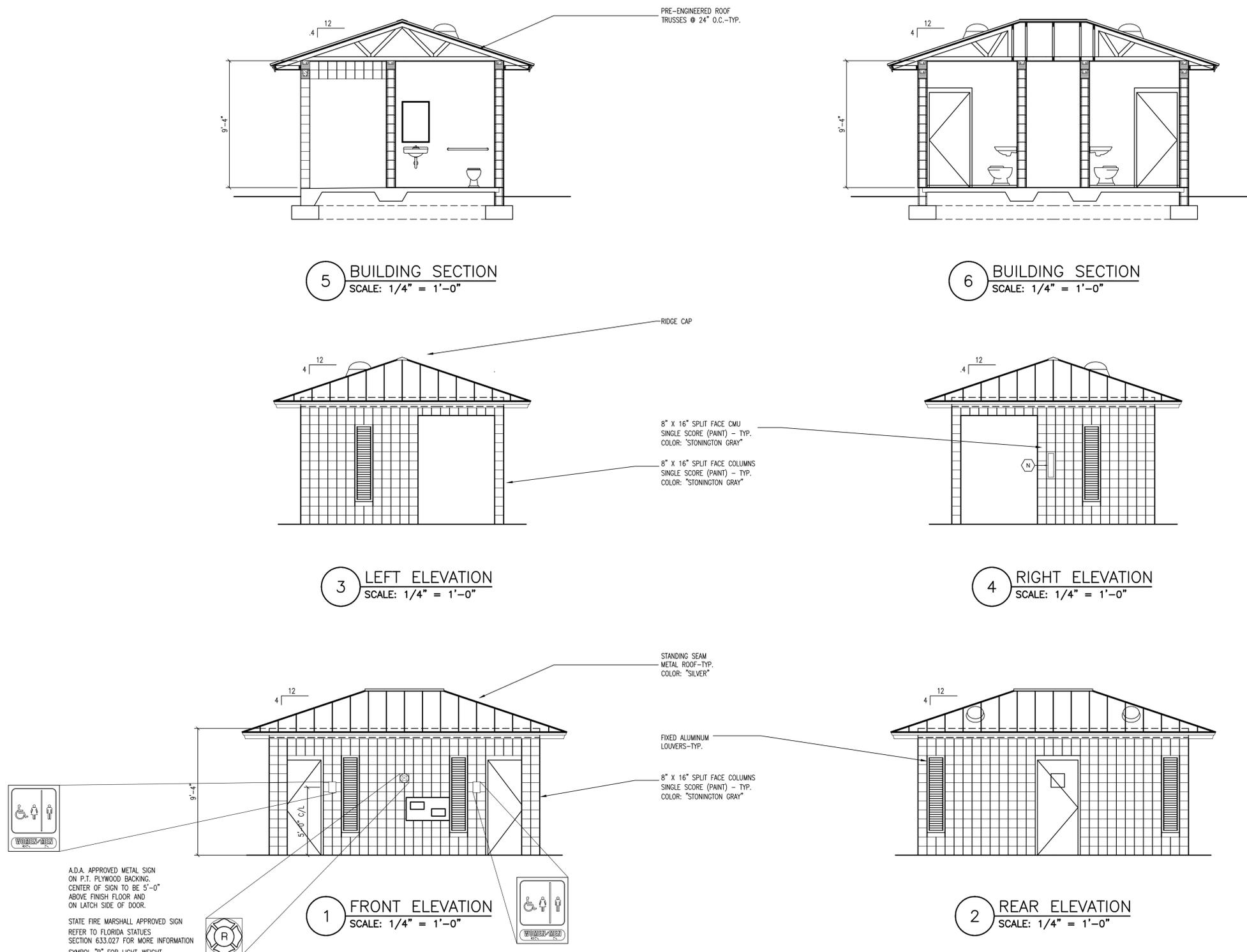
F.F.E.: 6.17' (FINISH FLOOR ELEVATION - TOP OF FLOOR SLAB (DOES NOT INCLUDE FLOOR FINISH) @ DOORS - SPACES 101, 102, 103, 104 105) NOT 106



1 BATHHOUSE FLOOR (NOTE) PLAN
SCALE: 1/4"=1'-0"

ISSUE DATE: DECEMBER 2013	REVISION	DATE	REVISION
COMP. FILE No.: 0921016412	SYMBOL	DATE	REVISION
STATE PROJECT No.: 60891	SYMBOL	DATE	REVISION
DESIGNER: M.T.L.	SYMBOL	DATE	REVISION
DRAWN BY: W.B.R.	SYMBOL	DATE	REVISION
REVIEWED BY:	SYMBOL	DATE	REVISION
CONSULTANT:	SYMBOL	DATE	REVISION
PROFESSIONAL REGISTRATION Martin T. Lott BA LEED AP AR0006716	SYMBOL	DATE	REVISION
SHEET TITLE BATHHOUSE			
PROJECT TITLE FLOOR NOTE PLAN & SCHEDULES			
PROJECT TITLE CAMPGROUND & DAY USE AREA IMPROVEMENTS			
SHEET NO. A102			

Department of Environmental Protection
Division of Recreation and Parks
Bureau of Design and Construction
3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372



A.D.A. APPROVED METAL SIGN ON P.T. PLYWOOD BACKING, CENTER OF SIGN TO BE 5'-0" ABOVE FINISH FLOOR AND ON LATCH SIDE OF DOOR.

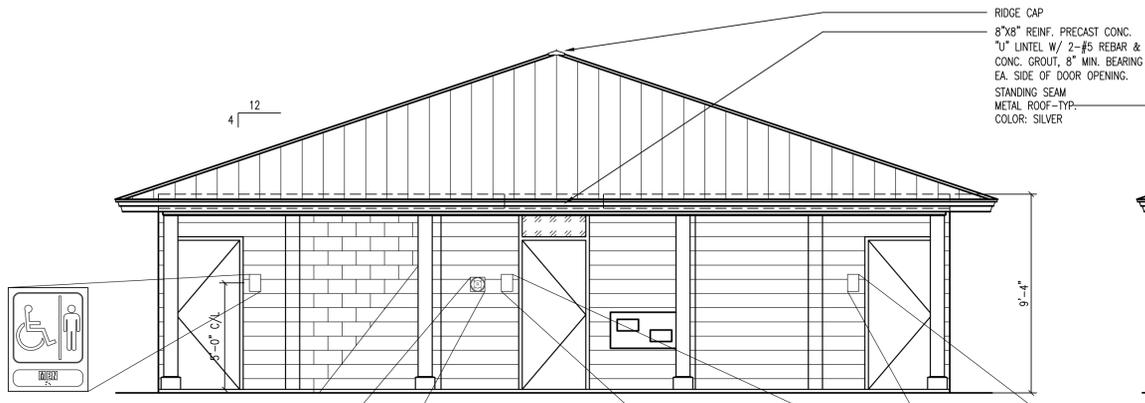
STATE FIRE MARSHALL APPROVED SIGN REFER TO FLORIDA STATUTES SECTION 633.027 FOR MORE INFORMATION

SYMBOL "R" FOR LIGHT-WEIGHT ROOF FOR THIS BUILDING

MALTESE CROSS W/ BRIGHT RED REFLECTIVE COLOR ON 0.08" THK ALUMINUM PLATE W/ 4- SS SCREWS & ANCHORS

TOP OF SIGN MOUNTED 6" AFF. MAX & WITHIN 24" OF DOOR

PROFESSIONAL REGISTRATION Martin T. Lott BA LEED AP AR0000716	DESIGNER : M.T.L. DRAWN BY : W.B.R. REVIEWED BY :	ISSUE DATE: DECEMBER 2013 COMP. FILE No.: 0921016412 STATE PROJECT No.: 60891	SYMBOL A B C D	REVISION	DATE
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA DAY USE RESTROOM ELEVATIONS CAMPGROUND & DAY USE AREA IMPROVEMENTS		George F. Young, Inc. Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372 Since 1919			
SHEET NO.		A201			



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

A.D.A. APPROVED METAL SIGN ON P.T. PLYWOOD BACKING. CENTER OF SIGN TO BE 5'-0" ABOVE FINISH FLOOR AND ON LATCH SIDE OF DOOR.

STATE FIRE MARSHALL APPROVED SIGN REFER TO FLORIDA STATUTES SECTION 633.027 FOR MORE INFORMATION. SYMBOL "R" FOR LIGHT-WEIGHT ROOF FOR THIS BUILDING. MALTESE CROSS W/ BRIGHT RED REFLECTIVE COLOR ON 0.06" THK ALUMINUM PLATE W/ 4- SS SCREWS & ANCHORS. TOP OF SIGN MOUNTED 6" AFF. MAX & WITHIN 24" OF DOOR.



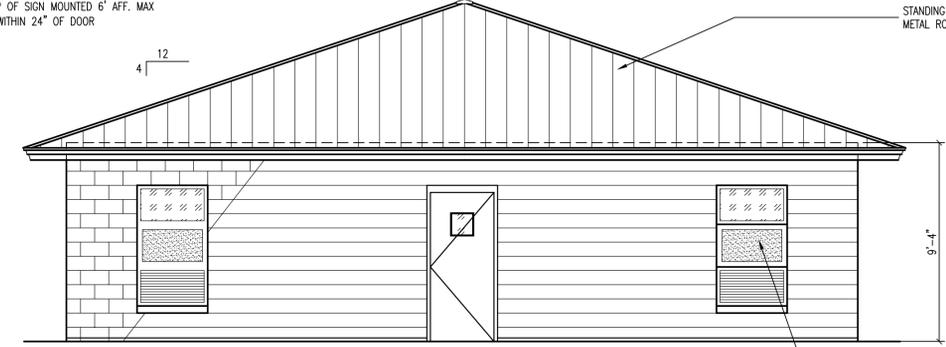
8"X8" REINF. PRECAST CONC. 7" LINTEL W/ 2-#5 REBAR & CONC. GROUT, 8" MIN. BEARING EA. SIDE OF DOOR OPENING.

STANDING SEAM METAL ROOF-TYP. COLOR: SILVER

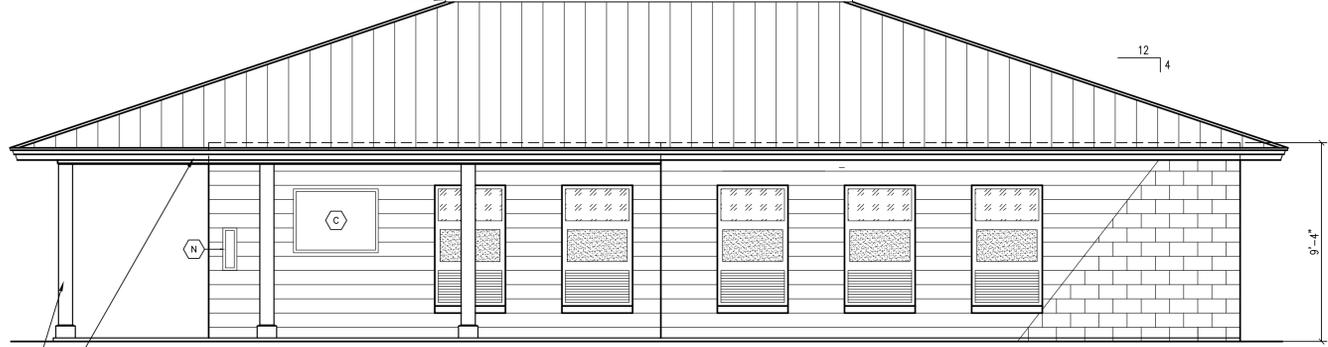
SPLIT-FACE CONCRETE BLOCK (PAINT)-TYP. COLOR: STONINGTON GRAY

RIDGE CAP

STANDING SEAM METAL ROOF-TYP.



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



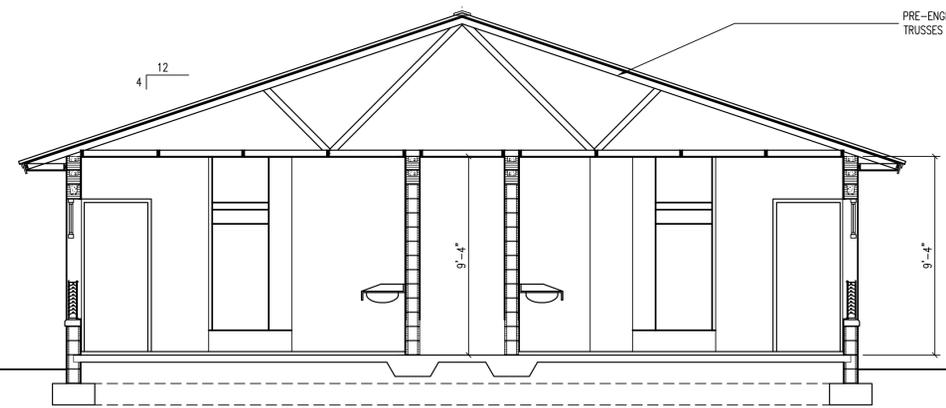
4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

8" X 8" P.T. COLUMN (PAINT) - TYP.

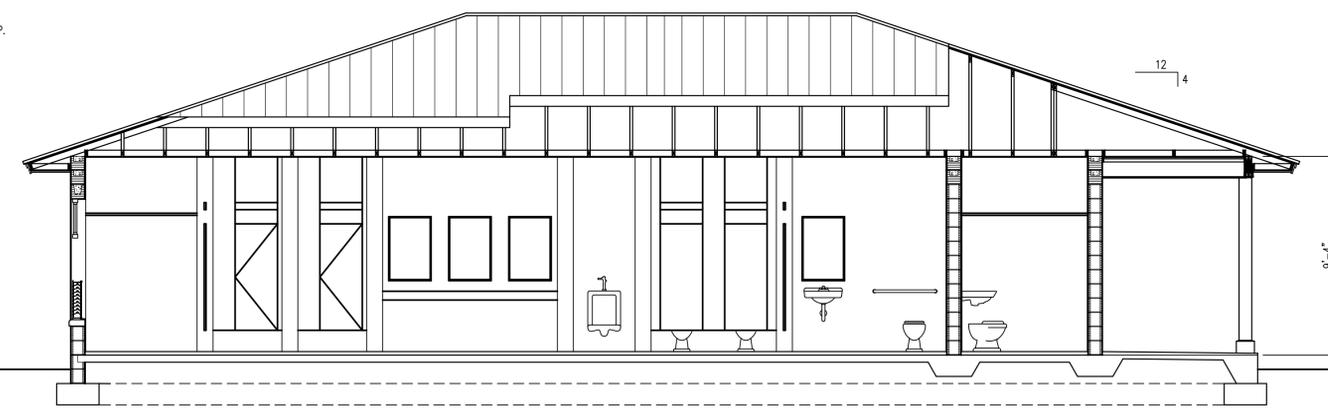
"HARDIE" TRIM (PAINT) - TYP. COLOR: ICICLE WHITE

FIXED ALUMINUM WINDOW W/ FROSTED GLASS & LOUVERS BELOW-TYP.

PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.-TYP.



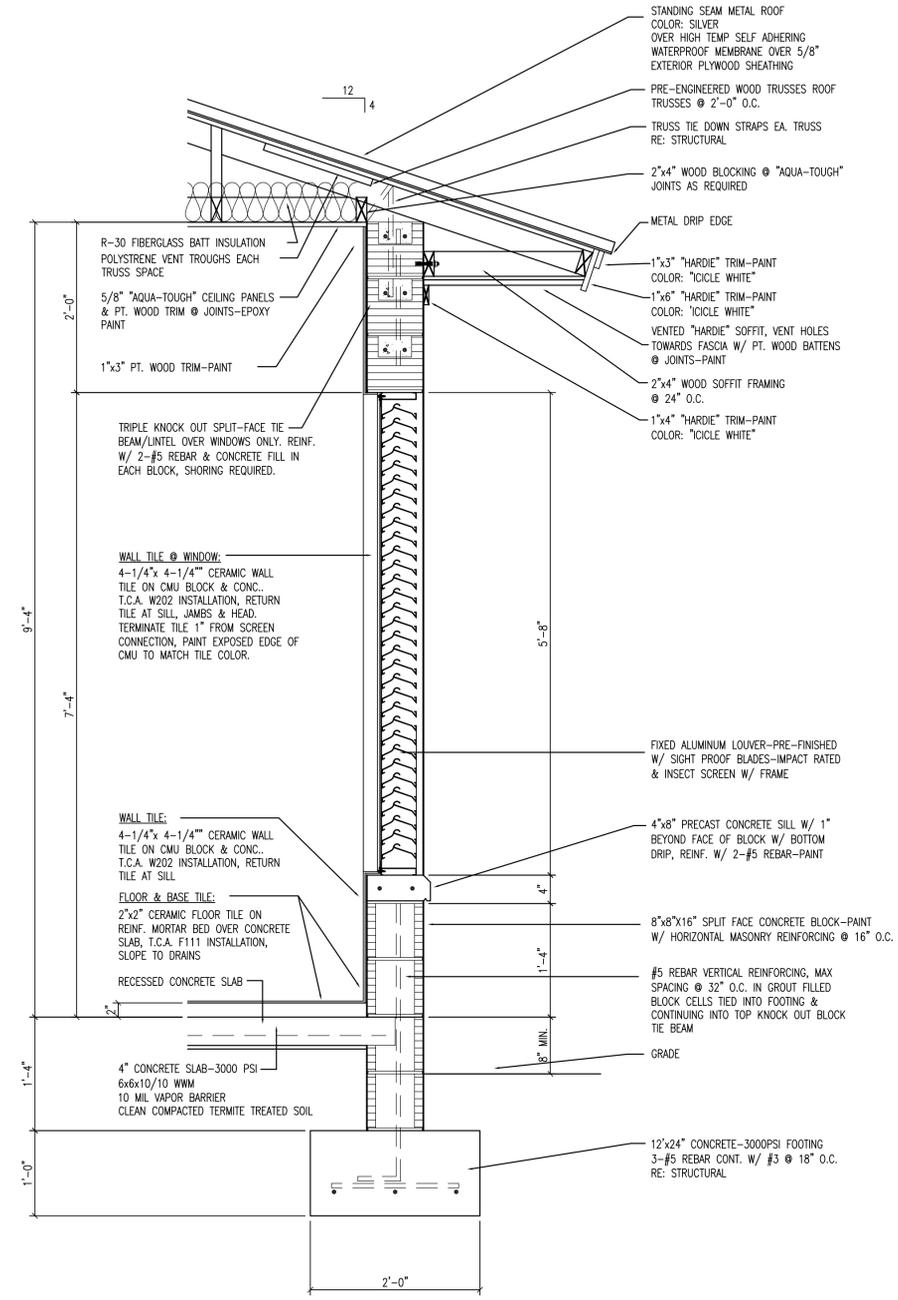
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

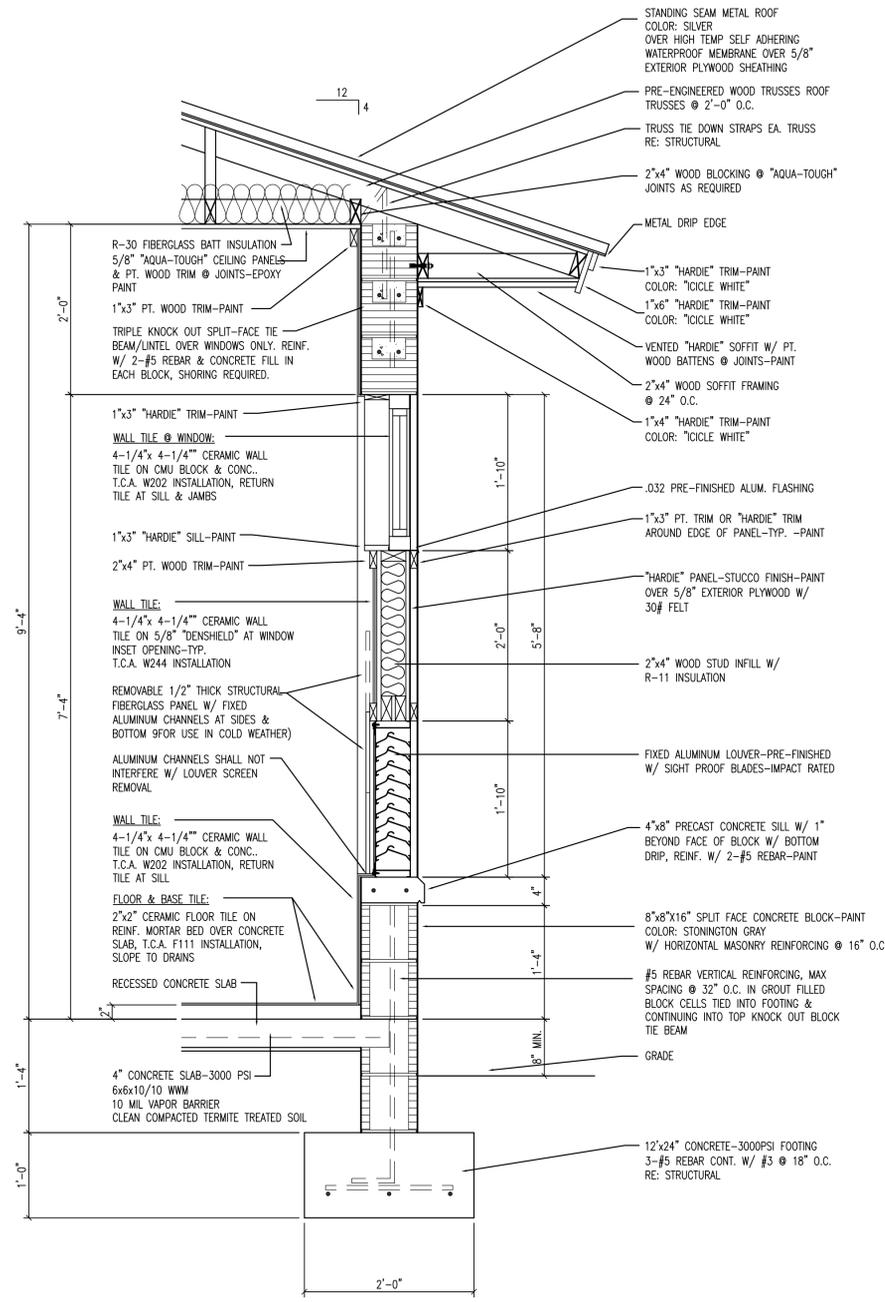
ISSUE DATE: DECEMBER 2013	REVISION	DATE	SYMBOL	REVISION	DATE
COMP. FILE No.: 0921016412			A		
STATE PROJECT No.: 60891			B		
DESIGNER: M.T.L.	REVIEWED BY:				
DRAWN BY: W.B.R.					
CONSULTANT: George F. Young, Inc.					
1902 SOUTH MAIN STREET, GAINESVILLE, FLORIDA 32601					
PHONE (352) 382-1111 FAX (352) 382-1112					
ENGINEERING: ENVIRONMENTAL LANDSCAPE PLANNING: SURVEYING UTILITIES					
Since 1919					
PROFESSIONAL REGISTRATION					
Martin T. Lott BA LEED AP					
AR0006716					
SHEET TITLE	BATHHOUSE				
PROJECT TITLE	ELEVATIONS				
	CAMPGROUND & DAY USE				
	AREA IMPROVEMENTS				
SHEET NO.	A202				

Department of Environmental Protection
Division of Recreation and Parks
Bureau of Design and Construction
3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372

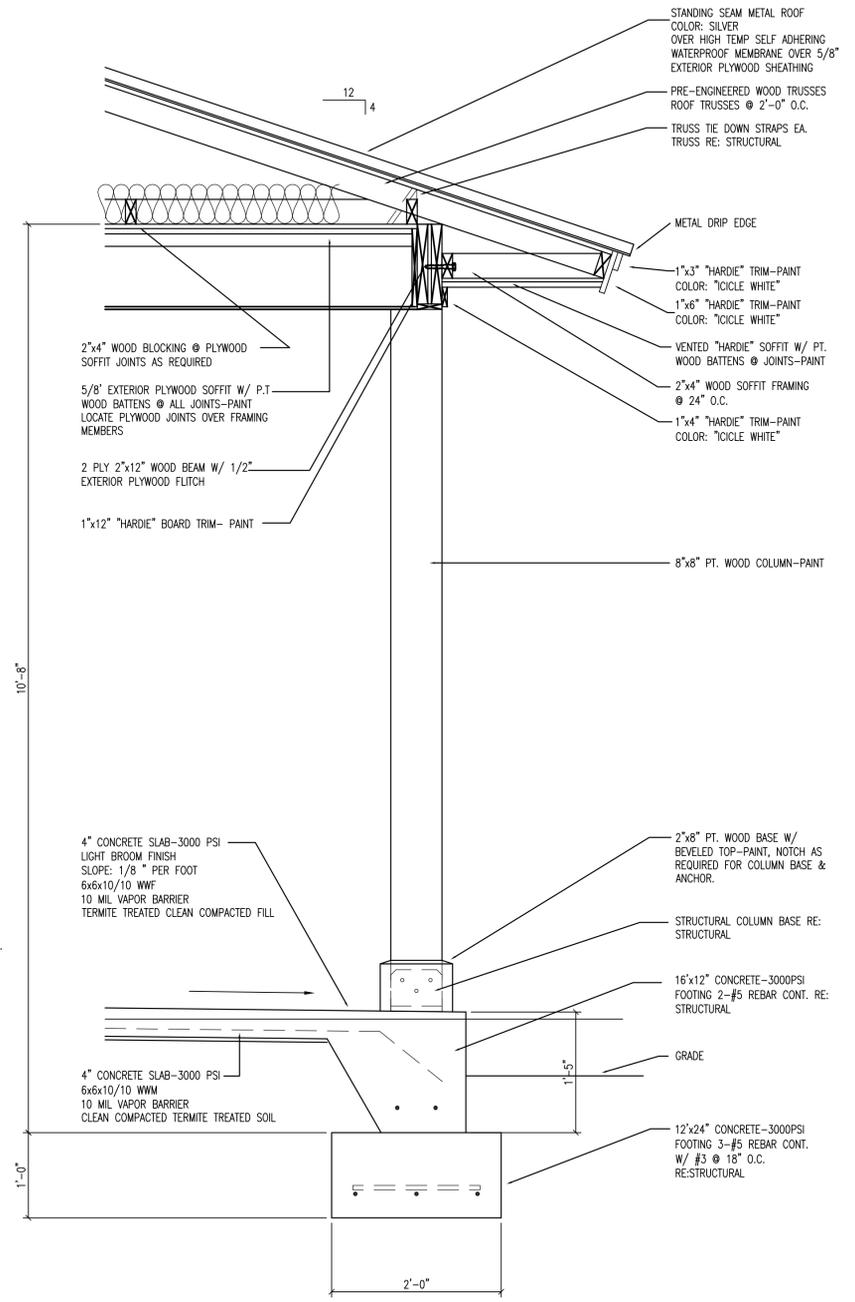


1 WALL SECTION
SCALE: 1" = 1'-0"

GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		ISSUE DATE: DECEMBER 2013	REVISION	DATE
DAY USE RESTROOM		COMP. FILE No.: 0921016412	REVISION	DATE
SECTIONS & DETAILS		STATE PROJECT No.: 60891	SYMBOL	SYMBOL
CAMPGROUND & DAY USE		DESIGNER: M.T.L.	SYMBOL	SYMBOL
AREA IMPROVEMENTS		DRAWN BY: W.B.R.	SYMBOL	SYMBOL
SHEET TITLE		REVIEWED BY:	SYMBOL	SYMBOL
PROJECT TITLE		CONSULTANT:	SYMBOL	SYMBOL
SHEET NO.		George F. Young, Inc. Department of Environmental Protection Division of Recreation and Parks Bureau of Design and Construction 3540 Thomasville Rd., Tallahassee, FL 32309 (850) 488-5372 Since 1919		
A301		PROFESSIONAL REGISTRATION Martin T. Lott BA LEED AP AR0006716		



2 WALL SECTION
SCALE: 1" = 1'-0"



1 WALL SECTION
SCALE: 1" = 1'-0"

SHEET NO.		DATE	
A302		REVISION	
PROJECT TITLE		SYMBOL	
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		C	
BATHHOUSE		D	
SECTIONS & DETAILS		DATE	
CAMPGROUND & DAY USE		REVISION	
AREA IMPROVEMENTS		SYMBOL	
SHEET TITLE		A	
PROJECT TITLE		B	
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		ISSUE DATE: DECEMBER 2013	
BATHHOUSE		COMP. FILE NO.: 0921016412	
SECTIONS & DETAILS		STATE PROJECT NO.: 60891	
CAMPGROUND & DAY USE		DESIGNER: M.T.L.	
AREA IMPROVEMENTS		DRAWN BY: W.B.R.	
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		REVIEWED BY:	
BATHHOUSE		CONSULTANT:	
SECTIONS & DETAILS		George F. Young, Inc.	
CAMPGROUND & DAY USE		1905 SOUTH MAIN STREET, GAINESVILLE, FLORIDA, 32601	
AREA IMPROVEMENTS		PHONE (352) 352-1111 FAX (352) 372-2502	
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		ENGINEERING: ENVIRONMENTAL LANDSCAPE PLANNING SERVICES UTILITIES	
BATHHOUSE		Since 1919	
SECTIONS & DETAILS		Department of Environmental Protection	
CAMPGROUND & DAY USE		Division of Recreation and Parks	
AREA IMPROVEMENTS		Bureau of Design and Construction	
GAMBLE RODGERS MEMORIAL STATE RECREATION AREA		3540 Thomassville Rd., Tallahassee, FL 32309 (850) 488-5372	

Traffic Impact Statement for:

**Gamble Rogers Memorial State Recreation Area –
Campground and Day Use Area Improvements
City of Flagler Beach, Florida**

Submitted to:

City of Flagler Beach

Prepared for:

**Florida Department of Environmental Protection
3900 Commonwealth Blvd., MS520
Tallahassee, Florida 32399**

Prepared by:

 **George F Young, Inc.**
E.B. No. 0000021
1905 South Main Street
Gainesville, FL 32601
Phone: 352-378-1444
Fax: 352-372-2502

January 15, 2014

Project Number: 0921016412

NARRATIVE

Gamble Rogers has an existing campground of 32 RV sites on the beach side of A1A, and a small day use and boat launching area on the intercoastal side of the park. The park is proposing 30 RV sites and 4 tent camp sites on the intercoastal side.

Based on current data from park staff, the vehicle daily trips into the park are approximately 20-25 trips. They estimate that approximately 15 of these trips are for the day use area, and 10 of these trips are for the existing RV campground. The peak trips usually occur on PM hours on Fridays and weekends.

George F. Young, Inc prepared a trip generation calculation based on the Institute of Transportation Engineers (ITE), 7th Edition, and the calculations can be found at the end of this report. The calculations show peak trips in the PM hours and total 18 trips. This correlates with park staff estimates based on doubling the number of camp sites which would be approximately 20 trips to the RV campgrounds.

The trips expected from this park do not generate enough traffic to require any additional turn lanes or deceleration lanes. The speed limit on A1A at the site is 45 miles per hour. Vehicles are expected to be able to access the park without any significant backup. The project improvements provide for an expanded lane access adjacent to the ranger station with an additional bypass lane if needed. These improvements will provide sufficient space on site so that backup does not occur on A1A.

PROJECT NAME: Gamble Rogers Memorial State Recreation Area - Campground & Day Use Area Improvements
PROJECT No.: 0921016412
FILE PATH: I:\project\eng\2013\0921016412 FDEP_Gamble Rogers at Flagler Beach\DOC\Permits\City\CALC-0921016412-ITE Trips-140114.xls\Sheet1

DATE: 1/16/14
TIME: 10:30 AM

Existing Estimated Trips

Land Use	Land Use #	# Camp Sites	Avg Rate*	ADT	AM Avg Rate	AM % in	AM % out	Peak AM in	Peak AM out	PM Avg Rate	PM % in	PM % out	Peak PM in	Peak PM out
Campground/Recreational Vehicle Park	416	32	1.06	34	0.22	42	58	3	5	0.41	62	38	9	5

Proposed Estimated Trips

Land Use	Land Use #	# Camp Sites	Avg Rate*	ADT	AM Avg Rate	AM % in	AM % out	Peak AM in	Peak AM out	PM Avg Rate	PM % in	PM % out	Peak PM in	Peak PM out
Campground/Recreational Vehicle Park	416	34	1.06	37	0.22	42	58	4	5	0.41	62	38	9	6

Summary of Existing and Proposed

Use	ADT	Peak AM In	Peak AM Out	Peak PM In	Peak PM Out
Existing Estimated Trips	34	3	5	9	5
Proposed Estimated Trips	37	4	5	9	6
Total	71	7	10	18	11

*No average daily rate was given for Campground/Recreation Vehicle Parks so the largest rate given on page 670 of the Trip Generation, 7th Editions was used.

Land Use: 416

Campground/Recreational Vehicle Park

Independent Variables with One Observation

The following trip generation data are for independent variables with only one observation. This information is shown in this table only; there are no related plots for these data.

Users are cautioned to use data with care because of the small sample size.

<u>Independent Variable</u>	<u>Trip Generation Rate</u>	<u>Size of Independent Variable</u>	<u>Number of Studies</u>	<u>Directional Distribution</u>
Acres				
Weekday a.m. Peak Hour of Adjacent Street Traffic	0.48	50	1	42% entering, 58% exiting
Weekday p.m. Peak Hour of Adjacent Street Traffic	0.98	50	1	69% entering, 31% exiting
Weekday a.m. Peak Hour of Generator	0.52	50	1	42% entering, 58% exiting
Weekday p.m. Peak Hour of Generator	1.06	50	1	62% entering, 38% exiting

Campground/Recreational Vehicle Park (416)

Average Vehicle Trip Ends vs: Occupied Camp Sites
On a: Weekday,
A.M. Peak Hour of Generator

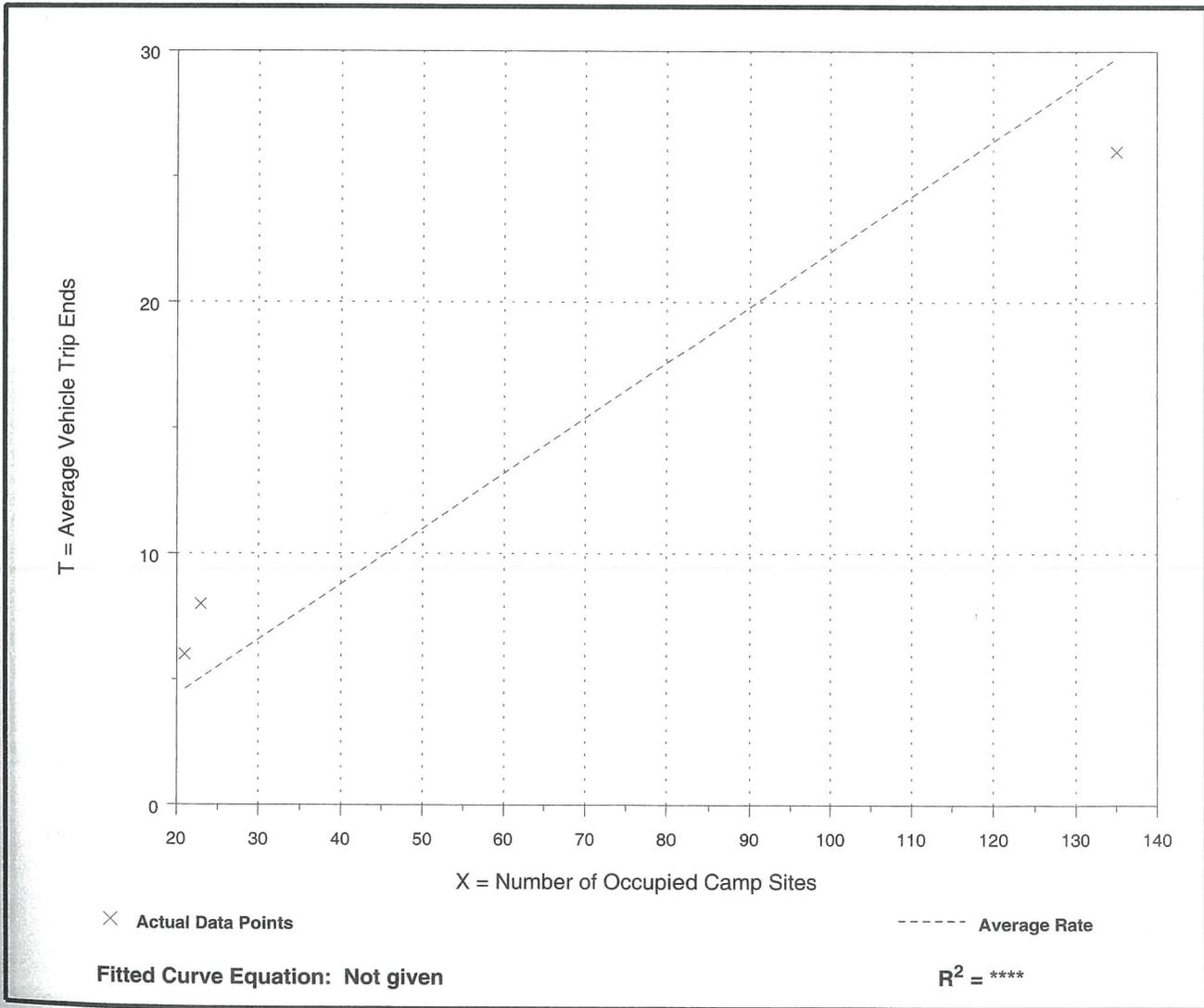
Number of Studies: 3
 Average Number of Occupied Camp Sites: 60
 Directional Distribution: 42% entering, 58% exiting

Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.22	0.19 - 0.35	0.47

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Campground/Recreational Vehicle Park (416)

Average Vehicle Trip Ends vs: Occupied Camp Sites
On a: Weekday,
P.M. Peak Hour of Generator

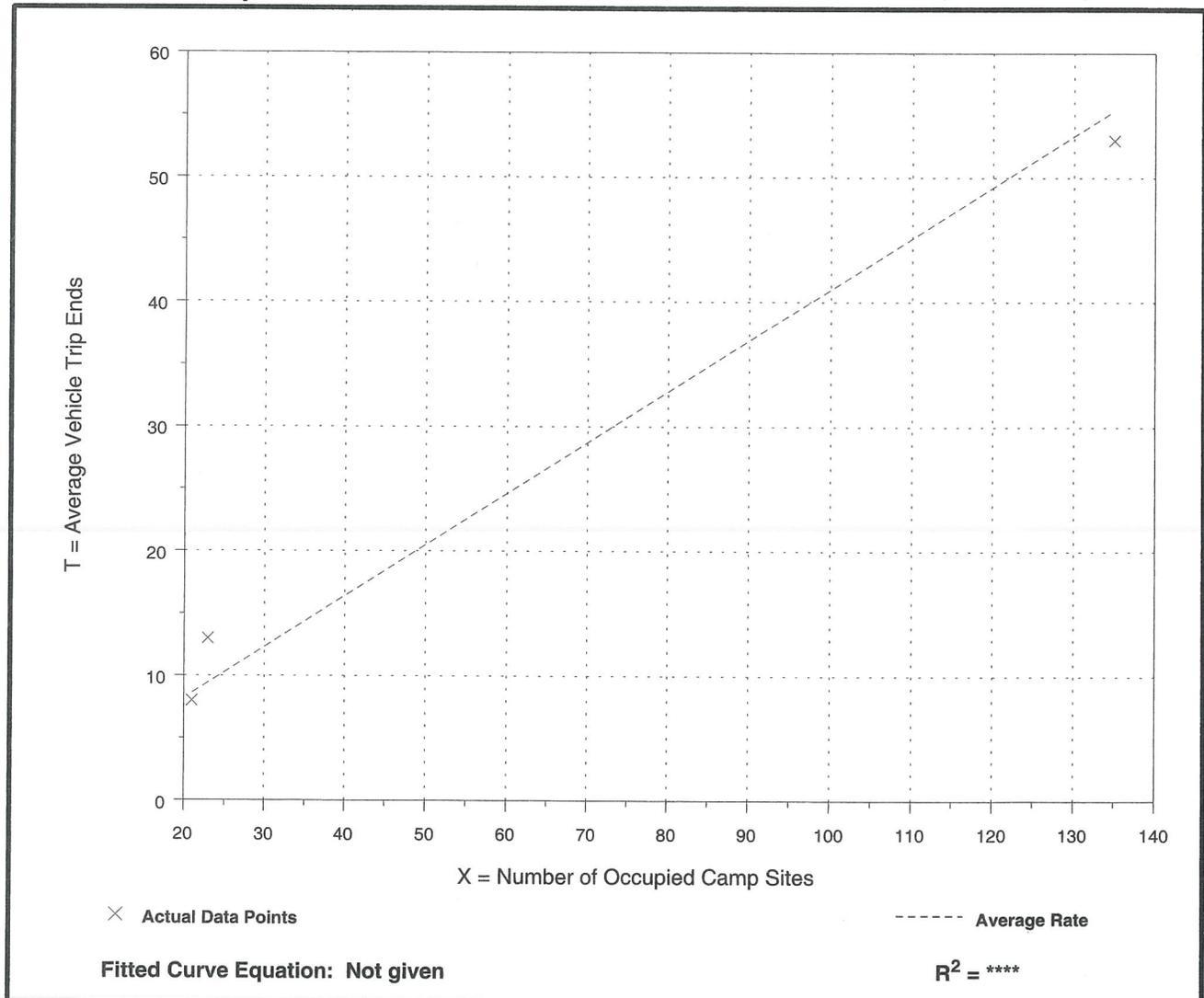
Number of Studies: 3
 Average Number of Occupied Camp Sites: 60
 Directional Distribution: 62% entering, 38% exiting

Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.41	0.38 - 0.57	0.64

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



ORDINANCE 2014-04

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, FLORIDA, AMENDING APPENDIX A, LAND DEVELOPMENT REGULATIONS, ARTICLE IV RESOURCE PROTECTION STANDARDS, SECTION 4.05.00 FLOOD DAMAGE PREVENTION; SECTION 4.05.05 DEFINITIONS, SECTION 4.05.07 BASIS FOR ESTABLISHING THE AREAS OF SPECIAL FLOOD HAZARD, SECTION 4.05.27 DUTIES AND RESPONSIBILITIES, TO INCORPORATE SPECIFIC LANGUAGE AS REQUIRED BY THE FLORIDA DEPARTMENT OF EMERGENCY MANAGEMENT; PROVIDING FOR CODIFICATION, CONFLICT, SEVERABILITY, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Federal Emergency Management Agency (FEMA) has revised the Flood Insurance Study and Flood Insurance Rate Maps (FIRMs) for Volusia County, effective February 19, 2014. This has necessitated Volusia County (and its participating NFIP communities, like the cities of Daytona Beach and Ormond Beach), to adopt the latest Model Floodplain Ordinance. The FEMA-approved Ordinance was explicitly written to coordinate with the flood provisions of the Florida Building Code. The aim of the Florida DEM State Floodplain Office is to have all NFIP communities adopt the new Ordinance to establish consistency in floodplain regulations across the state, eliminating permissive and unenforceable language, and

WHEREAS, the City of Flagler Beach is affected because of its incorporation of Ocean Palm Villas South Condominiums, a 10-acre parcel in Volusia County, and

WHEREAS, Florida DEM has reviewed the City's Flood Damage Prevention Ordinance and found it to be generally compliant with the new Model Ordinance; and,

WHEREAS, Florida DEM has recommended the City add four missing items to its Flood Damage Prevention Ordinance as soon as possible; and

WHEREAS, underline text herein denotes additions, ~~striketrough~~ text herein denotes deletions and asterisks "*" herein denote sections of the existing Ordinance which remain unaltered and not reprinted herein).

NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FLAGLER BEACH, AS FOLLOWS:

SECTION 1. Appendix A, Land Development Regulations, Article IV Resource Protection Standards, Section 4.05.00 Flood Damage Prevention; Section 4.05.05 "Definitions" is hereby amended as follows:

Sec. 4.05.05. Definitions.

~~Existing construction~~ any structure for which the "start of construction" commenced before the effective date of the first floodplain management code, ordinance or standard based upon specific technical base flood elevation data which establishes the area of special flood hazard.

Existing building and existing structure. Any buildings and structures for which the "start of construction" commenced before May 15, 1985.

~~Existing manufactured home park or subdivision~~ means a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including at a minimum the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed before the effective date of the floodplain management regulations adopted by a community before the effective date of the first floodplain management code, ordinance or standard based upon specific technical base flood elevation data which establishes the area of special flood hazard. May 15, 1985.

~~New construction~~ means structures for which the "start of construction" commenced on or after the effective date of this chapter. For the purposes of administration of this ordinance and the flood resistant construction requirements of the Florida Building Code, a structure for which the "start of construction" commenced on or after May 15, 1985, and includes any subsequent improvements to such structures.

~~New manufactured home park or subdivision~~ means a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which manufactured homes are to be affixed (including at a minimum, the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed on or after the effective date of this chapter. May 15, 1985.

SECTION 2. Appendix A, Land Development Regulations, Article IV Resource Protection Standards, Section 4.05.07 "Basis for establishing the areas of special flood hazard" is hereby amended as follows:

Sec. 4.05.07. Basis for establishing the areas of special flood hazard

~~The areas of special flood hazard identified by the Federal Emergency Management Agency in its flood insurance study for Flagler Beach, dated September 24, 1984 (revised July 17, 2006),~~

~~with accompanying maps and other supporting data, and any revision thereto, are adopted by reference and declared to be a part of this chapter.~~

The Flood Insurance Study for Flagler County, Florida and Incorporated Areas dated July 17, 2006, and for Volusia County, Florida and Incorporated Areas dated February 19, 2014, and all subsequent amendments and revisions, and the accompanying Flood Insurance Rate Maps (FIRM), and all subsequent amendments and revisions to such maps, are adopted by reference as part of this ordinance and shall serve as the minimum basis for establishing flood hazard areas. Studies and maps that establish flood hazard areas are on file at Flagler Beach City Hall, located at 105 S. 2nd Street, Flagler Beach, FL, 32136.

* * *

SECTION 3. . Appendix A, Land Development Regulations, Article IV Resource Protection Standards, Sec. 4.05.27. “Same—Duties and responsibilities” is hereby amended as follows:

Sec. 4.05.27. Same—Duties and responsibilities.

* * *

(13.) Applicants who submit hydrologic or hydraulic engineering analyses to support permit applications are required to submit to FEMA the data and information necessary to maintain the Flood Insurance Rate Maps if the analyses propose to change base flood elevations, flood hazard boundaries, or floodway designations; such submissions shall be made within 6 months of such data becoming available.

(14.) Review applications to determine whether proposed development, either new construction or substantial improvements, will be reasonably safe from flooding.

* * *

SECTION 4: If any Section, Subsection, sentence, clause, phrase, or portion of this ordinance, or application thereof, is for any reason held invalid or unconstitutional by any Court, such portion or application shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions or application hereof.

SECTION 5. It is the intent of the City Commission of Flagler Beach, and is hereby provided that the provisions of this ordinance shall be made a part of the Flagler Beach Code; that the sections of this ordinance may be re-numbered or re-lettered; and that the word “ordinance” may be changed to “section”, “article”, “chapter” or other appropriate designation to accomplish such intention.

SECTION 6. All ordinances or parts of ordinances in conflict herewith be and the same are hereby repealed.

SECTION 7. This ordinance shall take effect immediately upon passage as provided by law.

PASSED ON FIRST READING THIS _____ DAY OF _____, 2014.
PASSED AND ADOPTED THIS _____ DAY OF _____, 2014.

CITY OF FLAGLER BEACH, FLORIDA
CITY COMMISSION

Linda Provencher, Mayor

ATTEST:

Penny Overstreet, City Clerk