



## CITY OF FLAGLER BEACH ENGINEERING PERMIT

### DRIVEWAY / CHANGE IN GRADE / DRAINAGE PERMIT CHECKLIST

Contractors must be current with Flagler County Building Services for permitting.

- Permit Application**
- Proof of Property Ownership** (Copy of recorded warranty deed or print- out from the Property Appraiser's Office)
- Notice of Commencement** (required when value of labor and materials is over \$5,000.00) must be recorded and certified Flagler County Clerk of Court) FS sec 713.135
- 1 Survey/Site Plans**
  - Elevations relative to the National Geodetic Vertical Datum (NGVD)
  - Proposed finished floor elevation
  - Spot elevations at property corners, and at least two intermediate points along side property lines, and the high & low points along the centerline of the property
  - Finished floor elevation of adjacent residences (if applicable)
  - Wetlands jurisdiction line and wetlands buffer delineation (if applicable)
  - Setbacks to include all proposed structures, cantilevered structures i.e. decks, covered doorway
  - Building dimensions and/or other proposed improvements
  - Lot coverage percentage (Pervious/Impervious)
  - Surface water management plan (to include compensating storage volume calculations) if fill is proposed
  - Final grading plan
  - Proposed fill in cubic yards
  - Identify what type of surface to be utilized: rock, concrete, pavers...
  - Location and size/extent of proposed work with dimensions
- ❖ If intent is to match existing grade survey requirement may be waived.
- City of Flagler Beach Drainage Affidavit**

**Application review fee is \$55.00 and the Permit fee is \$55.00**

**Work must comply with The City of Flagler Beach Land Development Regulation Sec. 4.05.00 Flood Damage Prevention.**



CITY OF FLAGLER BEACH
ENGINEERING DEPARTMENT

AFFIDAVIT OF DRAINAGE CONTROL
FOR RESIDENTIAL AND MINOR COMMERCIAL CONSTRUCTION

Owner Information:

Owner Name: \_\_\_\_\_ Phone Number: \_\_\_\_\_
Contractor: \_\_\_\_\_ Phone Number: \_\_\_\_\_
Mailing Address: \_\_\_\_\_
Location Address: \_\_\_\_\_
Subdivision: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_
Parcel Id: \_\_\_\_\_
Description of improvements: \_\_\_\_\_
Amount of fill proposed: \_\_\_\_\_ Material used: \_\_\_\_\_

Certificate of Compliance:

The undersigned owner/contractor of the above-described property hereby certifies that development/improvement of the above property will not result in:

- 1. Flooding of adjacent lands
2. Blockage of existing drainage systems, natural or manmade.
3. The destruction of existing drainage systems, natural or manmade.
4. Erosion of fill or disturbing materials onto adjacent lands or environmentally sensitive areas (as determined by the City of Flagler Beach).
5. The destruction of roadside drainage swales, roadway pavement and/or shoulders.
6. Flooding of the proposed structure during a 100 year frequency storm.
7. Construction to an elevation less than that is required by the City of Flagler Beach Land Development Code, Sec. 4.05.00 Flood damage Protection (Applicant is cautioned that UNAUTHORIZED construction may be subject to demolition/removal.
8. Inadequate onsite drainage in the vicinity of the proposed structure/improvement.
9. Deviation from the approved grading plan for this property.

Release and Authorization:

- 1. The undersigned hereby release and holds harmless the City of Flagler Beach and its authorized agents and/or employees from any and all claims of damage of every kind and nature whatsoever to said property, or contiguous properties, arising from the approval of this application or construction of required improvements.
2. The undersigned hereby grants unto authorized agents and/or employees of the City of Flagler Beach to enter upon said property for inspection and enforcement activities. The City of Flagler Beach reserves the right to require the property owner to implement reasonable measures regarding drainage control including, but not limited to, submittal of signed and sealed engineering drainage plans.

(Signature of Contractor or Property Owner)

(Print Name)

State of Florida

County of Flagler

The foregoing instrument was acknowledged before me by means of [ ] physical presence or [ ] online notarization this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by \_\_\_\_\_ individual submitted by [ ] Personal knowledge [ ] Satisfactory Evidence; Type \_\_\_\_\_.

Signature of Notary Public

\_\_\_\_\_, Notary Public
Typed, Printed or Stamped Name of Notary Public



**CITY OF FLAGLER BEACH  
ENGINEERING DEPARTMENT**

**DRIVEWAY / CHANGE OF GRADE / DRAINAGE**

Job Address: \_\_\_\_\_  
Subdivision: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_  
Parcel #: \_\_\_\_\_ Flood Zone: \_\_\_\_\_

Owner Information:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Cell: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

Contractor Information:

Business Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Cell: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_  
State Registration\Certificate Number: \_\_\_\_\_

Evaluation of Work Cost \$ \_\_\_\_\_ Total Square Footage: \_\_\_\_\_  
Volume of Fill proposed: \_\_\_\_\_  
Type of surface to be utilized (Rock, Concrete, Pavers...) \_\_\_\_\_

Job Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**\*\*\*\*\*NOTICE\*\*\*\*\***

*THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN SIX (6) MONTHS, OR IF THE CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF SIX MONTHS AT ANYTIME AFTER WORK IS COMMENCED.*

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or Local law regulating construction or the performances of construction.

\_\_\_\_\_  
Signature of Owner / Contractor

\_\_\_\_\_  
Date

CONTRACTOR REQUIREMENTS FOR SITE CLEARING,  
GRADING, AND EROSION CONTROL DESIGN AND  
CONSTRUCTION NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDER-STORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
3. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, SYNTHETIC JUTE BALES, WATTLES, &/OR HAVE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
5. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE THROUGHOUT PROJECT CONSTRUCTION.
6. AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN TWO WEEKS.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE. WITHIN SEVEN (7) DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE OR INACTIVITY IN CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOD, AS REQUIRED. ANY PROJECT THAT IS INACTIVE FOR A PERIOD OF 30 DAYS OR MORE SHALL BE STABILIZED TO THE SATISFACTION OF THE CITY.
8. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED. IF THE GRASS IS NOT ESTABLISHED WITHIN TWO WEEKS THE CITY MAY REQUIRE THE CONTRACTOR TO RE-SEED OR A NON-VEGETATIVE OPTION MAY BE EMPLOYED.
9. ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED.



STANDARD CONSTRUCTION DETAIL  
CONTRACTOR REQUIREMENTS FOR SITE CLEARING,  
GRADING, AND EROSION CONTROL DESIGN AND  
CONSTRUCTION NOTES

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FEB 2022

10. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED.
11. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
10. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
11. DURING SUBDIVISION DEVELOPMENT WHEN FUTURE BUILDING LOTS ARE FILLED AS PART OF THE OVERALL SUBDIVISION IMPROVEMENTS, COMPACTION TEST REPORTS MUST BE PERFORMED ON THE BUILDING LOTS AT 300 FOOT INTERVALS. THESE TESTS ARE TO BE PERFORMED IN ONE-FOOT VERTICAL INCREMENTS. THE RESULTS OF THESE TESTS ARE TO BE SUBMITTED TO THE CITY UPON COMPLETION OF THE TESTS.
12. IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
13. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY. WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT.
14. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNITS CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY.
15. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
16. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A Ph RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.
17. OWNER SHALL FILE A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS REQUIRED BY DEP. CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE GENERIC PERMIT INCLUDING BUT NOT LIMITED TO:
  - A. PROVIDE SUCH EROSION AND SEDIMENT CONTROL MEASURES AS MAY BE NECESSARY TO PREVENT DISCHARGE OF POLLUTANTS FROM THE SITE FROM THE START OF CONSTRUCTION UNTIL THE FINAL GROUND COVER HAS BEEN ESTABLISHED.
  - B. EMPLOY A DEP CERTIFIED INSPECTOR TO MAKE WEEKLY INSPECTIONS / REPORTS OF THE CONDITION OF EROSION AND SEDIMENT CONTROL MEASURES.
  - C. EMPLOY A DEP CERTIFIED INSPECTOR TO MAKE INSPECTIONS / REPORTS OF THE CONDITION OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24 HOURS OF EVERY RAINFALL EVENT EXCEEDING ONE-HALF INCH.
  - D. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION.
  - E. ADD EROSION AND SEDIMENT CONTROL MEASURES AS SITE CONDITIONS CHANGE.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PROJECT SITE BE KEPT FREE OF CONSTRUCTION DEBRIS AND THAT THE DUMPSTER AND PORTABLE TOILET(S) BE PERIODICALLY MAINTAINED. THE SITE SHALL BE POLICED DAILY AND ALL EXCESS MATERIALS AND DEBRIS ARE TO BE PROPERLY STORED OR DISPOSED OF IN SUITABLE CONTAINMENT RECEPTACLES.



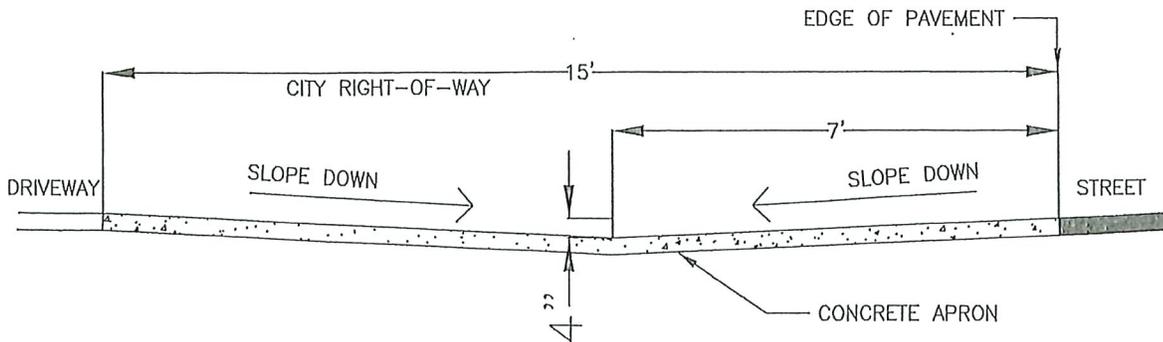
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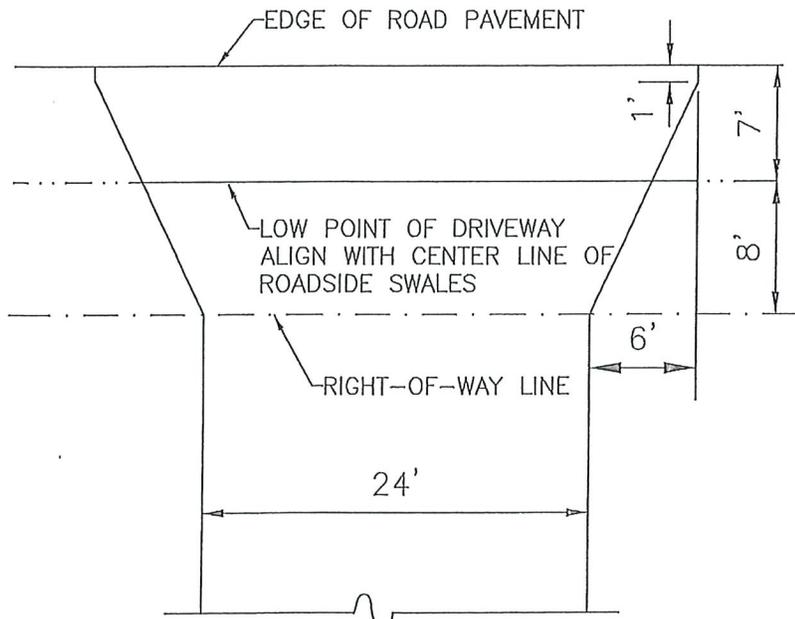
M-16B

FEB 2022



SECTION THRU APRON

SCALE:  $\frac{3}{8}'' = 1'$



TYPICAL TWO-CAR DRIVEWAY WIDTH

DRIVEWAY APRON PLAN

SCALE:  $\frac{3}{32}'' = 1'$

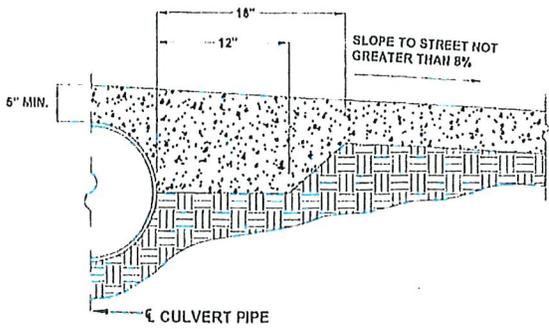


**STANDARD CONSTRUCTION DETAIL**  
**RESIDENTIAL DRIVEWAY APRON**  
**DRAWINGS**

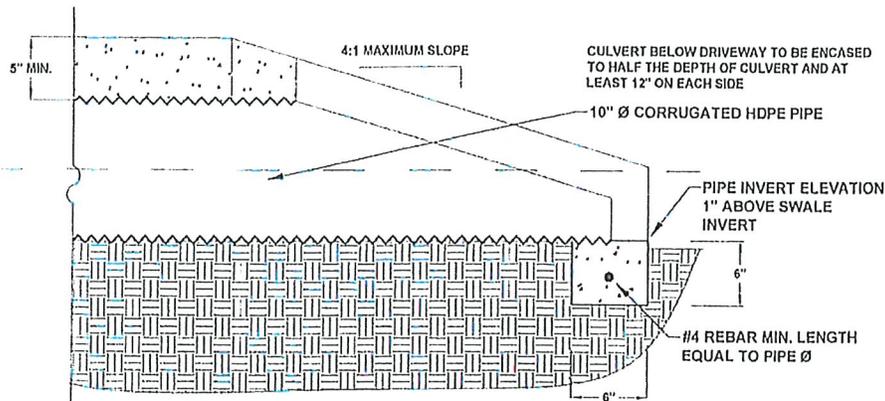
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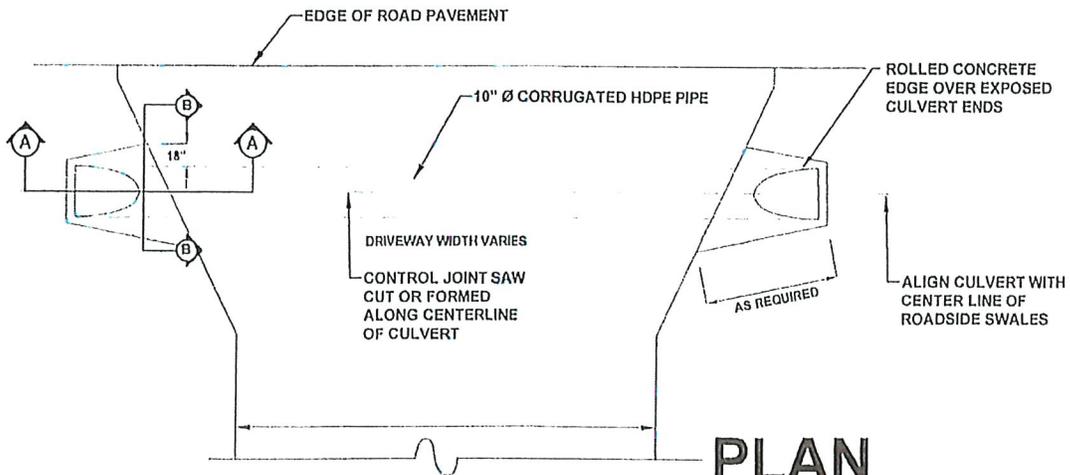
October 2021



## SECTION B-B



## SECTION A-A



## PLAN

NOT TO SCALE

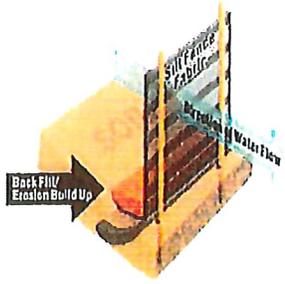
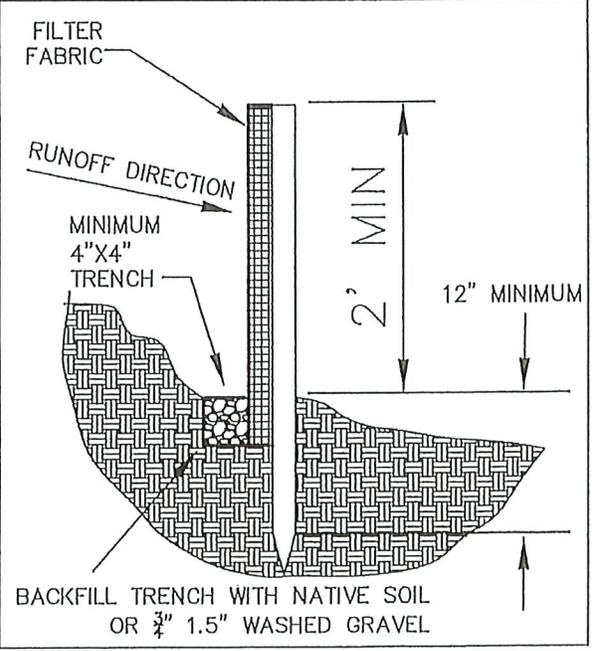
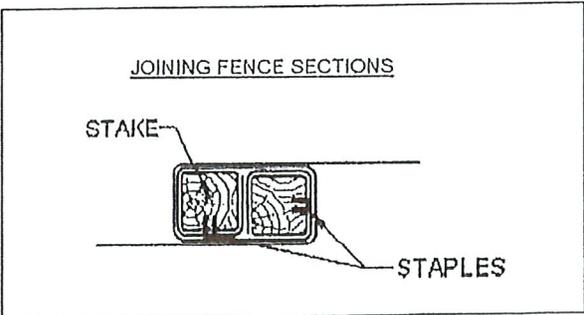
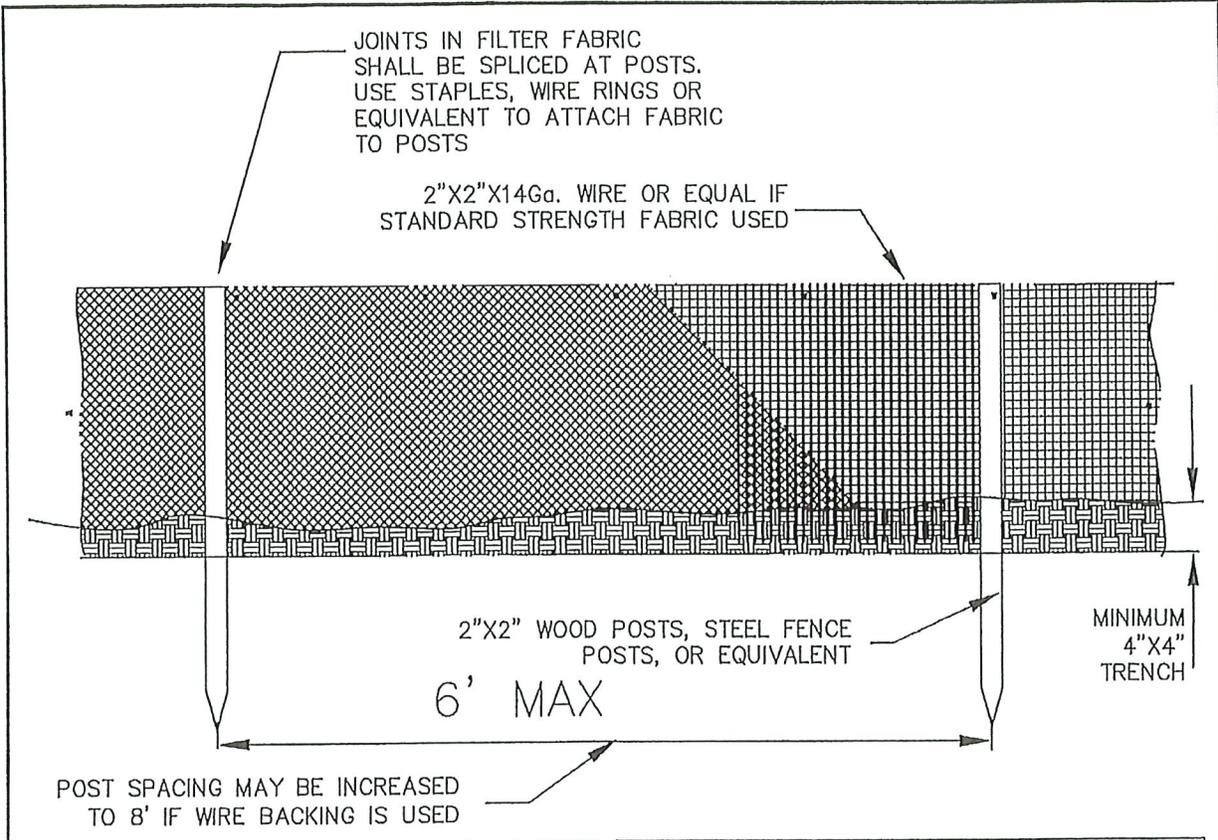


STANDARD CONSTRUCTION DETAIL  
TYPICAL DRIVEWAY  
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Oct-2020



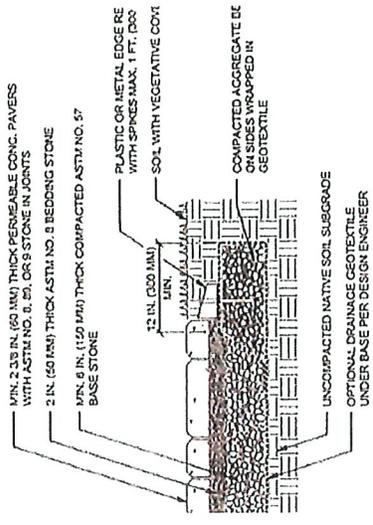
**STANDARD CONSTRUCTION DETAIL**  
**SILT FENCE DRAWINGS**

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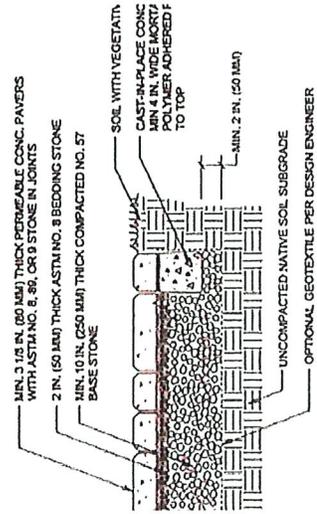
## CONSTRUCTION DETAILS FOR USING PERMEABLE PAVERS

Any contractor planning to use permeable pavers must submit the following information:

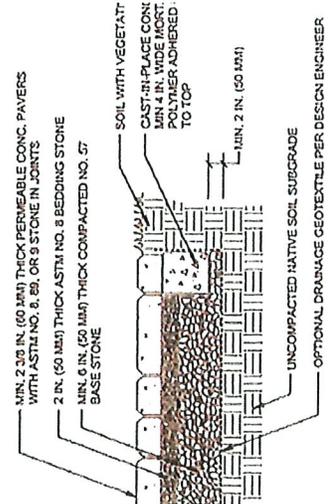
1. Material from the manufacturer describing the product.
2. Technical information stating the tested permeability of the product.
3. Construction details similar to the ones below, or a statement that the construction will be in accordance with them.
4. An affidavit from the owner stating that they agree to maintain the product in accordance with the manufacturers' recommendations. This must be signed by the owner. If the house will be constructed before it is sold, the contractor must notify the new owner of this responsibility and to submit to the Building Department within thirty (30) days of settlement.



Permeable Interlocking Concrete  
Pavement Patio with Aggregate  
Berms



Permeable Interlocking Concrete  
Pavement Driveway with Concrete  
Curbs



Permeable Interlocking Concrete  
Pavement Patio with Concrete  
Curbs



# City of Flagler Beach

P.O. Box 70 • 105 South Second Street  
Flagler Beach, Florida 32136  
Phone 386-517-2000 Ext. 248

## Material & Waste Management

1. The purpose of this section is to promote good housekeeping practices that are designed to significantly reduce and control stormwater runoff pollution which runs into storm drains, treatment facilities and local waterways during construction operations.
2. All construction sites shall adhere to the following practices:
  - a. Never dispose of any waste material into storm drains or sanitary sewers.
  - b. Portable waste receptacles must be on the construction site and must be serviced on a regular basis.
  - c. Ensure the disposal of scraps, waste, recyclables and surplus materials is in accordance with Federal regulations and local codes.
  - d. Paint/solvent storage shall not be within fifty (50) feet of an Environmentally Sensitive Area (ESA) and shall be enclosed in weather/leak proof storage facility. Frequently schedule the safe collection and removal of combustible waste.
  - e. Fuel storage tanks shall be located seventy five (75) feet or more from an ESA or storm drain and shall be in a State approved leak proof container.
  - f. All above ground tanks for fueling shall be secondarily contained.
  - g. Construction site driveways can be installed with or without wheel washing stations, but must prevent construction site vehicle wheels from transporting soil and sediment off of construction site and onto roadways.
  - h. All hazardous waste material will be disposed of in a manner specified by Federal, State, local regulations and manufacturer's specifications.
  - i. All on-site vehicles and tanks will be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products shall be stored in tightly sealed containers, which are clearly labeled. Storage shall be at least seventy-five (75) feet from an ESA or storm drain.
  - j. Any pesticide and herbicide usage shall be applied by a State licensed applicator.
  - k. Fertilizers used shall be applied only in the minimum amount recommended by the manufacturer. If stored on-site, covered storage shall be provided. Any contents of any partially used bags of fertilizers shall be transferred to a sealable container.